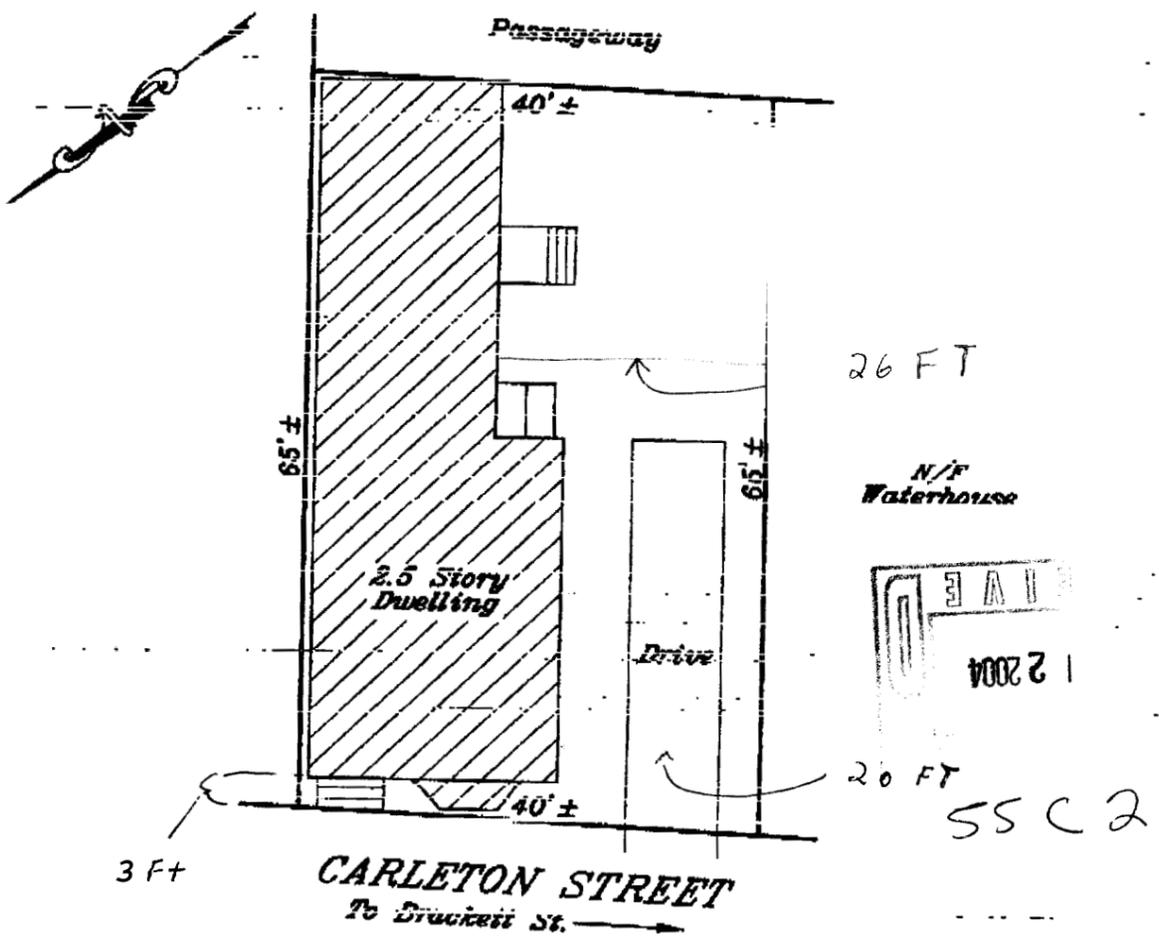


# FOR MORTGAGE LENDER USE ONLY

**GENERAL NOTES:** (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES UNLESS NOTED OTHERWISE. (2) THE DISTANCE IS TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (3) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (4) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (5) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (6) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (7) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (8) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (9) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED. (10) DISTANCES ARE TAKEN FROM THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE NOTED.

