

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **INSPECTION**

PERMIT

Permit Number: 090057

This is to certify that STICKS AND STONES PROPERTIES LLC Miggins
 has permission to Provide Temporary Structural Support of Porch Canopy, Replace Sills and Repair Canopy as needed.
 AT 169 NEAL ST CE 054-G009001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Jackson MAY 10 2009

Health Dept. _____

Appeal Board _____

Other _____

Department Name

CITY OF PORTLAND

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

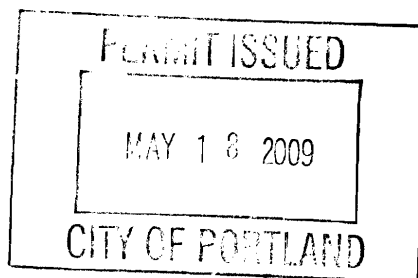
Permit No: 09-0057	Issue Date:	CBL: 054 G009001
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Location of Construction: 169 NEAL ST	Owner Name: STICKS AND STONES PROPERT	Owner Address: PO BOX 600	Phone: 207-856-2448
Business Name:	Contractor Name: LR Higgins	Contractor Address: PO Box 600 Scarborough	Phone: 2078562448
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-6

Past Use: Residential Multi Family Apartment	Proposed Use: Residential Multi Family Apartment - Provide Temporary Structural Support of Porch Canopy, Replace Stairs and Repair Canopy as needed.	Permit Fee: \$120.00	Cost of Work: \$10,000.00	CEO District: 2
<p><i>legal use: 10 Residential Dwelling units</i></p>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: SB	
Proposed Project Description: Provide Temporary Structural Support of Porch Canopy, Replace Stairs and Repair Canopy as needed.		Signature: <i>RG</i>	Signature: <i>JMB 5/15/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 01/23/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/26/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation TO DA <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/14/09 STA</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Application for Exemption From Building Code Railing Height Requirements

* Exemptions apply only for designated landmark structures and structures located in historic districts, per BOCA regulations. Requests need approval from both the Historic Preservation and Building Inspections divisions of the Planning Dept.

1. K. HIGGINS 1/2/09
 Applicant Application Date
103 DEAL ST.
 Applicant's Mailing Address Address of Subject Property
207 876-2048
 Contact Person/Phone Number

Description of Project (please attach photograph of existing conditions and/or plan of project):
REPAIR OF EXISTING PORCH & STAIRS

Please provide the following information:

1. Current Use of Property (If multi-family residence, please indicate # of units):
10 UNIT
2. Proposed Use, if applicable: same
3. The distance from the porch deck to the ground: 20" or less
4. The number of existing stair risers: 2
5. The current railing height and/or documented original railing height: VA - 36" AS CODE
6. The railing height requested: 36" UNLESS OTHERWISE SPECIFIED
NO BALUSTES

Planning Office Use Only:

Historic Preservation Committee/Staff Recommendation: See 1/2/09 Plan 2192
1/2/09
 Inspections Staff Recommendation: RECOMMEND APPROVAL
1/2/09

Exemption Granted Conditional Exemption _____ Exemption Denied _____

Signature [Signature] Date: 1/2/09

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0057	Date Applied For: 01/23/2009	CBL: 054 G009001
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Location of Construction: 169 NEAL ST	Owner Name: STICKS AND STONES PROPERT	Owner Address: PO BOX 600	Phone: 207-856-2448
Business Name:	Contractor Name: LR Higgins	Contractor Address: PO Box 600 Scarborough	Phone: (207) 856-2448
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Residential Multi Family - 10 dwelling units - Provide Temporary Structural Support of Porch Canoy, Replace Stairs and Repair Canopy as needed.	Proposed Project Description: Provide Temporary Structural Support of Porch Canoy, Replace Stairs and Repair Canopy as needed.
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 05/13/2009

Note:**Ok to Issue:**

- 1) Approval is contingent upon final inspection once project is completed.
- 2) The center hand rail is to be eliminated, retaining the curb, as shown in the 1924 photo.
- 3) All finish surfaces are to be pine or cedar, painted or stained with an solid body stain. Pressure treated may be used for structural work that will not show when completed.
- 4) Columns are to have new bases made, as shown in 1924 photo. Base on pillaster at left side of porch is to be used as basis for new base design. Paint marks from original bases on columns indicate height of new bases.
- 5) Approval is for replacement of the stairs and column support bases only. Contractor has removed additionl work shown in the application drawings (replacement of columns, and replacement of upper porch structure) from the project. Columns and upper portions of porch are to be repaired and restored in-kind.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/26/2009

Note:**Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a ten (10) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/15/2009

Note:**Ok to Issue:**

- 1) Sec. 3407.1 allows waivers for code compliance on historic buildings if it does not constitute a distinct life safety hazzard. See the attached waiver

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/14/2009

Note:**Ok to Issue:**

Comments:

Location of Construction: 169 NEAL ST	Owner Name: STICKS AND STONES PROPERT	Owner Address: PO BOX 600	Phone: 207-856-2448
Business Name:	Contractor Name: LR Higgins	Contractor Address: PO Box 600 Scarborough	Phone (207) 856-2448
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

5/13/2009-gg: received permit from historic on 5/13/09. /gg

5/15/2009-jmb: Left vcmmsg with Scott H. To verify fall protection between columns and to sign off on the permit card. Spoke with Eric H. Verified 2nd floor guard to remain. Discussed with Scott H. The historic recommendations and he will file a waiver for the removal of the middle handrail and opening protection at the shelf and handrails between the columns.



General Building Permit Application

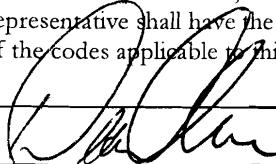
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>169/171 NEAL STREET PORTLAND ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>054 G 009001</u> <u>BOOK & PG # 24742 / 120</u>	Applicant * must be owner, Lessee or Buyer* Name <u>STICKS + STONES PROPERTY LLC</u> Address <u>CARE OF LR HIGGINS</u> <u>PO BOX 600</u> City, State & Zip <u>SCARBOROUGH, ME 04070</u>	Telephone: <u>207-856-2448</u>
Lessee/DBA (If Applicable) <u>JAN 23 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>10,000.⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ <u>120-</u>
Current legal use (i.e. single family) <u>APARTMENT BLDG.</u> Number of Residential Units <u>10</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>TEMP SUPPORT OF PORCH STRUCTURE, REPLACE STEPS, REPAIRS TO CANOPY</u>		
Contractor's name: <u>LR HIGGINS</u> Address: <u>PO BOX 600</u> City, State & Zip <u>SCARBOROUGH, MAINE 04070</u> Telephone: <u>207-856-2448</u> Who should we contact when the permit is ready: <u>DEAN CURRIER</u> Telephone: <u>207-838-2448</u> Mailing address: <u>PO BOX 600 SCARBOROUGH, ME 04070</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 1-14-09

This is not a permit; you may not commence ANY work until the permit is issued.



