



Jeff Levine, AICP, Director  
Planning & Urban Development Department


**Electronic Signature and Fee Payment Confirmation**

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.

Applicant Signature: 

Date: 10/22/2014

I have provided digital copies and sent them on: \_\_\_\_\_

Date: \_\_\_\_\_

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3<sup>rd</sup> Floor, Room 315.

# CITY OF PORTLAND, MAINE

---

## HISTORIC PRESERVATION PROGRAM

Dear Applicant for Historic Preservation Review:

To receive a Certificate of Appropriateness for exterior or site alterations to a designated historic property, it is necessary for you to complete the enclosed application form and return it with a copy of proposed plans, drawings, specifications and application fee to the Department of Building Inspections, Portland City Hall, 389 Congress Street, Room 315, 3<sup>rd</sup> Floor, Portland, Maine, 04101.

Following a preliminary review of your application, historic preservation staff will determine whether the project requires Historic Preservation Board review or whether an administrative review is appropriate. (Routine or minor projects, such as sign or awning installations, are typically reviewed at the staff level.) If necessary, you may be asked to submit additional information.

For projects requiring Board review, the application should be submitted at least two weeks prior to the desired meeting date of the Historic Preservation Board—see attached meeting schedule. The Board meets on the first and third Wednesdays of each month. **Twelve (12) paper copies as well as one (1) digital copy of the application and supporting materials are required for Board reviews.**

Building and site alterations are reviewed for the conformance with the review standards of the historic preservation ordinance (attached). If your project involves new construction, a copy of the ordinance's new construction standards and guidelines is available upon request.

If you have questions about the application or would like guidance in meeting the ordinance review standards, feel free to contact me at 874-8726 or by e-mail at [dga@portlandmaine.gov](mailto:dga@portlandmaine.gov)

Sincerely,



Deborah G. Andrews  
Historic Preservation Program Manager

The Historic Preservation Ordinance and Review Standards as well as other information is available on the City's web site at <http://www.portlandmaine.gov/planning/historic.asp>

**Historic Preservation Program**  
**Department of Planning and Urban Development**  
Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721 or 874-8719

**Office Hours**  
Monday thru Friday  
8:00 a.m. – 4:30 p.m.

*Note: Your project may also require a building permit. Please call Building Inspections (874-8703) to make this determination.*



Date: October 22, 2014

**HISTORIC PRESERVATION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

**PROJECT ADDRESS:**

1) 77 Pine Street;

---

**CHART/BLOCK/LOT:** 1) 055 A019001;

**PROJECT DESCRIPTION:** Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

---

Please see Attached Narrative.

---

---

---

---

---

---

---

---

---

---

**CONTACT INFORMATION:**

<p><b>Applicant – must be owner, Lessee or Buyer</b></p> <p>Name: Drew Wing,          Business Name, if applicable: Avesta Butler Payson LP          Address: 307 Cumberland Avenue          City/State: Portland, ME Zip Code: 04101</p>	<p><b>Applicant Contact Information</b></p> <p>Work # (207) 553-7777          Home#          Cell # Fax#          e-mail: dwing@avestahousing.org</p>
<p><b>Owner – (if different from Applicant)</b></p> <p>Name: Avesta Housing Development          Address: Corporation          307 Cumberland Avenue          City/State: Portland, ME Zip Code: 04101</p>	<p><b>Owner Contact Information</b></p> <p>Work # Same as Applicant          Home#          Cell # Fax#          e-mail:</p>
<p><b>Billing Information</b></p> <p>Name: Same as Applicant          Address:          City/State: Zip Code:</p>	<p><b>Billing Contact Information</b></p> <p>Work # Same as Applicant          Cell # Fax#          e-mail:</p>
<p><b>Architect</b></p> <p>Name: Rick Goduti, Goduti Thomas          Address: Architects          44 Oak Street          City/State: Portland, ME Zip Code: 04101</p>	<p><b>Architect Contact information</b></p> <p>Work # (207) 775-3184          Home#          Cell # Fax#          e-mail: stanley.maggie@gmail.com          gtarick@gmail.com</p>
<p><b>Contractor</b></p> <p>Name: Lew Trask, Hebert Construction          Address: 9 Gould Road          City/State: Lewiston, ME Zip Code: 04240</p>	<p><b>Contractor Contact Information</b></p> <p>Work # (207) 783-2091          Home#          Cell # Fax#          e-mail: ltrask@hebertconstruction.com</p>