ADDRESS: 75 CARLETON STREET INSPECTION DATE: NOVEMBER 19, 2003  
PORTLAND, MAINE SCALE: 1" = 15'



*Recommend Boundary Survey for accurate location.*  
 SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: PAUL R & RENATA BESSA REQUESTING PARTY: FIDELITY TITLE CO.  
 OWNER: LARISSA DAVIS ATTORNEY: THOMAS E. FOWERS  
 LENDER: EXTRADE MORTGAGE FILE No. 20314005 FIELD BOOK: 259

**TITLE REFERENCES:**  
 DEED BOOK: 1426B PAGE: 295  
 PLAN BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_ LOT: \_\_\_\_\_  
 COUNTY: CUMBERLAND

**MUNICIPAL REFERENCE:**  
 MAP: 65 BLOCK: C LOT: 2

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230061 PANEL: 0013B ZONE: C DATE: DECEMBER 8, 1999.  
 THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

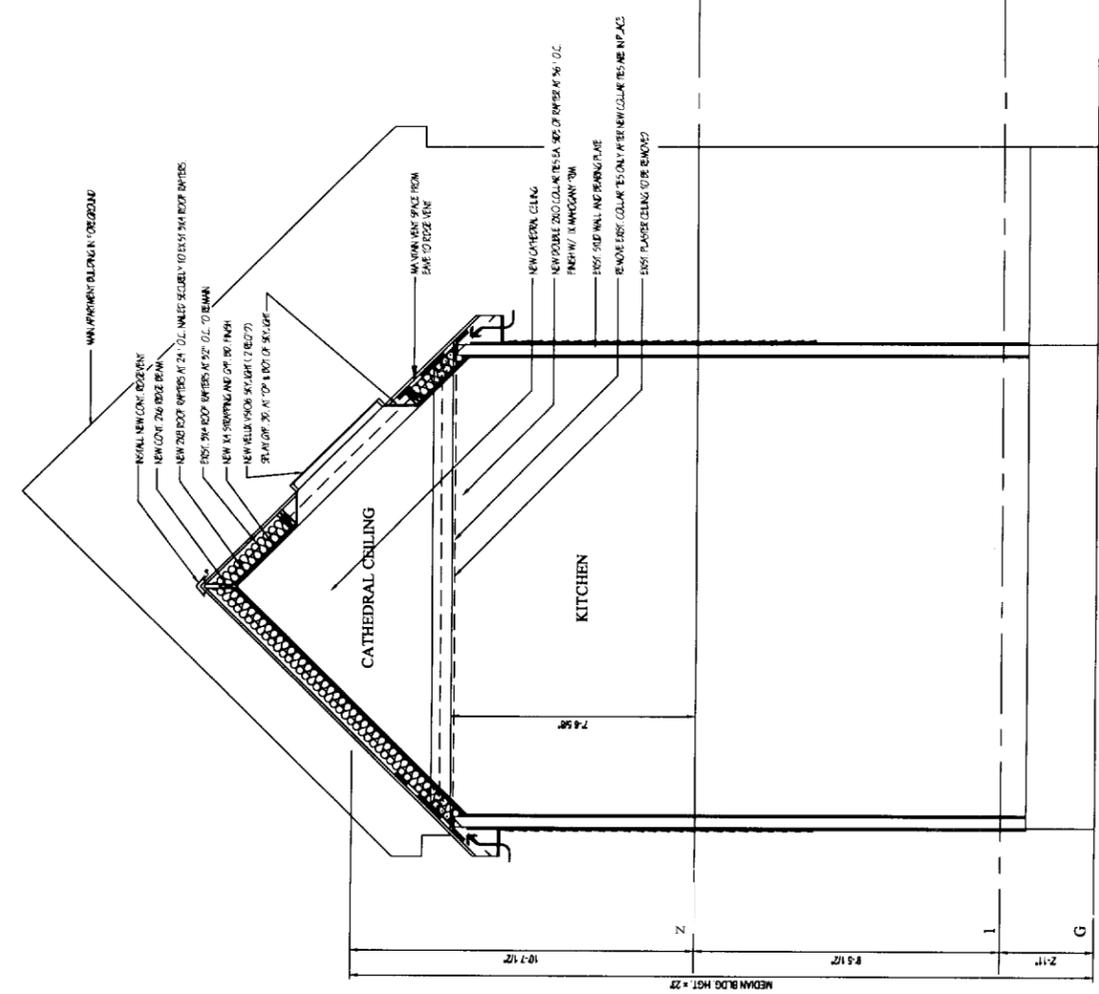
YOUR FILE #: 187428  
**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 318 BRIGHTON AVENUE 338 CLAREE BODDIE ROAD  
 PORTLAND, ME 04103 LYNN, ME 04002  
 (207) 878-7870 (207) 499-2358

