

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that CAROLINEJ TESCHKE

Located At 91 PINE ST.

Job ID: 2011-04-895-ALTR

CBL: 055 - - A - 016 - 001 - - - - -

has permission to Remove /Replace existing roof deck

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

05/13/2011


\_\_\_\_\_  
Fire Prevention Officer


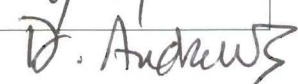
\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-04-895-ALTR</b>	Date Applied: <b>4/25/2011</b>	CBL: <b>055 - - A - 016 - 001 - - - - -</b>	
Location of Construction: <b>91 PINE ST</b>	Owner Name: <b>CAROLINE J TESCHKE</b>	Owner Address: <b>91 PINE ST PORTLAND, ME 04102</b>	Phone: <b>797-3381</b>
Business Name:	Contractor Name: <b>ROMANO, RICK</b>	Contractor Address: <b>PO BOX 1079 PORTLAND ME 04104</b>	Phone: <b>(207) 797-3381</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>BLDG - Building</b>	Zone: <b>R-6</b>
Past Use:  Two family	Proposed Use:  Two family – replace existing roof top deck	Cost of Work: <b>20000.00</b>	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A  Signature:	Inspection: Use Group: Type: <b>IRC, 2009</b> Signature: 
Proposed Project Description: <b>91 Pine St - replace roof top deck</b>		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b>	<b>Zoning Appeal</b>	<b>Historic Preservation</b>
	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan __ Maj __ Min __ MM Date: <b>4/28/11</b>  OK w/ conditions	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input checked="" type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>4/28/11</b> 

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-04-895-ALTR

Located At: 91 PINE

CBL: 055 - - A - 016 - 001 - - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Deck was originally permitted in 1993, #0280.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within a Historic District.
3. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. Note: Existing/ proposed deck only services a single dwelling unit.
2. Fastener schedule per the Engineered plans/ specifications and IRC, 2009.
3. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close-In: (Framing)
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

4/25

**Job Summary Report**  
**Job ID: 2011-04-895-ALTR**

Report generated on Apr 27, 2011 2:33:32 PM

Page 1

<b>Job Type:</b>	Alter/Adds to Residential SF/Duplex	<b>Job Description:</b>	91 Pine St	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	Initiate Plan Review	<b>Pin Value:</b>	1244	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	20,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		CAROLINE TESCHKE		<i>Property Owner</i>	
		PAPI & ROMANO BUILDERS - RICK ROMANO		<i>GENERAL CONTRACTOR</i>	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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**Location ID: 8458**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
F28950	055 A 016 001		M				-70.269912	43.650181
Location Type		Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)			
1					91 PINE STREET WEST			
Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
TWO FAMILY		NOT APPLICABLE	R-1b		Historic District		DISTRICT 3	WEST END

**Structure Details**

**Structure: Duplex**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address			
Two Family Dwelling	0			91 PINE STREET WEST			
Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value

**Permit #: 20113074**

**Permit Data**

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
8458	Duplex	Initialized	Remove /Replace existing roof deck			

**Job Summary Report**  
**Job ID: 2011-04-895-ALTR**

Report generated on Apr 27, 2011 2:33:32 PM

Page 2

**Inspection Details**

<b>Inspection Id</b>	<b>Inspection Type</b>	<b>Inspection Result Status</b>	<b>Inspection Status Date</b>	<b>Scheduled Start Timestamp</b>	<b>Result Status Date</b>	<b>Final Inspection Flag</b>
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**Fees Details**

<b>Fee Code Description</b>	<b>Charge Amount</b>	<b>Permit Charge Adjustment</b>	<b>Permit Charge Adj Remark</b>	<b>Payment Date</b>	<b>Receipt Number</b>	<b>Payment Amount</b>	<b>Payment Adjustment Amount</b>	<b>Payment Adj Comment</b>
Historic Review - Administrative	\$50.00							
Job Valuation Fees	\$220.00							

## Projects in Historic Districts

If your project affects the exterior of a building located within a designated historic district\*, please provide the following supplemental information, *as applicable to your project*. Keep in mind that the information you provide Historic Preservation staff is the only description they will have of your project or design. Therefore, it should accurately and fully illustrate the proposed alteration(s).