  
 Applicant's Signature

  
 Owner's Signature (if different)

**APPLICATION FEES:**

**Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)**

<input type="checkbox"/> Administrative Review (for minor or standard alterations)	\$50.00
<input type="checkbox"/> HP Board Review	\$100.00
<input checked="" type="checkbox"/> HP Board Review for major projects involving new construction or building addition exceeding 1000 sq. ft. or comprehensive rehabilitation/redesign of existing structures	\$750.00
<input type="checkbox"/> After-the-fact Review (for work commenced without advance approval)	\$1000.00
<input type="checkbox"/> Sign Review for signs in historic districts	\$75.00

**The City invoices separately for the following:**

- Notices (\$.75 each)
- Legal Ad (% of total Ad)

## Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review.

**Please check all those activities that apply to your proposed project.**

### Alterations and Repair

- Window and door replacement, including storms/screens
- Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- Porch replacement or construction of new porches
- Installation or replacement of siding
- Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted
- Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- Alteration of accessory structures such as garages

### Additions and New Construction

- New Construction
- Building additions, including rooftop additions, dormers or decks
- Construction of accessory structures
- Installation of exterior access stairs or fire escapes
- Installation of antennas and satellite receiving dishes
- Installation of solar collectors
- Rooftop mechanicals

### Signage and Exterior Utilities

- Installation or alteration of any exterior sign, awning, or related lighting
- Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

### Site Alterations

- Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

### Moving and Demolition

- Moving of structures or objects on the same site or to another site
- Any demolition or relocation of a landmark contributing and/or contributing structure within a district

***Note: Your project may also require a building permit. Please call Building Inspections (874-8703) to make this determination.***

## ATTACHMENTS

To supplement your application, please submit the following items, *as applicable to your project*. Keep in mind that the information you provide the Historic Preservation Board and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

- Exterior photographs (required for all applications.) Include general streetscape view, view of entire building & close-ups of affected area.
- Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions. All plans shall be submitted in 11" x 17" format except for major projects, where 22" x 34" plans are requested. Applicants for major projects should submit one (1) 11" x 17" copy for scanning purposes.
- Details or sections, where applicable.
- Floor plans, where applicable.
- Site plan showing relative location of adjoining structures.
- Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
- Materials - list all visible exterior materials. Samples are helpful.
- Other (explain) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If you have any questions or need assistance in completing this form, please contact Historic Preservation staff:

Deb Andrews (874-8726) or by e-mail at [dga@portlandmaine.gov](mailto:dga@portlandmaine.gov)  
Rob Wiener (756-8023) or by e-mail at [rwiener@portlandmaine.gov](mailto:rwiener@portlandmaine.gov)

**Goduti/Thomas Architects**  
44 Oak Street, Portland, ME 04101  
207.775.3184

## **Historic Narrative: Butler Building**

The Butler building portion of the Butler Payson project consists of 39 apartment units in one four story building with an attached three story addition, located at the corner of Pine and West Streets in Portland Maine. This will be a National Park Service Historic tax credit project that will be reviewed and approved by the park service. The building is accessed from two common entrances on the basement level leading directly into a common corridor. The nature of this project is to rehabilitate the apartment units and bring the building up to life safety standards and codes. This renovation will fully include the exterior envelope as well as interior/mechanical/structural upgrades that will not be visible from exterior.