Accessibility Building Code Certificate

Designer:

CASCO BAY ENGINEERING, ERIC DUBE 847-2800

Address of Project:

169 171 NEAL STREET

Nature of Project:

PROVIDE TEMPORARY STRUCTURAL
SUPPORT OF PORCH CANOPY, POUR
CEMENT SUPPORTS + REPAIR CANOPY AS
NEEDED, REPLACE STEPS

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: _____

Title: _____

Firm: _____

Address: _____

Phone: _____

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

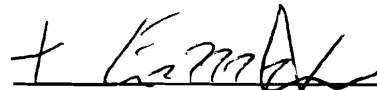
Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

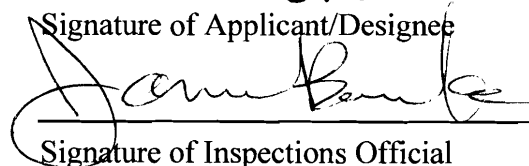
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5/18/09

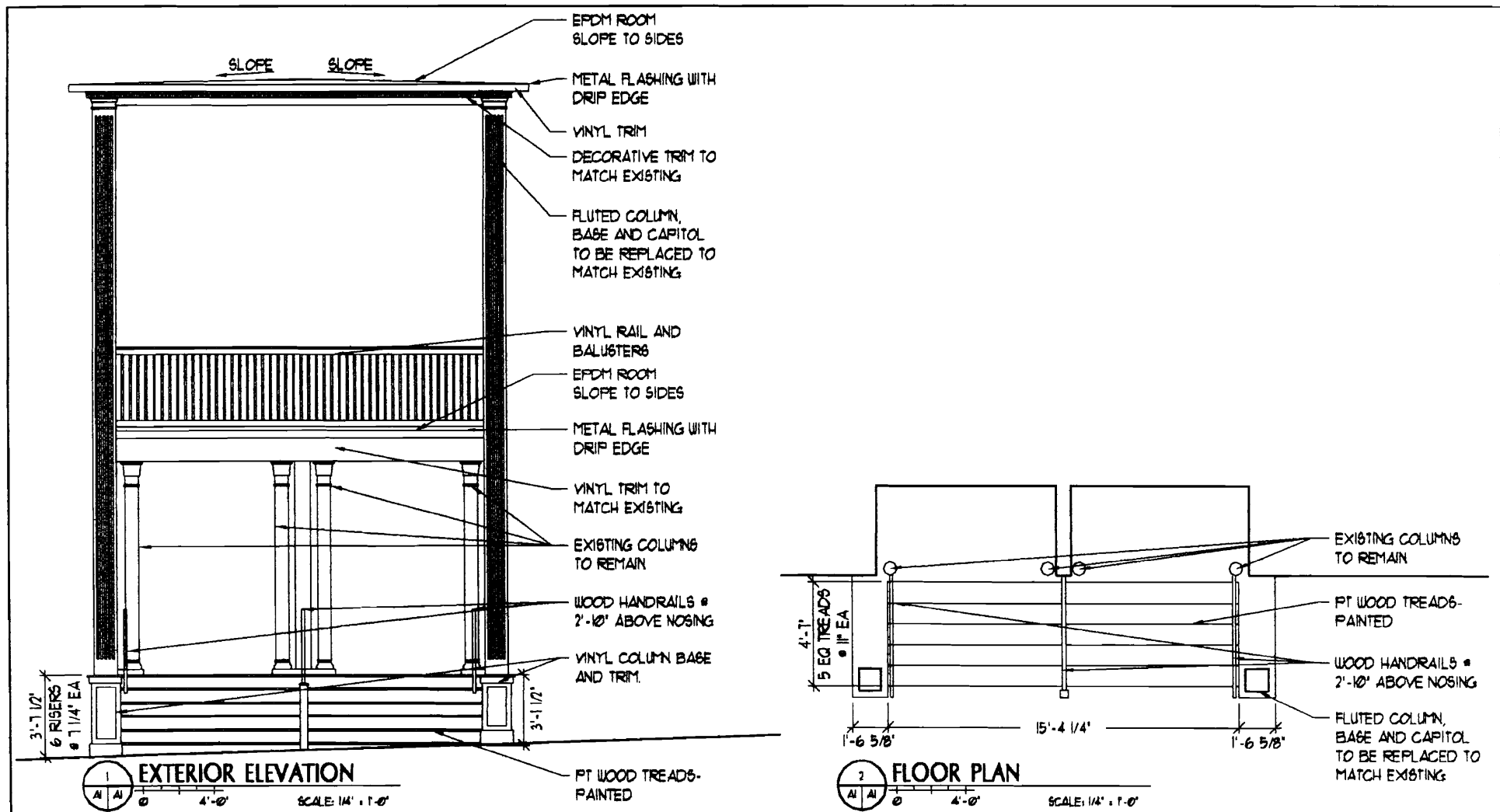
Date



Signature of Inspections Official

05/15/09

Date



Tidewater
ARCHITECTS
 U.C. PA

360 Us Route 1, Suite 204 Scarborough, Maine 04074
 Ph. 883.3060 Fx. 885.0105
 www.tidewaterarchitects.com

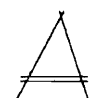
PORCH RENOVATIONS
 169-171 NEAL STREET
 PORTLAND, MAINE

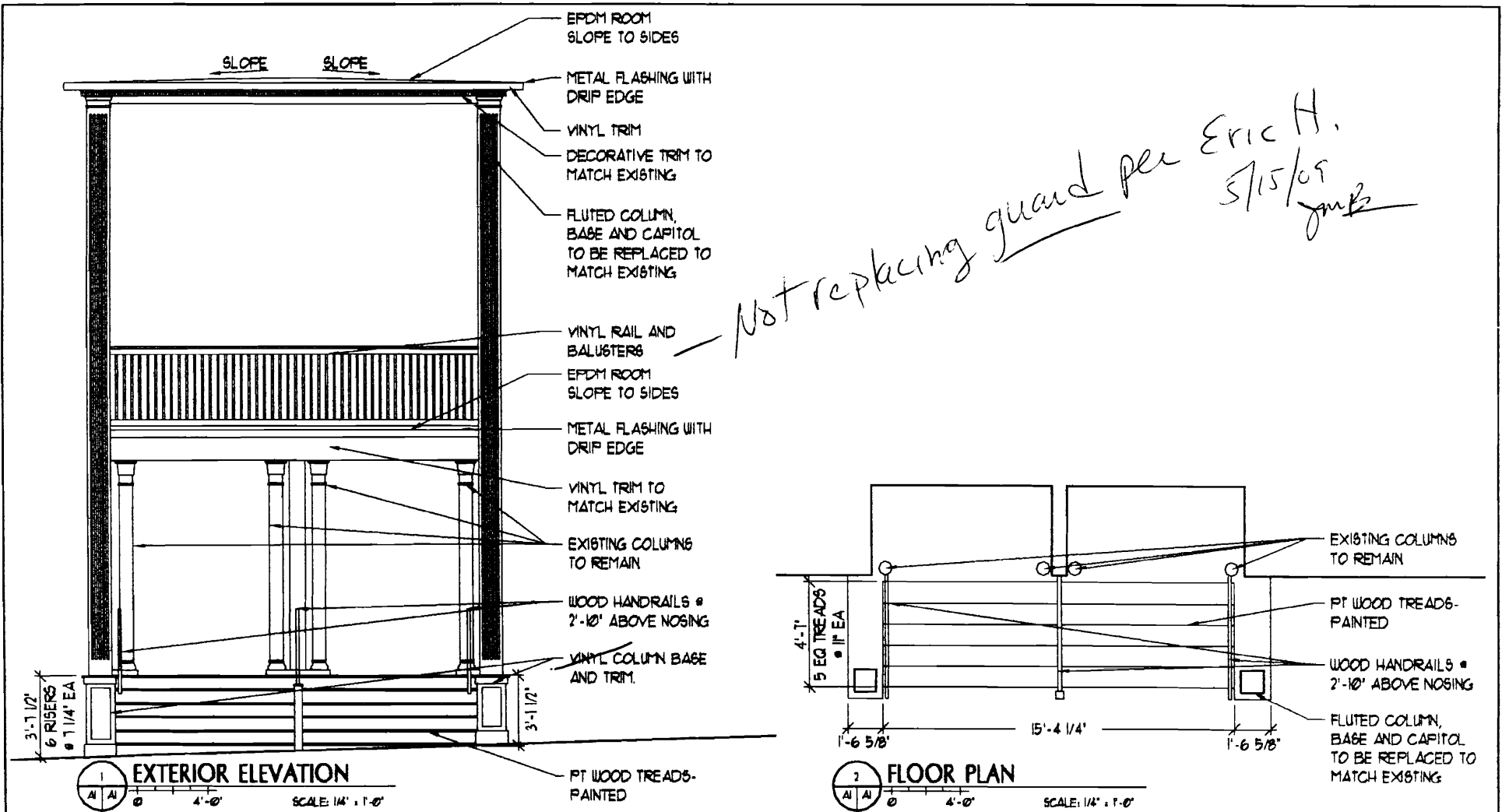
FLOOR PLAN
EXTERIOR ELEVATION

Scale: 1/4" = 1'-0"