- Exterior photographs of existing conditions. Include a general streetscape view, view of entire building & close-ups of affected area. *Photographs are mandatory for all projects in historic districts.*
- Sketches or elevation drawings at a minimum 1/4" scale. Please label all relevant dimensions. 11" x 17" plans are recommended for legibility.
- Details or sections, where applicable. *Re-designs*
- NA* Floor plans, where applicable.
- Site plan showing relative location of adjoining structures. (The site plan can be a simple sketch.)
- NA* Catalog cuts or product information for proposed features (e.g. building mechanicals, windows, doors, light fixtures)
- Materials - list all visible exterior materials. Samples are helpful when the materials are not standard.
- Other (explain) *No new use. No significant alteration*  
*Remove + Replace existing deck at rear roof.*

\* To confirm whether the property you are working on is located within a historic district, please consult the map or list of designated historic properties available in the Building Inspections office.

If you have any questions or need assistance in completing this form, please contact Deb Andrews, Historic Preservation Program Manager, at 874-8726 or by e-mail at [dga@portlandmaine.gov](mailto:dga@portlandmaine.gov)

91 Pine Street, Portland  
Deck Renovation

The existing sun deck on the rear of 91 Pine Street needs to be replaced. We are proposing to match another deck on a neighboring townhouse roof so that there will continuity between the buildings.



Existing sun deck at 91 Pine, viewed from the rear alleyway.



Neighboring townhouse deck with profile that we would like to match.



Character of existing deck does not fit in with historic look of the townhouse, and it is different from the neighboring roof deck structures.

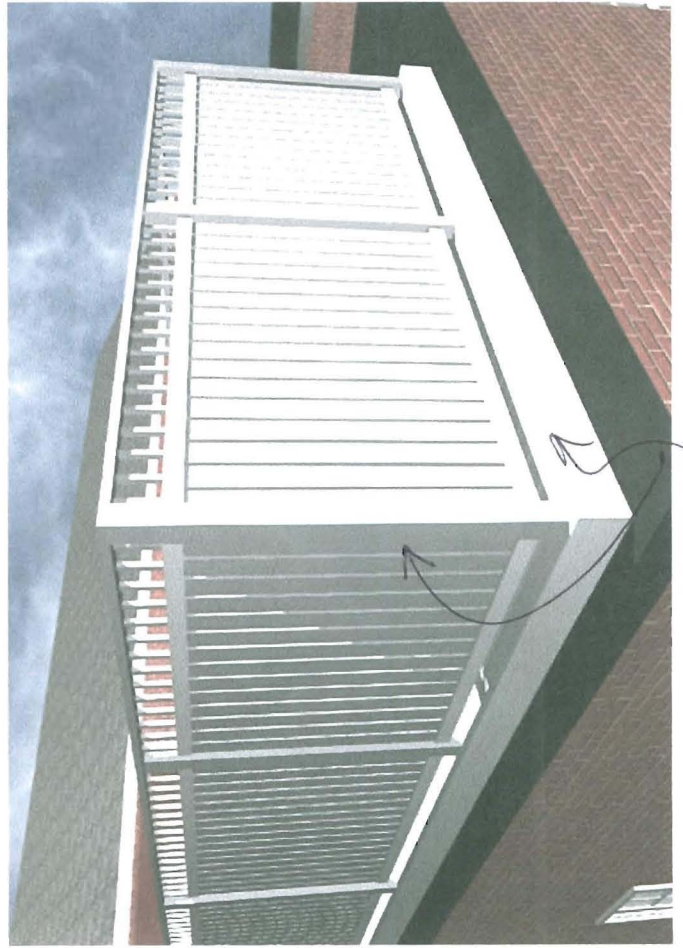
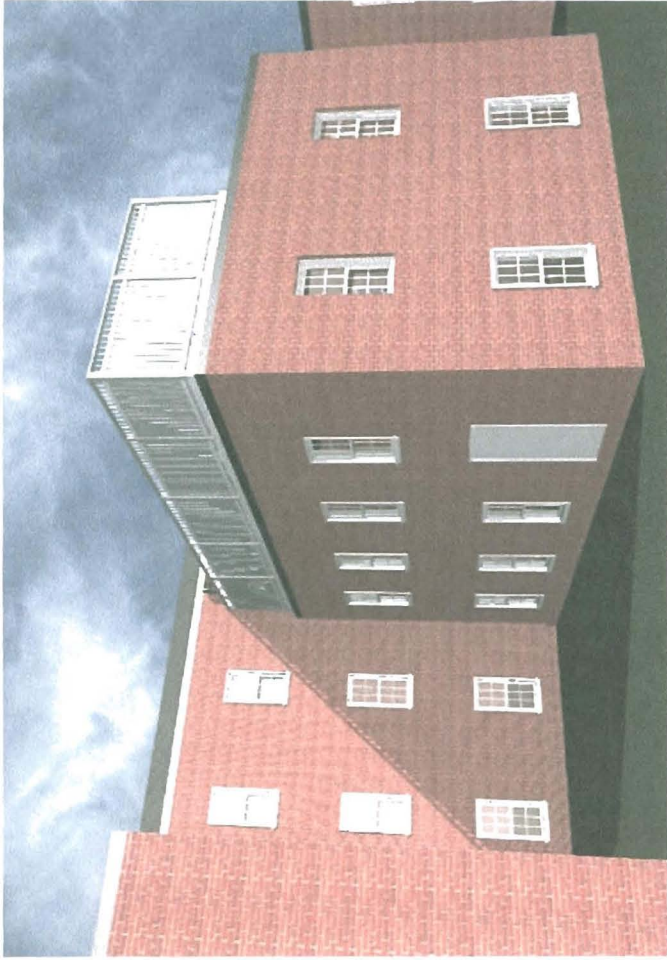
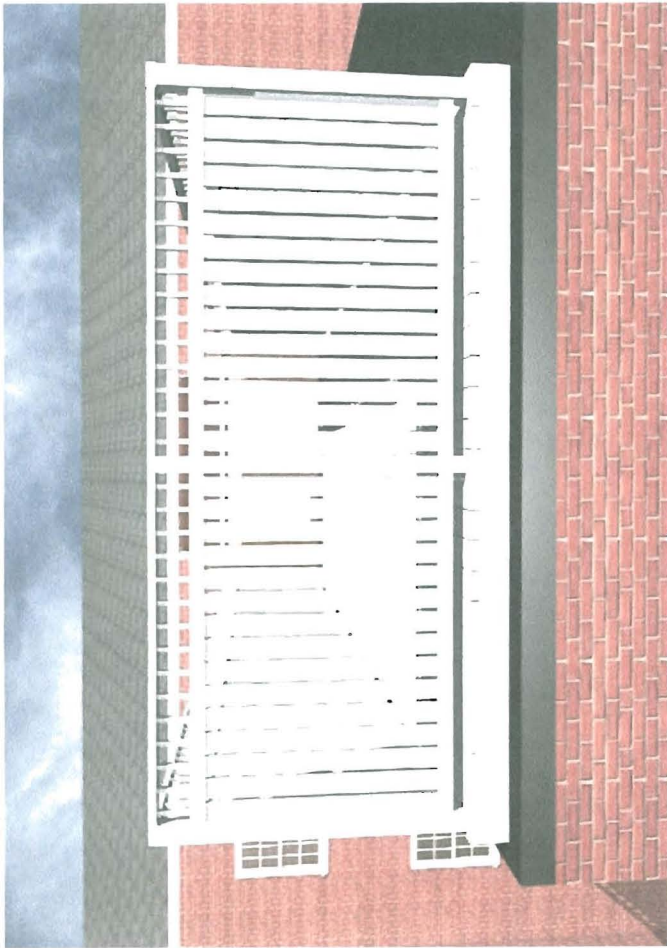