The exterior of the building will be renovated in accordance with the National Park Service's standards for historic preservation. Masonry repair will include miscellaneous brick repair, cleaning and repair of all sandstone sills and masonry re-pointing as determined by masonry consultant in accordance to NPS standards. All windows will be replaced with new. The double hungs on the main building will be replaced with Marvin aluminum clad 3 over 3 with casing to replicate the historic detail. The current configuration was modified in 1970 when an extra floor was added which turned the original large vertical windows on 2 stories into 3 stories of windows with the masonry opening spanning all three of the upper floors. The new window configuration will be modified to be more representative of the original architect's vision. We have tried to enlarge the upper most windows to regain some of the verticality of the originals. Currently there are bronze aluminum panels that span the masonry opening between windows that we will be replacing with a cementitious panel with a depth of color more similar to the brick texture and moved forward closer to the plane of the brick, rather than set back as it is currently. All window modifications will be approved by state and national historic park service. The basement windows will be replaced with new Marvin clad in a 3 over 3 pattern. Existing asphalt and EPDM roofing will be repaired/replaced. Slate that exists on the West St. elevation and on the back of building will be repaired. Standing seam metal roofing at the back of the building will be replaced with versa roofing which seams have a minimal profile. Site work will be minimal. The grade at the building will be raised to its original historic level to cover the now exposed stone foundation; the shrubs will be saved in this process. Historic approved lighting will be added to the back of the building at the entrances. The current entrances will have a new canopy of glass and aluminum constructed. At the original entrances (no longer used) custom wood casement windows will be configured in a way to read as the original doors and transoms would have been constructed.