*[Handwritten Signature]*  
 11-20-03

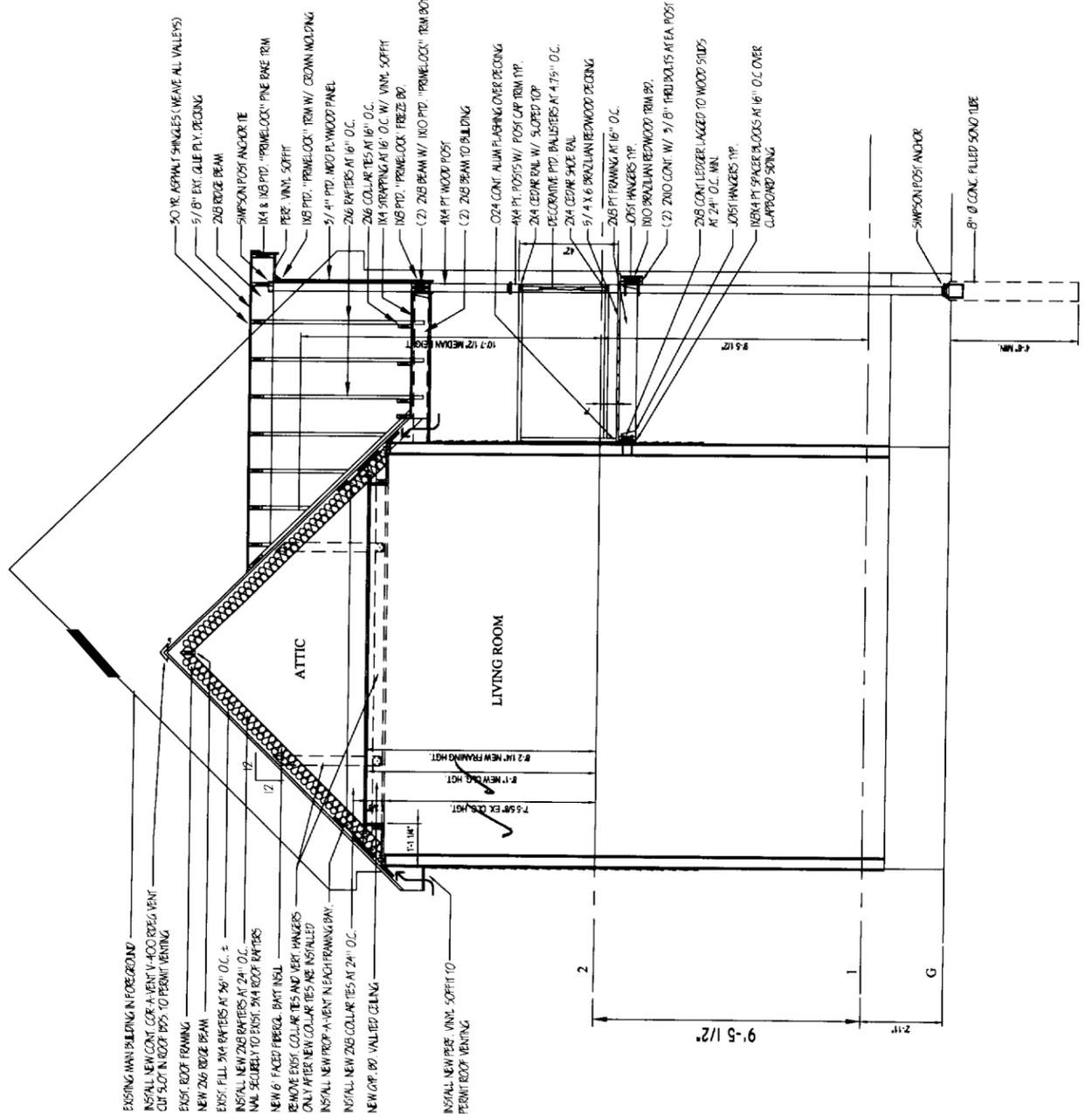
INSP. BY: TPB  
**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**