Simple design that is in keeping with the historic nature of the townhouses.





91 Five St Deck Detail Renderings



Painted Wood



**GENERAL NOTES:**

- The notes on the drawings are not intended to replace specifications. In addition to general notes. See specifications for requirements.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN LOADS:**

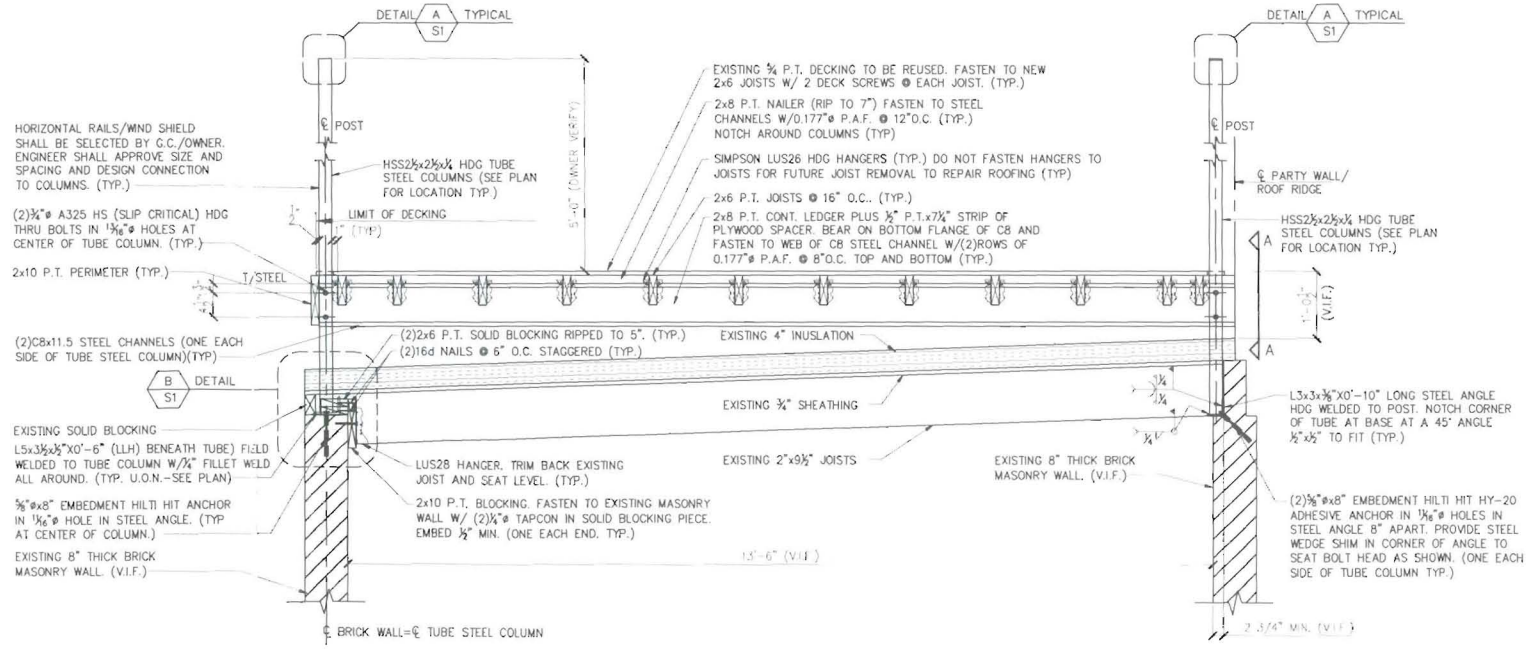