historic photo



**Goduti/Thomas Architects**  
44 Oak Street, Portland, ME 04101  
207.775.3184

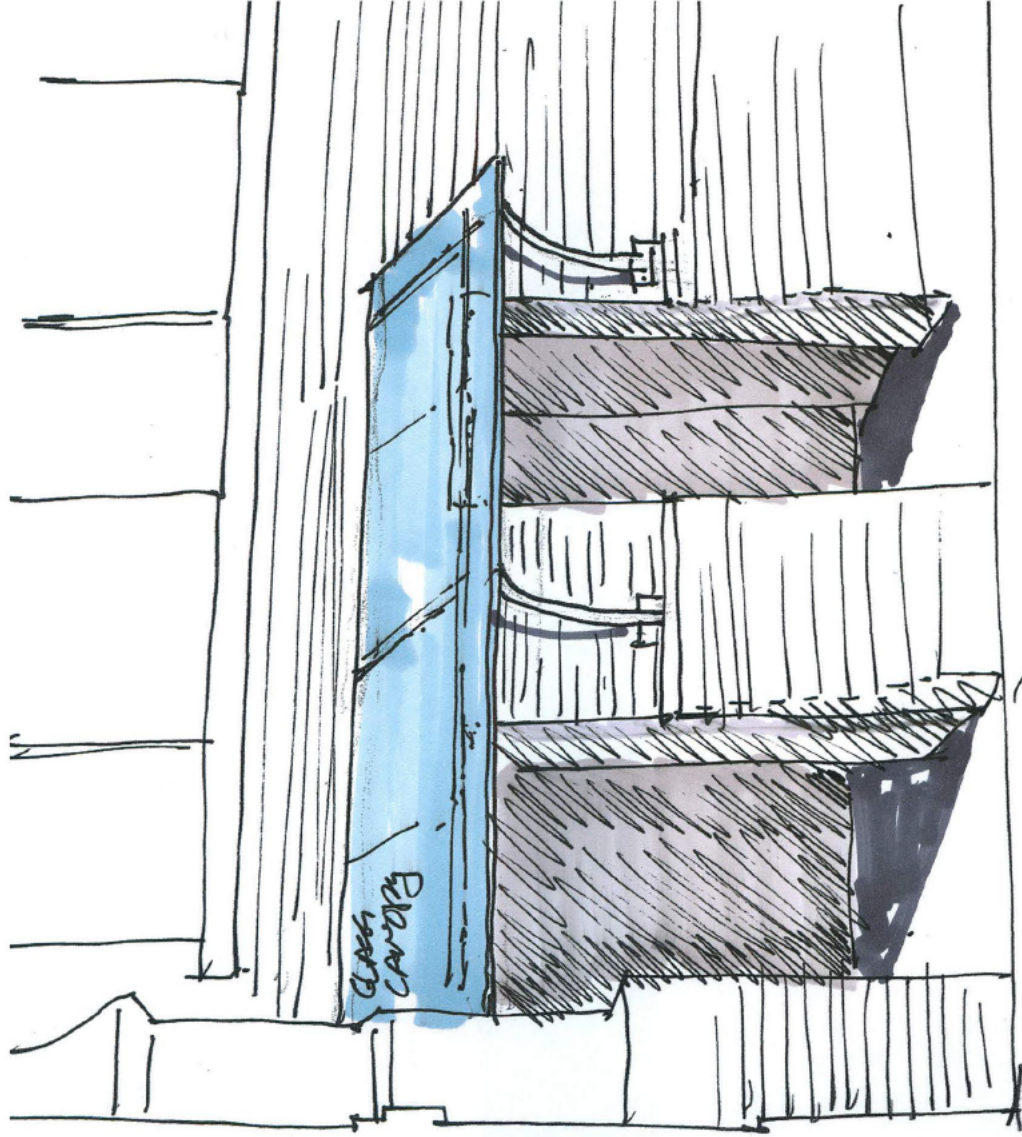
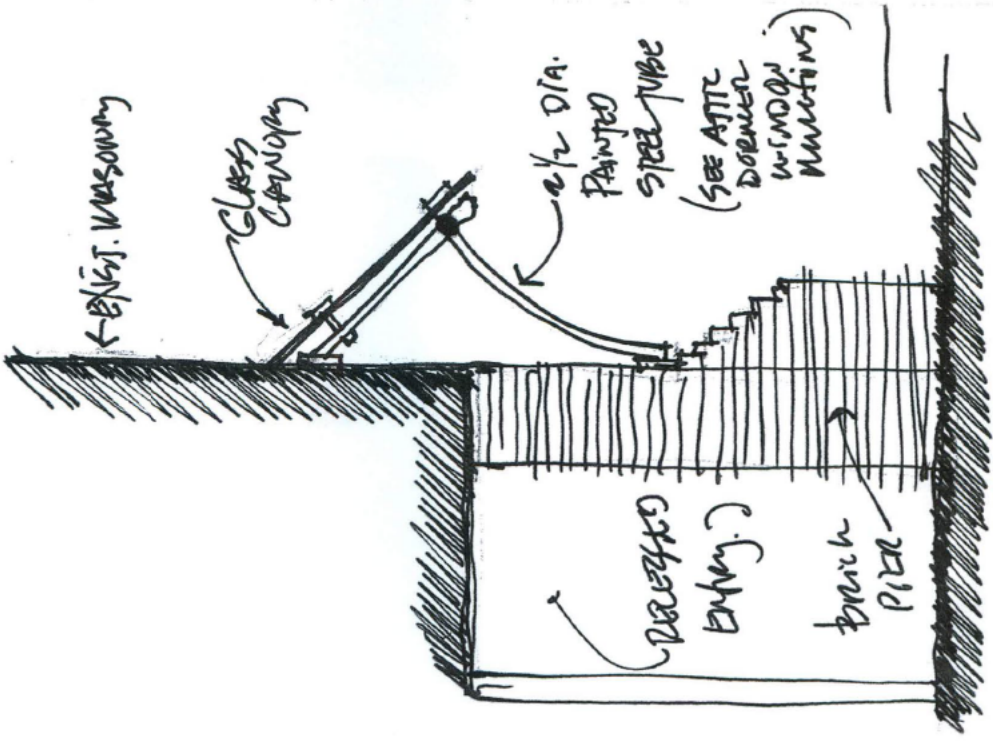