Issued: 10-14-08

Revised:





Tidewater
 ARCHITECTS
 LLC PA

360 Us Route 1, Suite 204 Scarborough, Maine 04074
 Ph. 883.3060 Fr. 885.0105
 www.tidewaterarchitects.com

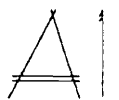
PORCH RENOVATIONS
 169-171 NEAL STREET
 PORTLAND, MAINE

FLOOR PLAN
 EXTERIOR ELEVATION

Scale: 1/4" = 1'-0"

Issued: 08-14-08

Revised:

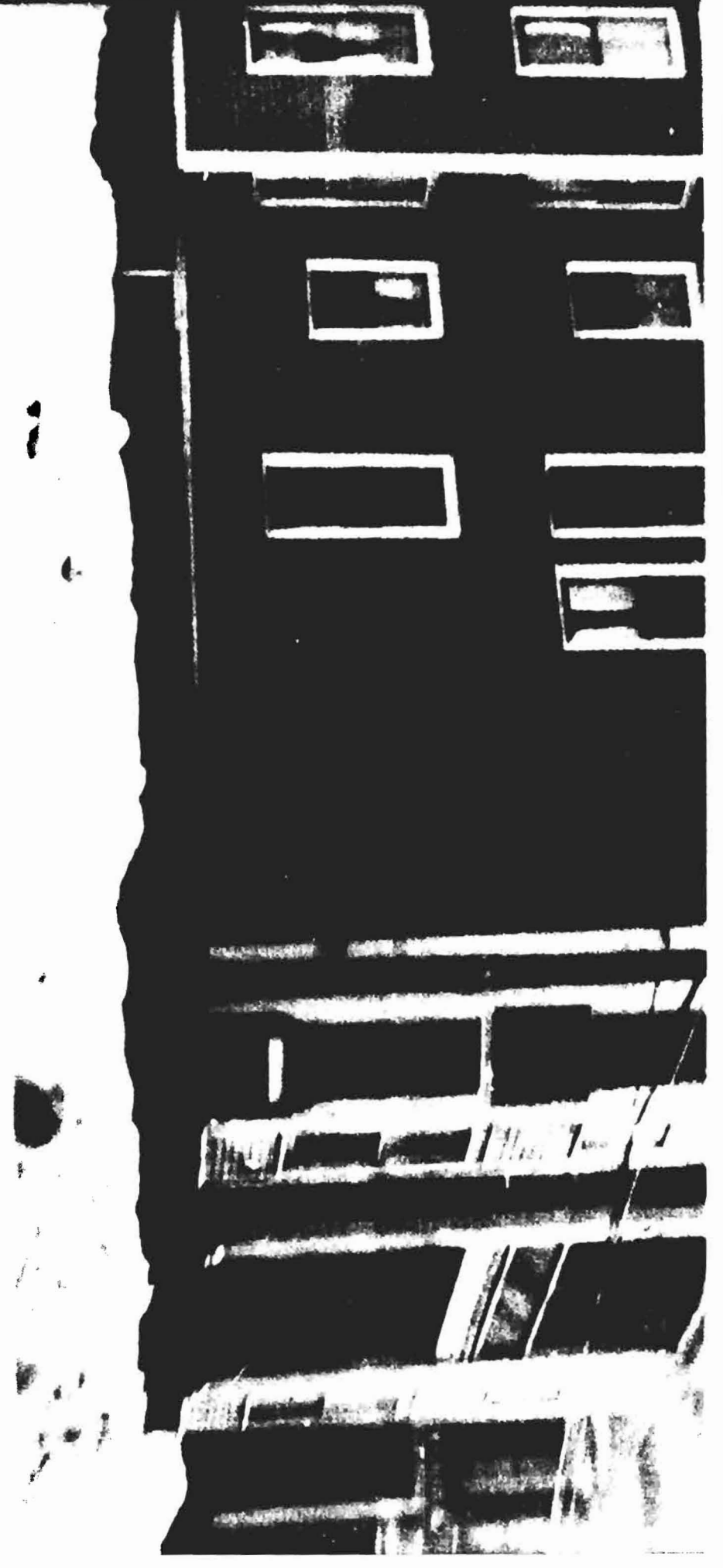




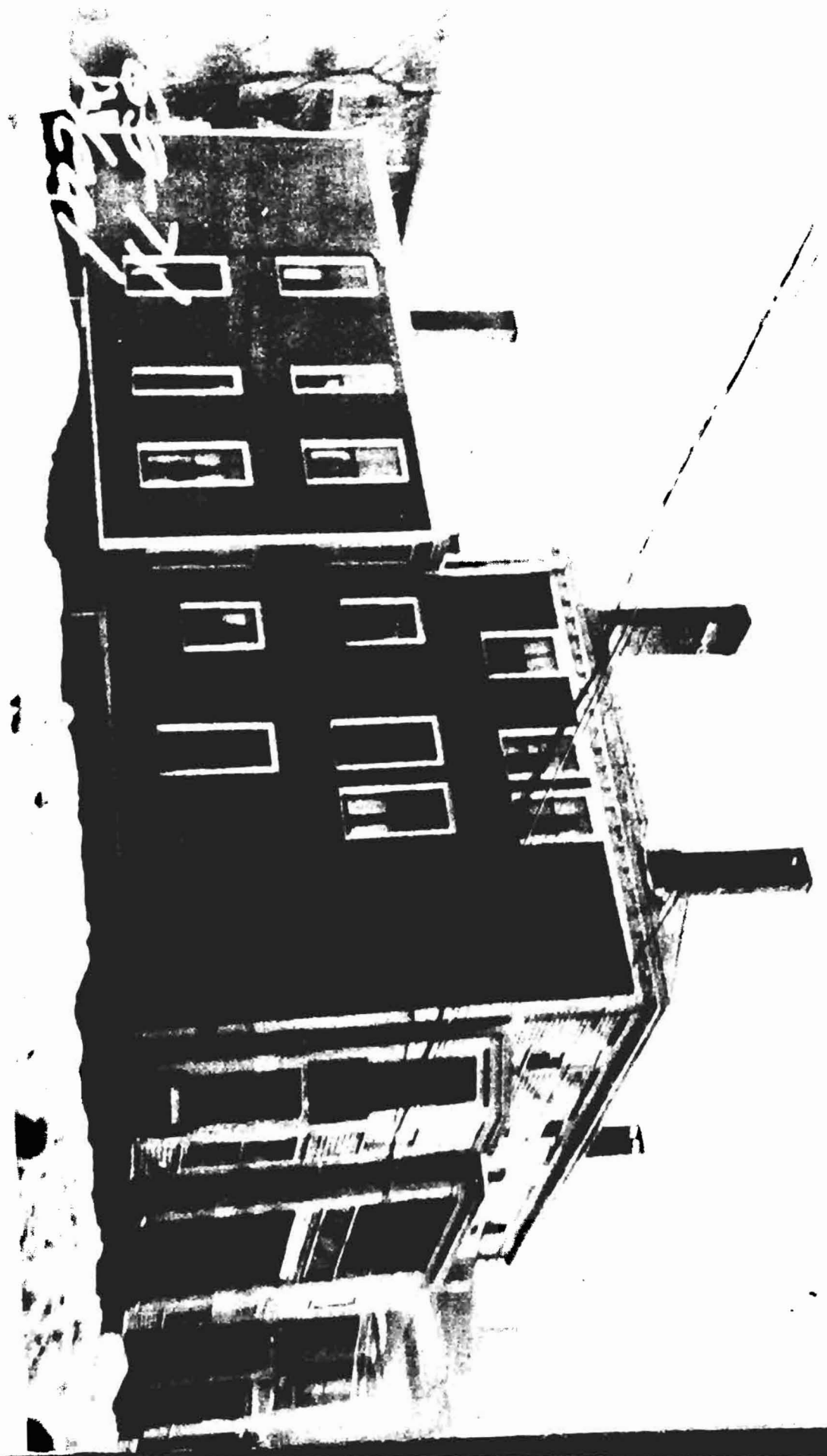
54-G-9
169 NEAL ST

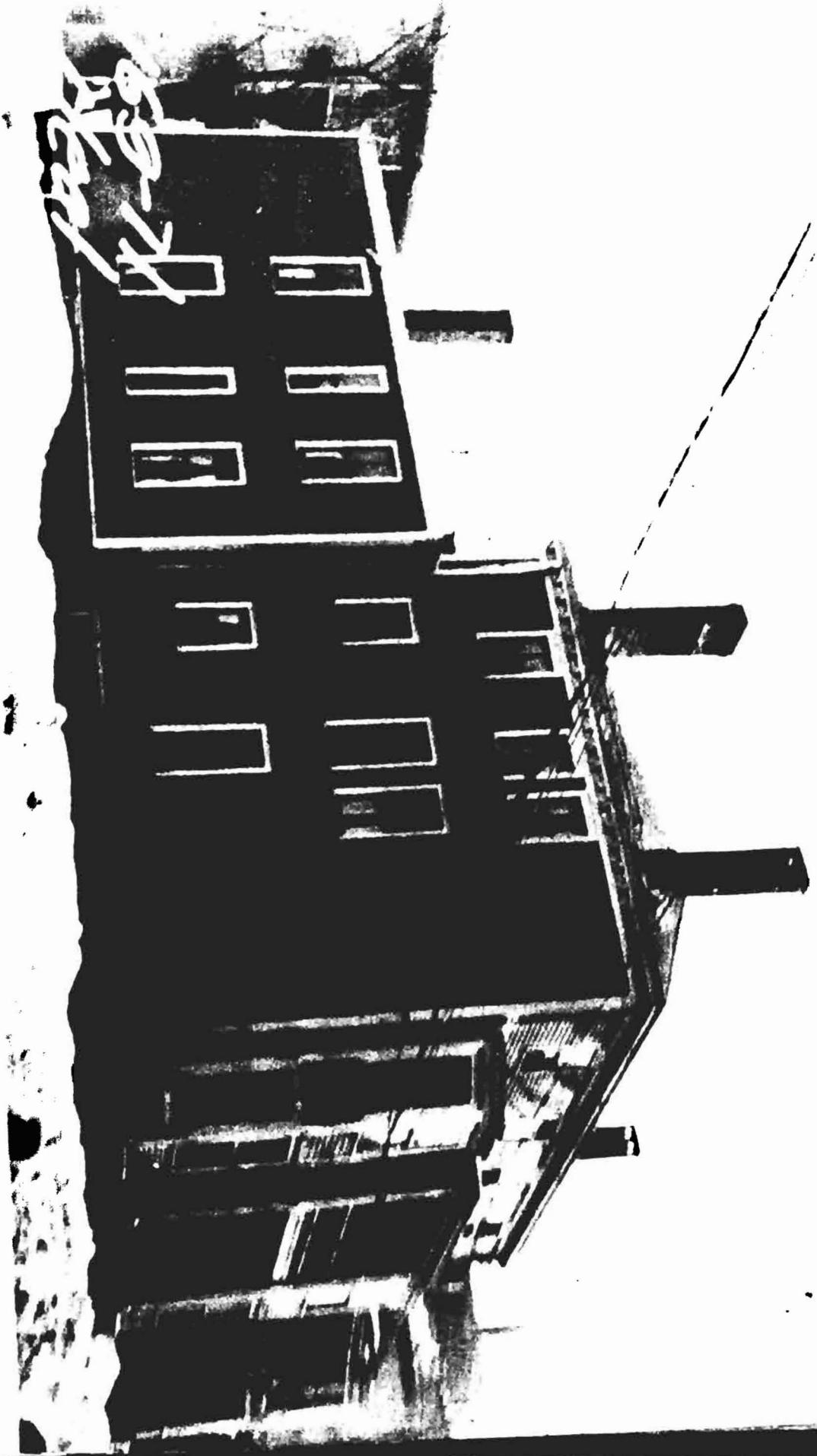
Don't forget to check the (S:J:J)

1914
The following is a list of the names of the persons who were present at the meeting held on the 1st day of January 1914.



Surveyed by *W. H. ...*
1904





Surveyed by W. C. B. Kelly, Beverly
1904



ALSO SEA FOODS, VEGETABLES, SPECIALTIES

**BURNHAM & MORRILL
COMPANY**

FOOD PACKERS
45 WATER ST. Tel. 2-8341

836

1955—FRED. L. TOWER COMPANIES'

Left Right

Neal Street—Cont.

- 48 Charles P. Emerson Δ3-7019
49 Leland G Means @ Δ3-6807
50 **CARROLL STREET crosses**
52 John H Pierce @ Δ4-1007
58 Mrs Gertrude M Cousens
Δ4-3015
Mrs Helen P McBride Δ4-1663
Mrs Fred R Ayer
61 First Church of Christ Scientist
62 Raymond W Coburn C S prac
and h @ Δ4-0127
Mrs Edith G Coburn C S prac
Δ4-0127
Mrs Annie B Freeman Δ2-3122
Frances Lombard
64 Robert A Verrier jr @ Δ5-1665
67 James R Regan @ Δ3-4677
(rear) Vacant
68 Frank C McLellan @ Δ2-3963
Guy F Stevens
Gladys N Marston Δ2-6365
Ella Mae Grace Δ2-6365
69 Margarette A Lyons @ Δ4-0521
69a Edward J Regan @
70 John N Foley apt 1 @ Δ3-8866
George Marcroft apt 2 Δ2-9615
Thomas E Flaherty jr apt 3
74 Phyllis C Cram @ Δ3-0777
Frank H Cram Δ3-0777
Dorothy M Cram @ Δ3-0777
82 **PINE STREET crosses**