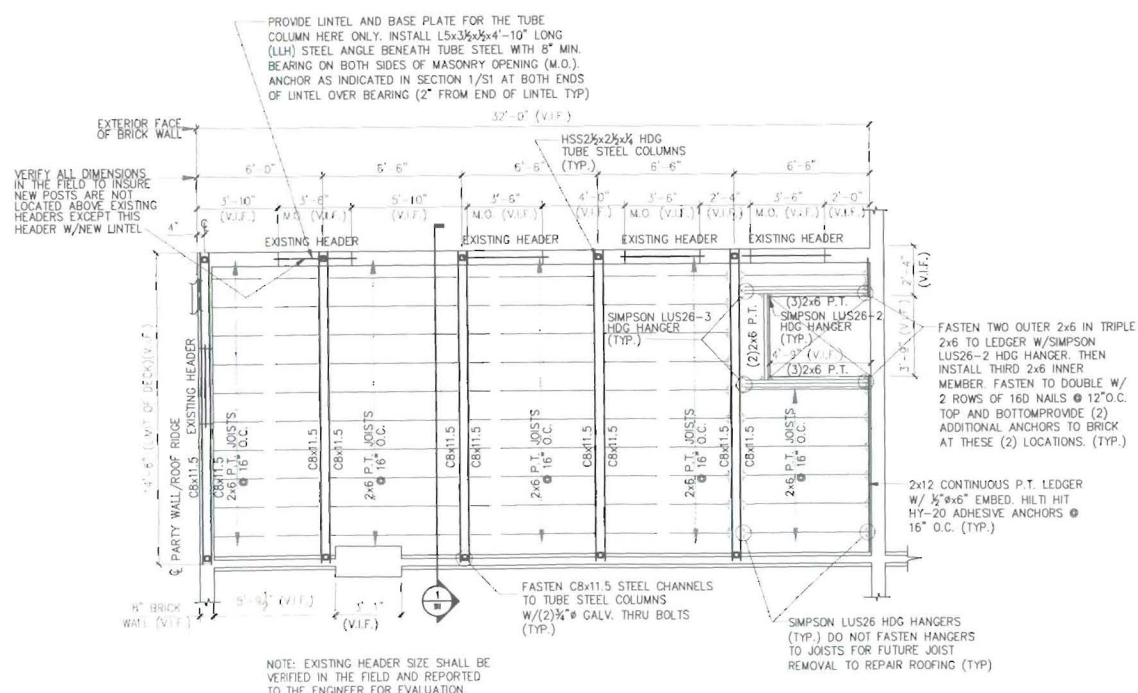
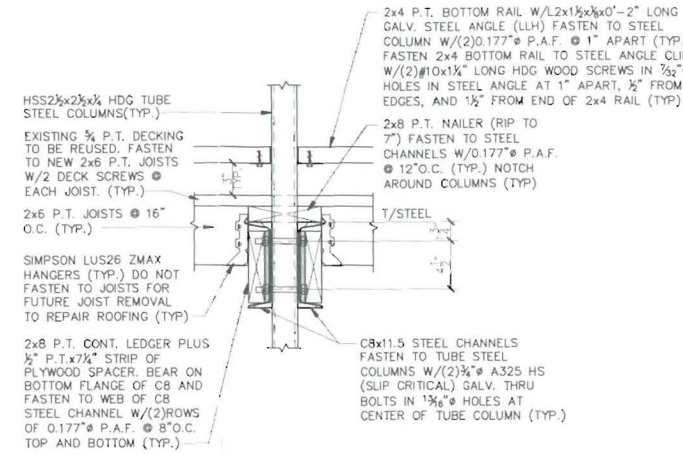
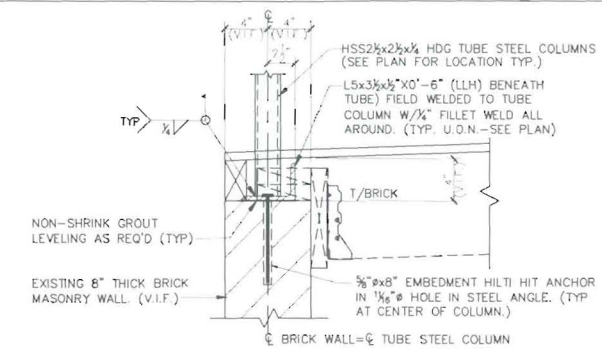
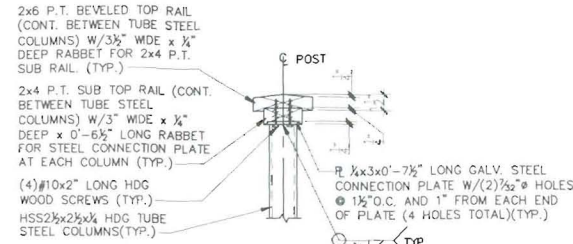
- Building code: IBC (2009) International Building Code.
- Design Live Loads: (Ground Snow load = 50 psf)  
deck ..... 45 psf + drift as applicable
- Design wind loads are based on exposure B using 100 mph basic wind speed.