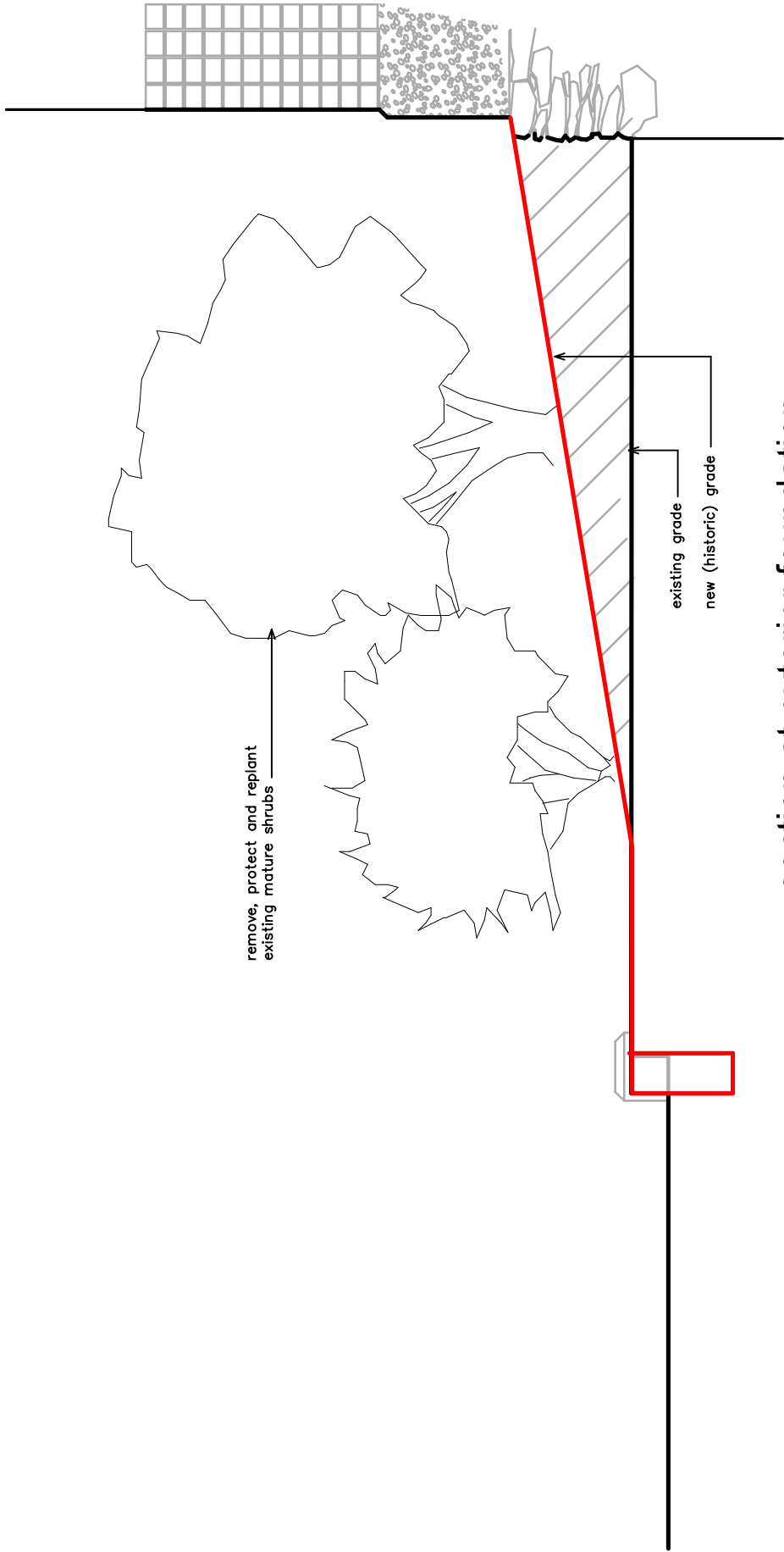
**Goduti/Thomas Architects**  
44 Oak Street, Portland, ME 04101  
207.775.3184