DATE	DESCRIPTION
06/04	AS-BUILT PLAN/SECTION
07/04	BOOK REVIEW
07/04	REV. FOR CONSTRUCTION
07/04	DATE

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
 PROJECT NO. 060104 PROJECT TITLE: HAMMONTREE RESIDENCE ADDITION  
 SCALE: 1/2" = 1'-0" SHEET TITLE: BUILDING SECTIONS



COMPOSITE BUILDING SECTION "B"  
 1/2" = 1'-0"



COMPOSITE BUILDING SECTION "A"  
 1/2" = 1'-0"

REL. FOR CONSTRUCTION - JULY 2, 2004

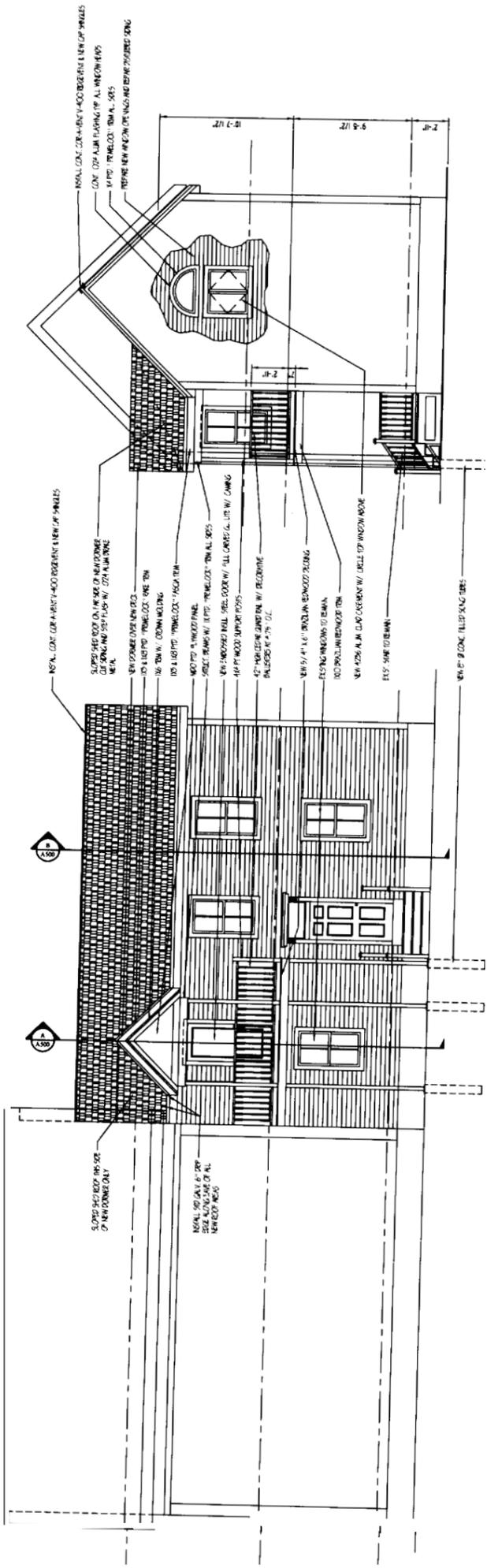
RENOVATIONS TO PRIVATE RESIDENCE FOR  
 MR. & MS. PAUL BESSA  
 75 CARLETON STREET  
 PORTLAND, MAINE 04102