**TIMBER FRAMING:**

- All Timber framing shall be in accordance with the AITC timber construction manual or the national design specification (NDS) - latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Timber shall be southern yellow pine treated with ACQ water borne preservative in accordance with AWPAC treatment C1 with 0.40 PCF retentive for items in contact with roofing, masonry or concrete with 0.60 PCF retentive for items in contact with earth.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Nailing not specified shall conform with IBC 2009.

**STRUCTURAL STEEL NOTES:**

- Structural steel fabrication, erection, and connection design shall conform to AISC Specification for the design, fabrication, and erection of structural steel-Ninth edition.
- Structural steel:
  - Structural steel shall conform to ASTM A-36.
  - Structural tubing shall conform to ASTM A-500 GR-B
  - Structural pipe shall conform to ASTM A-53, TYPE E OR S
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.
- Structural Steel Primer Paint, TNEPEC 10-99 Alkyd rust inhibitive primer, 2.0 to 3.5 mils dry thickness, or approved alternate.
- Structural Steel Top Coat for steel permanently exposed to view, TNEPEC series 2 TNEPEC-GLOSS Enamel, 3.0 to 5.0 mils dry thickness, or approved alternate.



**L & L STRUCTURAL ENGINEERING SERVICES, INC.**  
 81 PINE STREET  
 PORTLAND, MAINE 04101  
 PHONE: (207) 767-4830  
 FAX: (207) 799-9432



rev.	date	description	designed by: JHL	checked by: JHL	scale AS NOTED	post date: 3-23-11	project #: 28049
0	3-23-11	FOR CONSTRUCTION	ASD, AKB	JHL			

**EXTERIOR DECK DESIGN/REPAIR**  
 81 PINE STREET  
 PORTLAND, MAINE 04101  
 GENERAL NOTES, FRAMING PLAN AND DETAILS

**S1**

THESE DRAWINGS HAVE BEEN DEVELOPED BY L&L STRUCTURAL ENGINEERING SERVICES, INC. FOR THE TITLED SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF L&L ENGINEERING SERVICES, INC. AND THEY SHALL NOT BE LOANED, REPRODUCED, COPIED, OR ALTERED WITHOUT THE WRITTEN CONSENT OF L&L STRUCTURAL ENGINEERING SERVICES, INC.