# Main Entry Butler new canopy



section at exterior foundation  
Butler grade change

**MARVIN PRODUCT DESIGNER**



**INTERIOR VIEW**



**EXTERIOR VIEW**



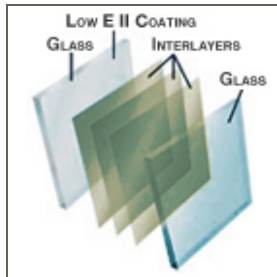
**White Painted**



**Satin Taupe**



**Pebble Gray**



**LoE<sup>2</sup>-180<sup>®</sup>**

**Marvin Ultimate Double Hung Window**

Congratulations! You have created a Marvin window to meet your design vision and architectural needs. Your interior finish, hardware, exterior finish and energy efficiency selections are detailed to the left.

At Marvin, we build each window the way it should be: made to order, one at a time, with no shortcuts. We're proud to offer our customers superior value through expert craftsmanship, the highest quality materials and an extraordinary level of service. With our endless customization options, exclusive features, energy efficiency solutions and the most knowledgeable experts in the industry, you'll find our windows are truly Built around you<sup>®</sup>.

To learn more about available Marvin window options or to discuss your ideal window with a Marvin expert, print this page and bring it in to your local dealer. To share your Marvin window with friends and family, use the icons above to post to Facebook, Twitter, or email a friend.



**Need an Estimate?**[Find a Pro ▶](#)

Asphalt Shingles to replace existing on  
Butler and Payson.

*The images on our website can be used to assist in your decision, but should not be relied on as the sole reference point. Due to variation in computer monitors and printers, the images shown may not exactly replicate the corresponding color, texture or appearance. To verify actual product color, texture or appearance, ask to see the actual product, available through a CertainTeed contractor or distributor. [Read More »](#)*

[Overview](#)[Technical Information](#)[Installation](#)[Warranty](#)

## Beauty. Value. Protection.

CertainTeed's Highland Slate has the look, texture and tone of natural slate with a dark shadow line to accentuate its appeal from the curb. Each tab is individually colored by state of the art Precision Color technology to provide a rich, deep, hue and its four-across tab is the ideal design to deliver color, contrast, and perfection when installed.

Wind, rain, snow, ice – this slate-like shingle performs at its best when the weather is at its worst. Highland Slate is rated where the winds howl – 110 mph – and it carries a full wind-resistance warranty.

The weave, pattern and fleck of natural slate is in the essence of the character that Highland Slate brings to your roof. With six premium color blends, Highland Slate is a smooth finish to rugged protection.

Highland Slate is also offered in 4 colors in a Class 4 Impact Resistant version for added protection in areas prone to severe weather conditions.

Beauty. Value. Protection. And a lifetime limited transferable warranty against manufacturing defects on residential applications. Protect yourself against the elements with the old-world affordable luxury of Highland Slate.



## Panels between windows at Butler.

•  
•Home  
NEOLITH »

Applications / Exterior

## EXTERIOR

**NEOLITH Exterior perfect for construction and cladding**

- Innovative design options
- Generous range of colour options and combinations
- Attractive matte finish
- Non-porous surface makes graffiti easy to remove
- Hardwearing and durable
- Ideal for high traffic spaces
- Easy to clean and maintain
- Minimal seam joins due to large slab size
- UV resistant colour pigments prevent fading

**RESIDENTIAL AND COMMERCIAL PROJECTS**

NEOLITH is the perfect solution for all residential and commercial cladding with exceptional durability and aesthetic appeal.

NEOLITH slabs are available in a 5mm gauge for cladding applications, including paving.

**PAVING AND CLADDING**

NEOLITH is perfect for cladding and paving because of its large slab size. It can easily be cut into any panel size to suit the project being worked on. The 5mm gauge makes it lightweight, easy to handle and does not require reinforcement of the sub-surface to carry the extra weight of the cladding. The durability of NEOLITH and the minimal number of seams required because of the large panel size make it an extremely hard-wearing material, ideal for high traffic commercial areas and residential homes.