A-500

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DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 797-8661 FAX (207) 797-8533  
 PROJECT TITLE: HAMMONTREE RESIDENCE ADDITION  
 SCALE: 1/4" = 1'-0" SHEET TITLE: EXTERIOR ELEVATIONS



REL FOR CONSTRUCTION - JULY 2, 2004

RENOVATIONS TO PRIVATE RESIDENCE FOR  
 MR. & MS. PAUL BESSA  
 75 CARLETON STREET  
 PORTLAND, MAINE 04102

A-400

NOT TO SCALE  
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE  
 ALL MATERIALS TO BE APPROVED BY ARCHITECT  
 ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL CODES  
 ALL WORK TO BE DONE IN ACCORDANCE WITH NATIONAL BUILDING CODES  
 ALL WORK TO BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES  
 ALL WORK TO BE DONE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS

RECEIVED  
JUL 12 2004  
2552

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 797-8661 FAX (207) 797-8533  
PROJECT TITLE: HAMMONTREE RESIDENCE ADDITION  
SCALE: 3/8" = 1'-0" SHEET TITLE: SECOND FLOOR PLAN

NO.	DATE	DESCRIPTION
01	JULY 2, 2004	AS BUILT - E.L. MAN/SEC/LEV. 2/04
02	JULY 2, 2004	BOOK REVIEW SHEET
03	JULY 2, 2004	REL FOR CONSTRUCTION



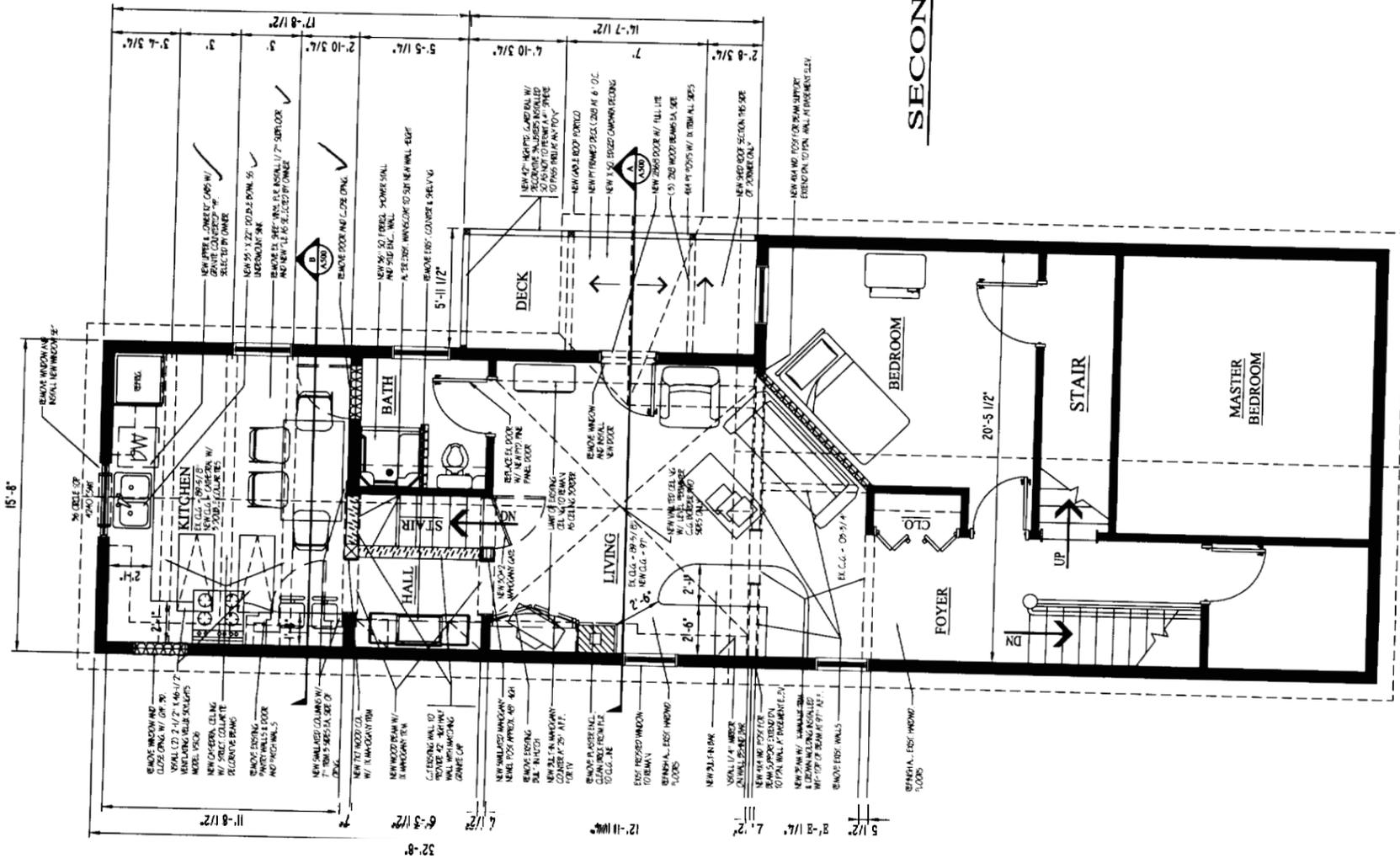
REL. FOR CONSTRUCTION - JULY 2, 2004  
INNOVATIONS TO PRIVATE RESIDENCE FOR  
R. & MS. PAUL BESSA  
CARLETON STREET