90 Bernard A Bove @ Δ2-6263
94 Mrs Agnes N Keith Δ3-2741
Mabel Steadman Δ3-1015
Dr Thomas A Foster Δ2-7207
Marcia I Taylor Δ3-3541
Charles H Robinson jr Δ3-2548
Roy F Stevens
100 Josiah H Drummond @ Δ2-5120
104 Mrs Lillian Barker @ Δ2-6872
Agatha McFarland
113 **WEST STREET crosses**
117 H Nelson McDougall Δ3-0563
119 Charles E Skillin Δ2-0621
121 Gilbert F Schumacher Δ2-0613
122 The Whitney Apts
Harry J Gardner apt 1 Δ2-2056
Mrs Grace L Sawyer apt 2
Δ2-0913
Elizabeth Dean apt 3
Mrs Helen F Streeter apt 4
Δ2-6255
James F Doughty apt 5 Δ4-0734
Richard K Kitan apt 6 Δ5-0507
123 Turner Jones jr Δ3-1394
125 Mrs Marguerite R Fay Δ3-1880
126 Mrs Minnie C Eastman Δ3-9646
Wilfred A Hay
Keith W Gallagher Δ4-8154
Warren J Reddy Δ2-2230
127 Richard M Baker jr Δ5-2108
129 Philip H James Δ3-0369
130 Eugene W McNeally @ Δ4-1684
131 Dorothea B Thomas Δ3-2102
132 J Henry Marshall Δ5-2107
134 Thomas E Martin jr Δ2-3032
Elmer W Cobb Δ2-1622
Nicholas L Menario
137 William E Nelson Δ5-0609
Rufus H Webb Δ4-1197
Herbert J Kimball
138 Ernest W Griffin Δ4-8843
139 James Tirrell Δ4-2551
Philip D MacDonald
Richard L Lamb Δ3-4863
141 Burton F Long Δ3-0595
142 Mrs Laura E McEwen Δ2-1150
Gloria A Worcester
William P Cary Δ5-2083
143 Alice A Whittier phys and h @
Δ2-0236
Fred E Barton Δ2-0566
146 Stork Club Studio photo Δ4-6568
Edmund J Mrowka @ Δ4-6568
Harold H White Δ2-6653
Mrs Marguerite Federico
Aubigne T Fogg @ Δ3-1225
150 **BRACKETT STREET crosses**
153 Clifton C Roberts @ Δ2-7867
163 Oscar A Ferrero apt 1
George Gould apt 2
Douglas A Genthner apt 3
Roger Burch apt 4
Vernon Thard apt 5
164 Edgar H MacLeod Δ3-6772
Vacant
165 Charles L Perry
No return
166 Eugene W Durgin