**FACADES**

NEOLITH is perfect for ventilated façades and curtain wall applications thanks to its light weight, resistance to atmospheric agents, resilient pigments, and its large dimensions. The unique slab size facilitates fast-moving, exterior, cladding projects. NEOLITH comes in a wide range of colours for different styles of façades.

Associated Files

**Technical Features**

NEOLITH is the largest high-tech porcelain slab, which offers the most efficient solutions...



25. IRON COPPER

26. IRON GREY



[HOME](#) [NEOLITH APPLICATIONS](#) [COLOURS](#) [SPECIFICATIONS](#) [GALLERY](#) [SUPPORT](#) [NEWS](#) [SITEMAP](#) [CONTACT](#)



Copyright Neolith 2012 © 5.4(1)





CONTACT US

REGISTER

LOGIN



Home

Products

Details & Guides

Services

Project Gallery

Company

SpecWriter

Sustainable

You are here >> [Products](#)

# ATAS Versa-Seam

Product Info

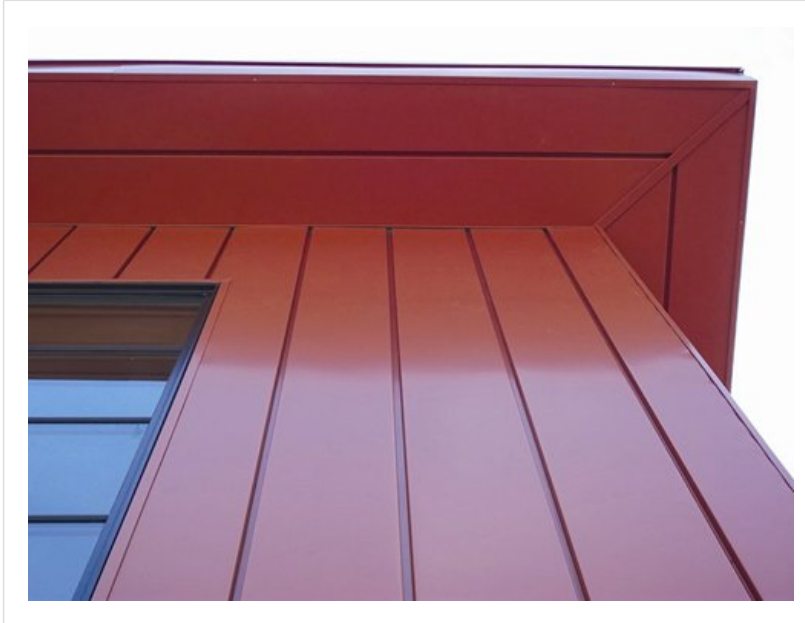
Product Overview

CAD Details

Colors

Gallery

Tech Data



## Peacock Partnership, Sandy Springs, GA

Versa-Seam, Mission Red

## Versa Seam siding for mansard roof on Butler rear elevation

### ATAS Spec Program



Use this program to create specifications using ATAS products.

[Learn More...](#)

### Curveline



Visit the Curveline website to learn more about our curved metal services

[Learn More...](#)

### Solar Air Heating



Reduce energy costs. Improve indoor air quality. Achieve LEED Certification.

[Learn More...](#)

#### Home

- Registration
- Manage Your Profile
- Employees

#### Products

- Color Chart
- Trend Colors
- ATAS Online Price Book

#### Details & Guides

#### Services

- AIA/CES Seminars
- Contractor and Distributor Training
- Contractor Tools and Rules
- Global Distributors
- Tolling Processes
- Warranties
- Tech Tips
- FAQ
- Estimating Guides
- Slopes and Angles
- Job Site Handling Procedures

#### Photo Gallery

- Project of the Year
- View by Product
- View by Application
- ATAS Accents
- Featured Projects
- ATAS Events
- Videos