A-200

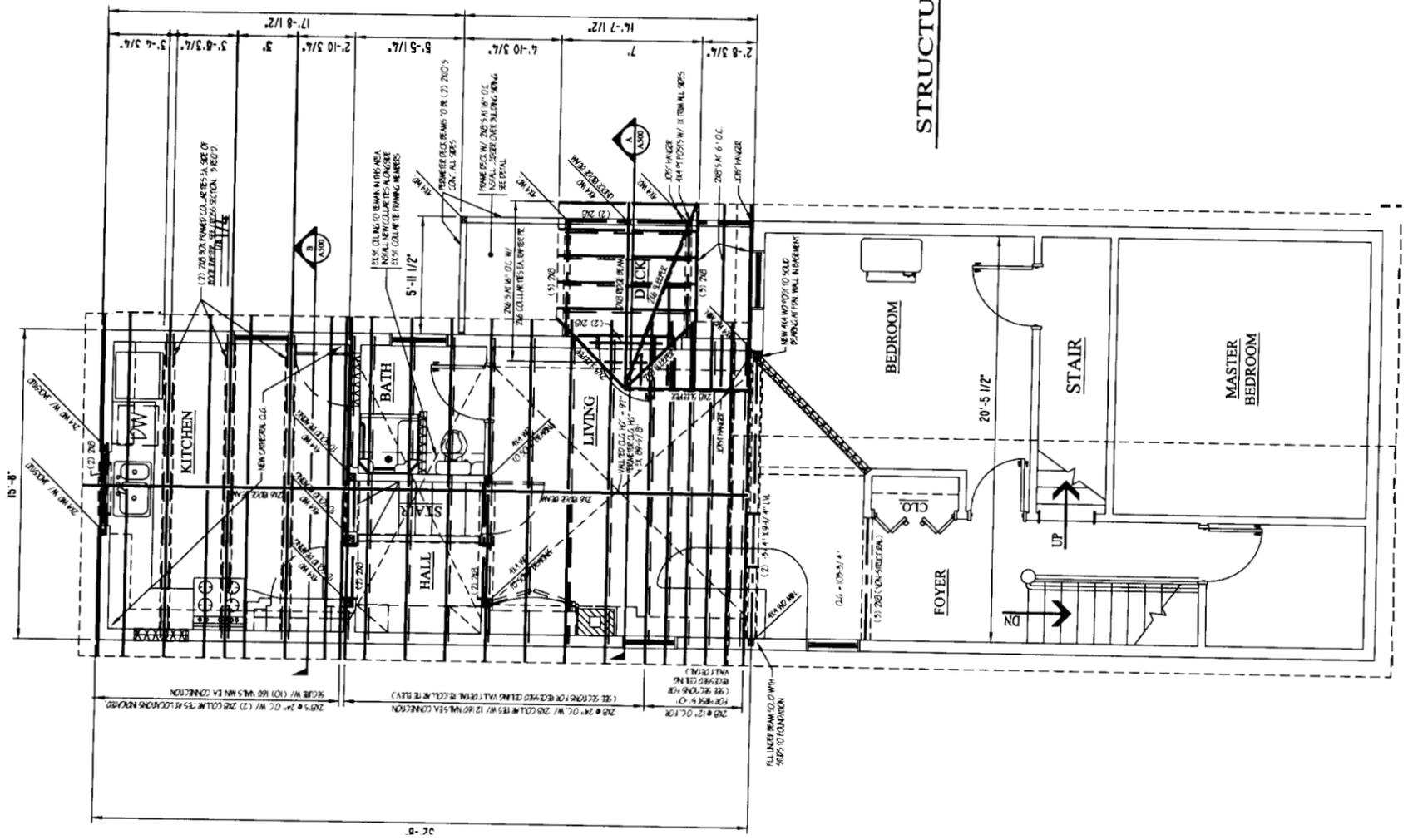
- GENERAL NOTES
1. PROVIDE SCHEDULE FOR ALL CORNERS, WINDOWS, OTHER MILLWORK AND FINISHING.
  2. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH SHOP DRAWINGS FOR ALL MILLWORK AND FINISHING. THE ARCHITECT SHALL REVIEW AND APPROVE THE GENERAL CONTRACTOR'S SHOP DRAWINGS. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTING THE SHOP DRAWINGS TO THE MANUFACTURER.