Left Right

- 168 The Neal Apts
John F Conlen apt 1 Δ3-2518
Herbert Cameron apt 2 Δ4-2093
George R Shaw apt 3
Mrs Blanche Pride apt 4
Everett E Adams apt 5
Alice Foley apt 6 Δ2-5089
Marvin W Martin jr apt 7
Δ2-7949
Frederick J Sellers apt 8 Δ4-3171
Edward C Lorke apt 9
Evelyn Thompson apt 10
Brendon A Fernald apt 11
Δ5-1416
Charles L Doughty apt 12
Δ4-9481
George F Webber apt 1
George H Gagliardi apt 2
Δ2-9021
John C Flaherty apt 3 Δ4-3614
John Shira apt 4
Mrs Roberta C Bartley apt 5
Δ4-6672
171 Marleange P StMarie apt 1
Mrs Mildred Davis apt 2 Δ5-1091
Edmund P Duchesneau apt 3
Δ4-2513
Roscoe F Woodrow apt 4
Δ4-1609
Robert Goodrich apt 5
James H Linehan Δ3-2328
Philip S Hagen Δ2-1538
John G Campbell jr Δ3-8640
175 Leo Richard Co trucking Δ4-5051
Madeline Shaw Δ2-4219
176 Mrs Irma Almesan mus tchr
and h Δ3-8613
Warren Dayton bldg contr & h
Δ3-0383
178 Charles C Cameron @ Δ4-1730
180 The Carol lodg Δ4-3870
Mrs Jennie M Rose Δ4-3870

NEVADA AVENUE

WARD 9

- From Bay to Falmouth line
8 Leonard W King @ Δ2-0533
9 James R Smithson jr @ Δ2-2547
14 Guy M Leland @ Δ4-0858
15 David Davidson @ Δ5-0449
19 Vernon E Putney Δ4-7798
— **UTAH AVENUE crosses**
25 C Homer Thompson Δ4-1245
26 Earle W Fenderson @ Δ3-4622
31 John J Waswill @ Δ2-3227
32 Ernest L Elgee @ Δ3-9764
35 Harold C Steeves Δ2-1367
36 Conrad A Moreau Δ3-9748
39 Cecil E Crommett Δ5-2159
40 Daniel H Roberts @ Δ2-0547
45 Rolland E Milliken @ Δ3-7460
46 Clarence E Parker @
49 Eric H Styffe @ Δ3-1020
— **VIRGINIA STREET crosses**
— **FALMOUTH LINE**

NEVENS STREET

WARD 8

- From 211 Woodford to 36 Concord
11 Harold E Lepoff @ Δ3-6057
13 Mrs Eva N Ramsdell Δ2-8547
16 Wilfred A Houle @ Δ2-2305
17 Philip P White Δ4-9280
19 Vacant
23 Elmer E Parmenter @ Δ3-4938
Mae D Parmenter Δ3-8527
24 Mrs Etta F Walton Δ2-1431
24a Harry A Cassidy Δ3-9808
25 Mrs Elizabeth Koharian Δ2-7304
Charles Koharian @ Δ4-7388
(rear) John Motley @
27 James E Malone @ Δ4-1147
George J Catir jr @ Δ4-9389
29 Arthur A Gronberg Δ3-8320
36 Lawrence A Libby Δ4-9336
John M Heighe @ Δ2-1549
42 Demolished
54 **SAUNDERS STREET ends**

**NEW ISLAND AVENUE—
PEAKS ISLAND**

Extension of Island avenue easterly

NEW STREET

WARD 9

From 560 Stevens avenue to 133 Leland

Left Right

- 16 Arthur L Stokes @ Δ4-1178
Elliot G Beal
18 William R Brazier @ Δ4-0642
20 William H Hofacker Δ2-9268
22 Philip S McDuffie @ Δ3-8568
24 Keith E Savage @ Δ4-3546

NEWBURCH STREET

WARD 9

—UNACCEPTED—
From Huntington avenue to Marlborough
road

- 137 Donald P Clarke @

NEWBURY STREET

WARDS 2, 3

- From 77 Fore to 91 Market
7 Mrs Mary N Blessing
9 Edward F Tuttle
Nazzare Mancini @ Δ3-5729
11 Mrs Concetta L Tucci @
Antonio Tucci Δ3-6588
12 Clifford A Ireland
Peter Miller
Harry Clark
13 Frank A Breggia
Albert J Breggia
Mrs Ruth Porter
Bud Bridges
Mrs Violet E Dona
Victor A Cipriano
Anthony J DeLuca @ Δ4-0916
15 Vacant
Felix Terroni @
(rear) Vacant
15a Mrs Gertrude Powers
17 Perley A Swasey pnt and h @
Δ5-2145
20 Anthony Jacobsky
Nicholas C Giusti
John F Conley
Mrs Santa Ferrante @ Δ3-9633
22 Joseph Mancini
Santino A Giusti
John J McDermott
Florence Carpenter
Roy Boody
25 Leroy G Colby
James Aceto @ Δ4-0420
Carmello Nappi Δ3-1814
Perley E Berry
Mrs Colletta Tenerillo
29 Oscar C Tabb
33 Ottaviano A Breggia contr
carp and h @ Δ2-9592
37 Camillo Breggia @ Δ4-2127
(rear) Clifford J Niles Δ4-9886
40 Henry J Daley @
41 Maurice A Kennedy
John A Pride Δ2-2998
Harold F Hueston Δ2-0530
44 Calvin P Preston
45 Joseph A Dalfonso
Albert Genovese Δ2-8018
Mrs Alice M Gookin
46 Mildred M Mullen
47 Peter E Anania @
Harry A Vassallo
49 Arthur R Bickford Δ3-4562
Frank P Gedaro @ Δ4-6862
57 John Mango @ Δ3-6368
John T A Mango jr
61 Storage
Nicholas D Colucci Δ2-4750
Aladino A Orlando
63 **MOUNTFORT STREET crosses**
65 Winfield R Trott
Harry S Swasey
70 J Vincenzo Bruai @ Δ2-8607
Joseph S Mancini
James P Bruai Δ3-0967
71 James D Bennett gro and h @
Δ3-9187
John D Bennett
Armand G Orlando
John L Baillargeon
72 Vacant
Emilio V Bruni
Angelo J Ventresca
Lester G Perkins
73 Emery Galli Δ4-7983
Orlando J Capellati
Ralph L Mastro Δ2-7319
Donald E Daniels
74 Mrs Catherine K Denney Δ3-6820
Mrs Josephine Visconi @
77 Come Frisco @



Application for Exemption From Building Code Railing Height Requirements

* Exemptions apply only for designated landmark structures and structures located in historic districts, per BOCA regulations. Requests need approval from both the Historic Preservation and Building Inspections divisions of the Planning Dept.