#### Company

- Event Calendar
- ATAS Press Room
- Contact
- Directions
- ATAS History
- Facilities of ATAS
- Coil Coating
- Master of Metal
- Project of the Year
- Affiliations
- Customer Survey
- Site Map
- Employment

#### SpecWriter

#### Sustainable

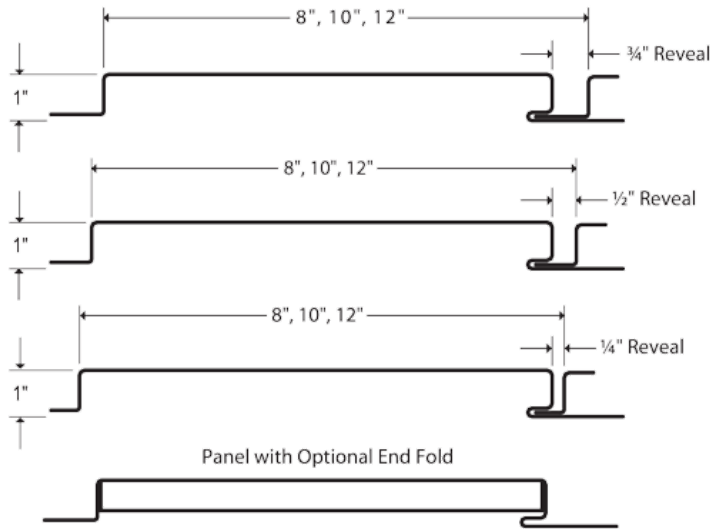
Like Share 211 people like this.

All Material Copyright © ATAS International, Inc.  
Allentown, PA | Mesa, AZ | Maryville, TN  
[Terms of Use](#) [Privacy Statement](#)

HQ:  
ATAS International, Inc.  
6612 Snowdrift Rd.  
Allentown, PA 18106

# ATAS Versa-Seam

Product Info   Product Overview   CAD Details   Colors   Gallery   Tech Data



- SKU:** VSS080  
VSS100  
VSS120
- Gauge:** .032, .040 Aluminum
- Panel Width:** 8"  
10"  
12"
- Panel Length:** Cut to customer specifications with a minimum of 3'-0", maximum of 20'-0"
- Panel Height:** 1"
- Texture:** Smooth
- Finish:** KYNAR 500® PVDF or HYLAR 5000® PVDF
- Colors:** Choice of 31 standard colors
- Accessories:** A complete line of trims available in matching colors, gauge and finish or as specified

Inquire for availability

Versa-Seam™ is a trademark of ATAS International, Inc.  
Kynar 500® is a trademark of Arkema Inc.  
Hylar 5000® is a trademark of Solvay Solexis, Inc..  
LRD0514

### ATAS Spec Program



Use this program to create specifications using ATAS products.

[Learn More...](#)

### Curveline



Visit the Curveline website to learn more about our curved metal services

[Learn More...](#)

### Solar Air Heating



Reduce energy costs.  
Improve indoor air quality.  
Achieve LEED Certification.

[Learn More...](#)



#### Home

- Registration
- Manage Your Profile
- Employees

#### Products

- Color Chart
- Trend Colors
- ATAS Online Price Book

#### Details & Guides

#### Services

- AIA/CES Seminars
- Contractor and Distributor Training
- Contractor Tools and Rules
- Global Distributors
- Tolling Processes
- Warranties
- Tech Tips
- FAQ
- Estimating Guides

#### Photo Gallery

- Project of the Year
- View by Product
- View by Application
- ATAS Accents
- Featured Projects
- ATAS Events
- Videos

#### Company

- Event Calendar
- ATAS Press Room
- Contact
- Directions
- ATAS History
- Facilities of ATAS
- Coil Coating
- Master of Metal
- Project of the Year
- Affiliations

#### SpecWriter

#### Sustainable

- A Sustainable Company
- Cool Metal Roofing
- Green Glossary
- InSpire Wall Solar Air Heating