- PLAN LEGEND
- EXISTING WALL TO REMAIN
  - NEW WALLS
  - EXISTING WALL TO BE REMOVED

SECOND FLOOR PLAN  
3/8" = 1'-0"



NOT TO SCALE  
ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE  
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2003 INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMPC) AS APPLICABLE  
ALL FINISHES TO BE DETERMINED BY THE ARCHITECT



**STRUCTURAL FRAMING PLAN**  
3/8" = 1'-0"

**DESIGN LOADS:**

1. Building Code: BOCA Basic Building Code (1999)
2. Design Live Loads: (Ground snow load = 60 PSF)  
Roof ..... 54 PSF
3. Design wind speed based on exposure B using 85 mph basic wind speed.
4. Seismic design utilizes the following criteria:
  - a. Lifting framing system: Load bearing walls w/ post wood shear walls resisting lateral loads & moment frames.
  - b. Analysis procedure: Equivalent Lateral Force Procedure.
  - c. Seismic hazard exposure group: "I"
  - d. Seismic performance category: "C"
  - e. Seismic profile type: "S4"
  - f. Peak velocity-related acceleration (Av): "0.10"
  - g. Peak acceleration (Aa): "0.10"
  - h. Response modification factor (R): "7"
  - i. Ductility amplification factor (Cd): "4"

**TIMBER FRAMING:**

1. All timber framing shall be in accordance with the AITC timber construction manual on structural steel beams and timber-bearing walls. Latest edition.
2. Individual timber framing members shall be visually graded, minimum grade: 2 Spruce-Pine-Fir (SPT), kiln dried to 19 percent.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide Simpson HI hurricane anchors where timber framing and/or trusses attach to the structure.
6. Nailing: not specified shall conform with BOCA 1999.

**PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALLS
- - - - EXISTING WALL TO BE REMOVED

REL. FOR CONSTRUCTION - JULY 2, 2004

RENOVATIONS TO PRIVATE RESIDENCE FC R  
MR. & MS. PAUL BESSA  
75 CARLETON STREET  
PORTLAND, MAINE 04102

**ST-200**

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO: 060104  
SHEET TITLE: HAMMONTRREE RESIDENCE ADDITION  
SCALE: 1/4" = 1'-0" SHEET PLAN

AS-BUILT FRAMING SECTIONS	DATE: 6/20/04
90% REVIEW SET	DATE: JUNE 25, 2004
REV. FOR CONSTRUCTION	DATE: JULY 2, 2004