L.R. HIGGINS
Applicant
PO Box 600 SCARBOROUGH
Applicant's Mailing Address
207 856-2448
Contact Person/Phone Number

1/23/09
Application Date
169 NEAL ST.
Address of Subject Property

Description of Project (please attach photograph of existing conditions and/or plan of project):

REMOVE COLUMN BASES & STEPS

Please provide the following information:

1. Current Use of Property (If multi-family residence, please indicate # of units):

10 UNIT

2. Proposed Use, if applicable: SAME

3. The distance from the porch deck to the ground: 36" + or -

4. The number of existing stair risers: 6

5. The current railing height and/or documented original railing height: N/A TO STAY THE SAME AS CURRENT

6. The railing height requested: N/A ORIGINALLY THERE WERE NO RAILINGS

Planning Office Use Only:

Inspections Sec. 3407.1 IBC 2003
Historic Preservation Committee/Staff Recommendation: Center handrail allowed to be removed - Not as functional as side rails. Rail opening at shelf not viewed as safety hazard - Min. minimal height above allowance.

Historic Inspections Staff Recommendation: RECOMMEND ENLIGHTENMENT OF ADDED CENTER RAILING & NO BALUSTERS OR SIDE RAILINGS AS THERE IS VERY LITTLE FALL HAZARD IN EXISTING PORCH DESIGN & CONDITIONS OF SITE.

Exemption Granted Conditional Exemption Exemption Denied

Signature: [Signature] Date: 5/15/09

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:

IBC 2003	EDITION OF THE IBC INTERNATIONAL BUILDING CODE
ASCE 7	AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
ACI 301	AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
AISC	AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
ACI 318	AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS
NDS	NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS ASSOCIATION, 2001.

REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.

EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.

THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.

GENERAL NOTES

SCALE: NTS

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O.

CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.

WOOD GRADES AND SPECIES:

1. SPRUCE-PINE-FIR, No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC) U.N.O.
2. USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE PRESSURE TREATED LUMBER (PT OR PPT).

STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.

PROVIDE PRESSURE TREATED OR WOLVANIZED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.

ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING:

1. USE 5/8" PLYWOOD WALL SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO WALL STUDS. STAGGER PANEL ENDS AND BLOCK ALL PANEL EDGES.
2. USE 5/8" PLYWOOD ROOF SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS. USE SHEATHING CLIPS BETWEEN SHEETS WHERE BLOCKING IS NOT REQUIRED.
3. USE 3/4" PLYWOOD FLOOR SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS.

PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.

FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF REFERENCED BUILDING CODE, U.N.O. ON DRAWINGS, SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED, UNLESS OTHERWISE NOTED IN BOCA OR ON THE DRAWINGS. NAIL MULTIPLE LVL'S TOGETHER AS RECOMMENDED BY THE MANUFACTURER USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" o.c. STAGGERED. ALL FASTENERS, NUTS, AND WASHERS SHALL BE HOT-DIPPED GALVANIZED.

ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT. PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM. SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

WOOD NOTES

SCALE: NTS

LIVE LOAD:

DECK = 60 PSF

SNOW LOADS:

GROUND SNOW LOAD, $P_g = 50$ PSF
 SNOW EXPOSURE FACTOR, $C_e = 1.0$
 SNOW LOAD IMPORTANCE FACTOR, $I = 1.0$
 FLAT ROOF SNOW LOAD, $P_f = 35$ PSF + DRIFT

NOTE: CASCO BAY ENGINEERING ANALYZED/DESIGNED TEMPORARY SHORING FOR (2) COLUMNS SHOWN IN PLANS. CASCO BAY ENGINEERING DID NOT ANALYZE ANY EXISTING STRUCTURAL MEMBERS, INCLUDING COLUMNS, BEAMS, ROOFS, FOUNDATIONS, ETC.

DESIGN CRITERIA

SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:

ACI 318	AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI 301	AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
ACI 305	STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING
ACI 308	STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
ACI 308	STANDARD PRACTICE FOR CURING CONCRETE

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

LOCATION	MAX W/C RATIO	f_c	AIR-ENTRAINMENT
INT. CONC./WALLS/SLABS	.52	3,000 PSI	2% ± 1/2%
FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS	.52	3,000 PSI	5-7%
INT. SLAB-ON-GRADE	.47	4,000 PSI	NONE
EXT. SLAB-ON-GRADE	.45	4,000 PSI	6% ± 1/2%

WHERE: W/C = WATER TO CEMENT RATIO AND
 f_c = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33. USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 250. ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE" ASTM C 494. FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.

MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.

CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND EXTERIOR WALKWAYS SHALL BE AIR ENTRAINED WITH AIR CONTENT BETWEEN 5% AND 6%. CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 308, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.

CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE. CONCRETE USED ON SITE SHALL BE FIELD TESTED IN ACCORDANCE WITH AND IN THE PRESENCE OF AN APPROVED TESTING AGENCY. FIELD TESTING INFORMATION SHALL INDICATE SLUMP, AIR CONTENT, AND TEMPERATURE. COMPRESSION TEST 1 CYLINDER AT 7 DAYS AND 2 AT 28 DAYS. HOLD AN ADDITIONAL CYLINDER FOR A 56 DAY BREAK, IF NECESSARY. PROVIDE A SET OF 4 CYLINDERS FOR EACH PLACEMENT AND PER 50 CUBIC YARDS OF CONCRETE PLACED. THE OWNER SHALL PAY FOR ALL CONCRETE TESTING.

CONSTRUCTION JOINTS IN WALLS SHALL BE PERMITTED AS DETAILED ON THE STRUCTURAL DRAWINGS. SURFACES OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, CONSTRUCTION JOINTS SHALL BE WETTED AND STANDING WATER REMOVED. VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL NOT EXCEED A SPACING OF 40 FEET.

WHERE ELECTRICAL CONDUIT/ RADIANT HEATING TUBES RUN IN THE SLAB, THEY SHALL BE LOCATED AT MID-DEPTH OF THE SLAB. ALUMINUM CONDUIT AND SLEEVES ARE NOT PERMITTED.

ANCHOR BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

CONCRETE NOTES

SCALE: NTS



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NEAL ST. CANOPY
 PORTLAND
 MAINE
 TEMPORARY SHORING
 FOR (2) COLUMNS

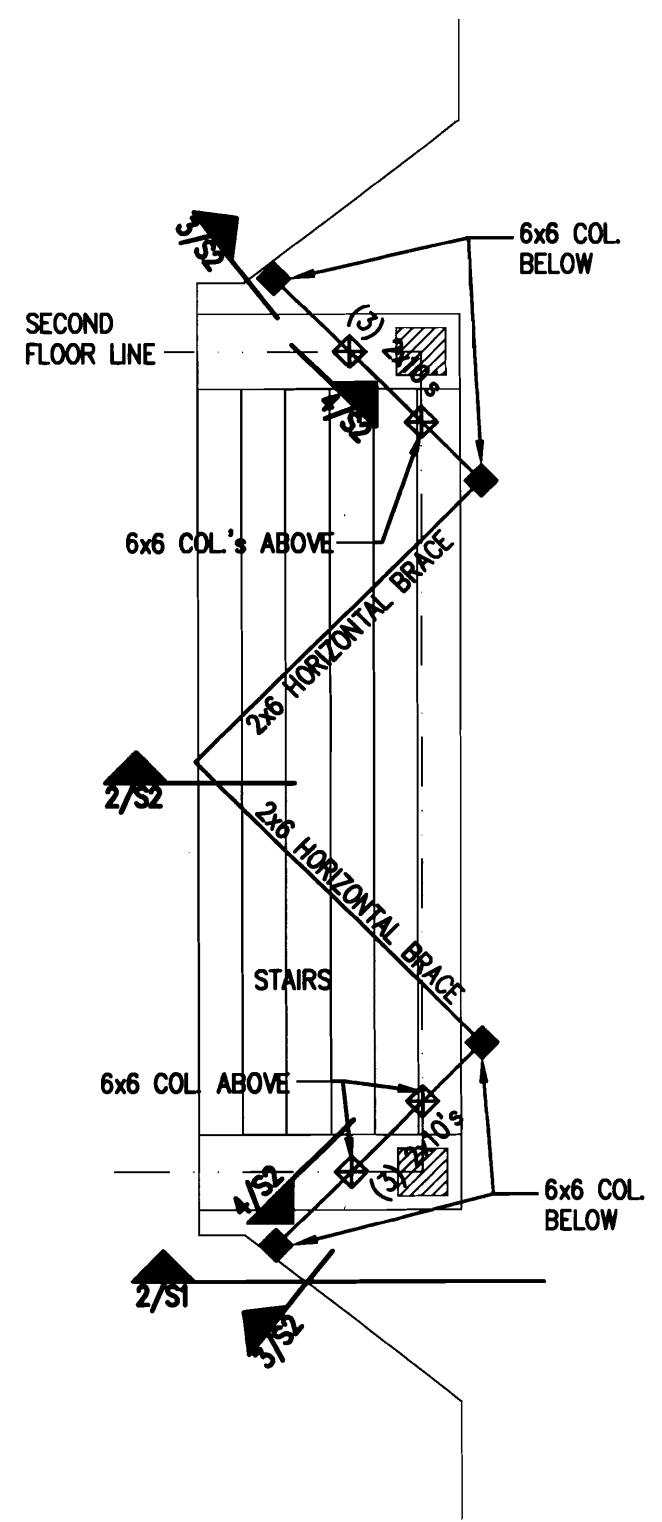
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		ISSUE	FOR CONSTRUCTION
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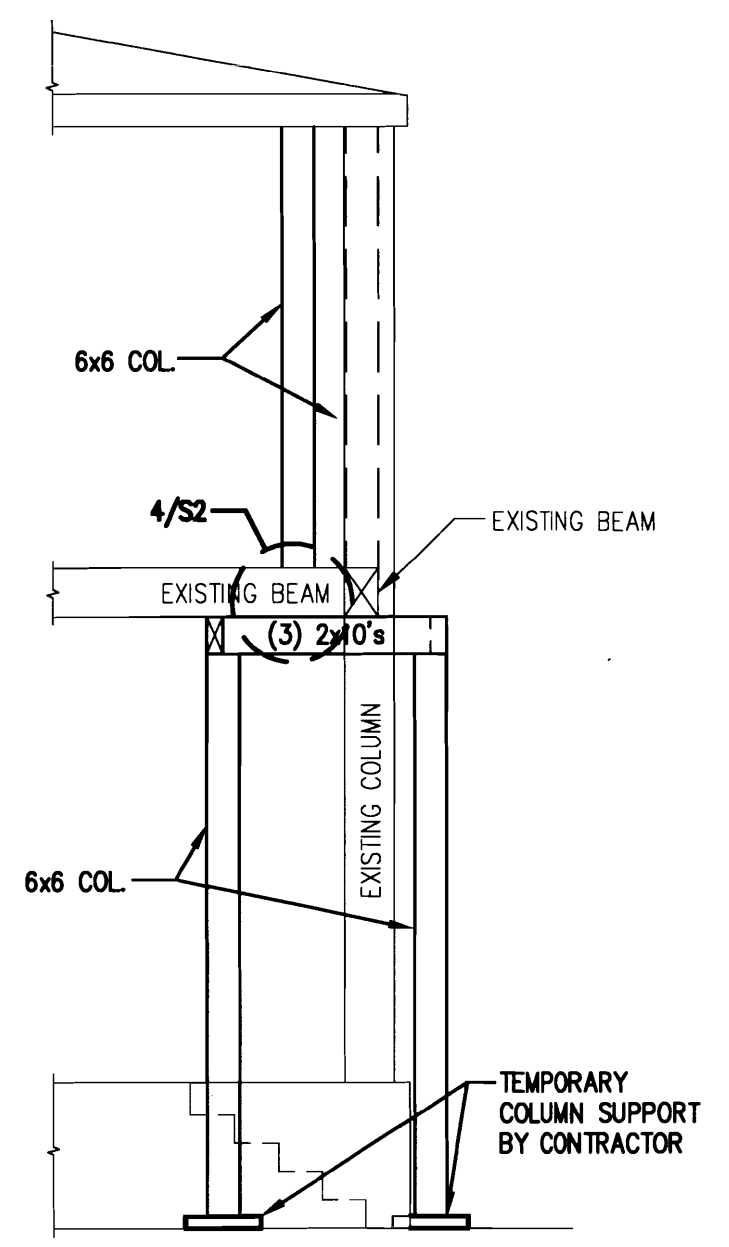
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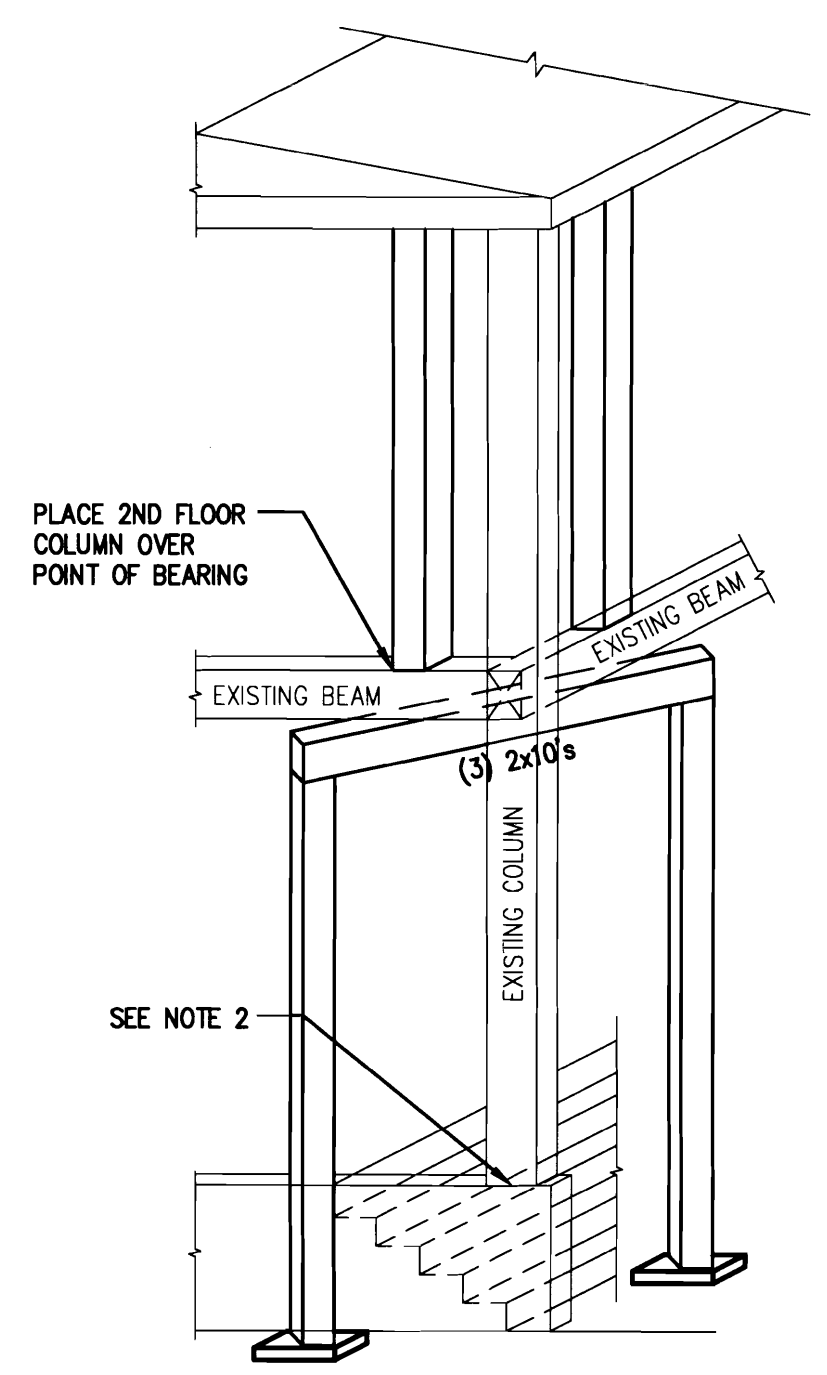
NOTE: CASCO BAY ENGINEERING ANALYZED/DESIGNED TEMPORARY SHORING FOR (2) COLUMNS SHOWN IN PLANS. CASCO BAY ENGINEERING DID NOT ANALYZE ANY EXISTING STRUCTURAL MEMBERS, INCLUDING COLUMNS, BEAMS, ROOFS, FOUNDATIONS, ETC.

2ND FLOOR PLAN SCALE: 1/4"=1'-0" **1**



NOTES: 1) 2x6 HORIZONTAL BRACE NOT SHOWN FOR CLARITY.
 2) SEE 1/S2 FOR NEW FTG DETAILS @ EXISTING COLUMNS

ELEVATION SCALE: 1/4"=1'-0" **2**



NOTES: 1) 2x6 HORIZONTAL BRACE NOT SHOWN FOR CLARITY.
 2) SEE 1/S2 FOR NEW FTG DETAILS @ EXISTING COLUMNS

ISOMETRIC VIEW SCALE: NTS **3**

REVISIONS	No.	DATE	ISSUE
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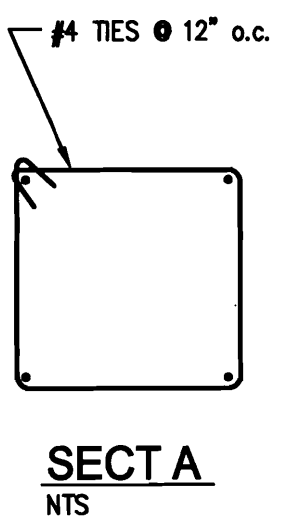
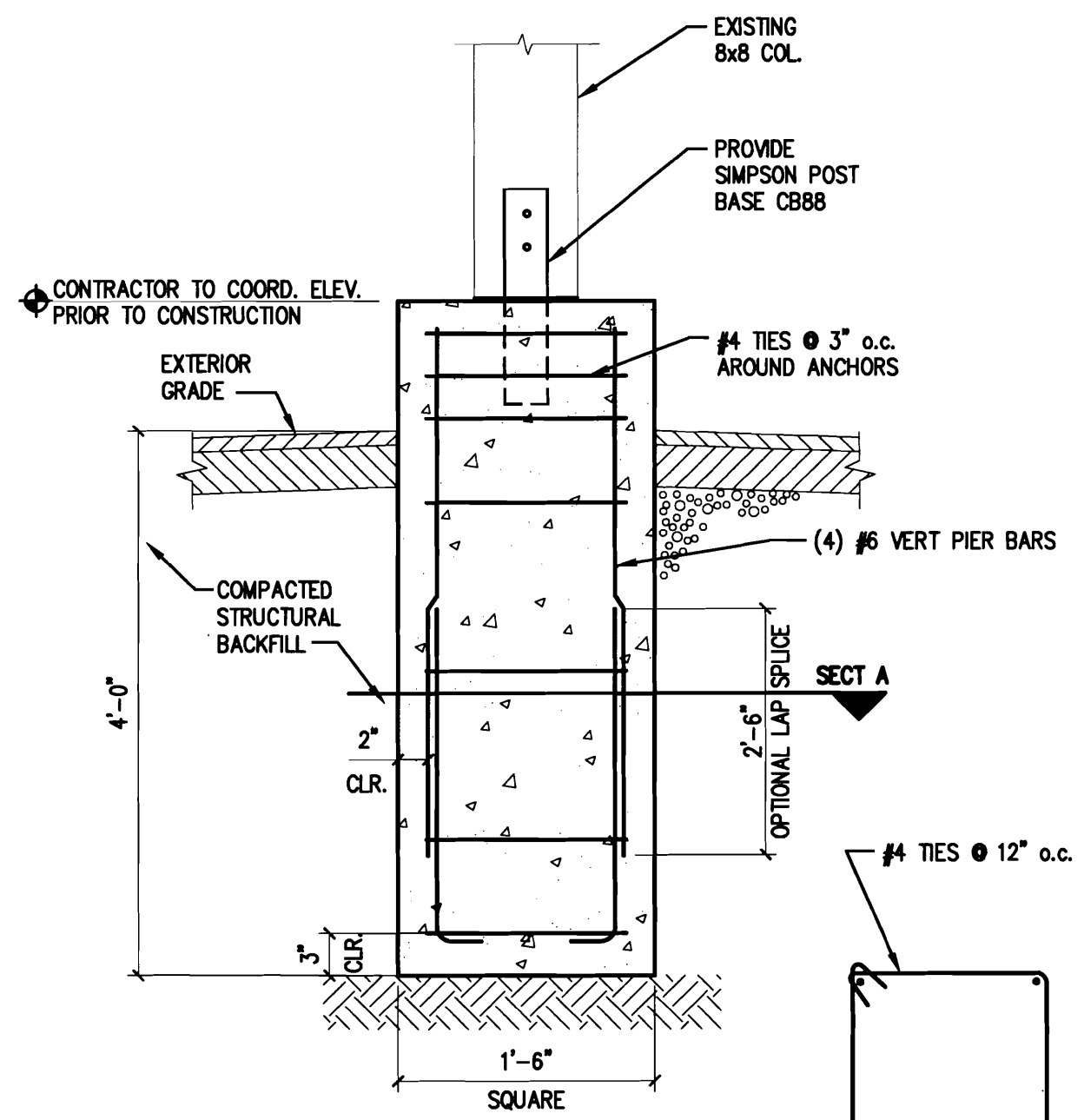
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PLAN AND ELEVATIONS
 DESIGNED: TD
 DRAWN: TD
 DATE: 12-12-08
 CADD FILE: 8108-S1.DWG
 PROJECT No: 8108

CLIENT:
L.R. HIGGINS, INC.
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 SCARBOROUGH, ME 04070

NEAL ST. CANOPY
 PORTLAND MAINE
TEMPORARY SHORING
 FOR (2) COLUMNS

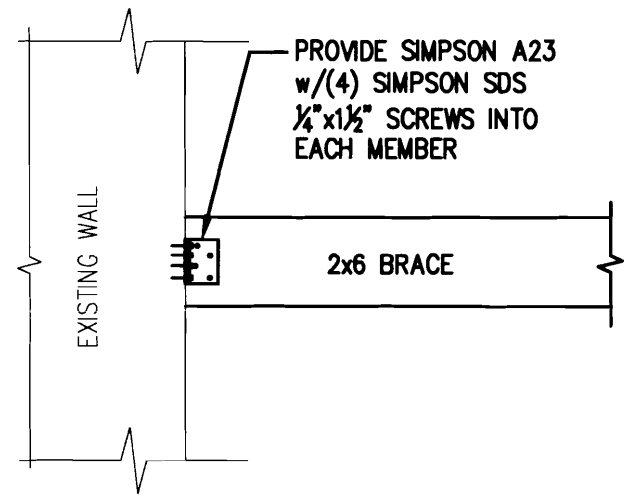
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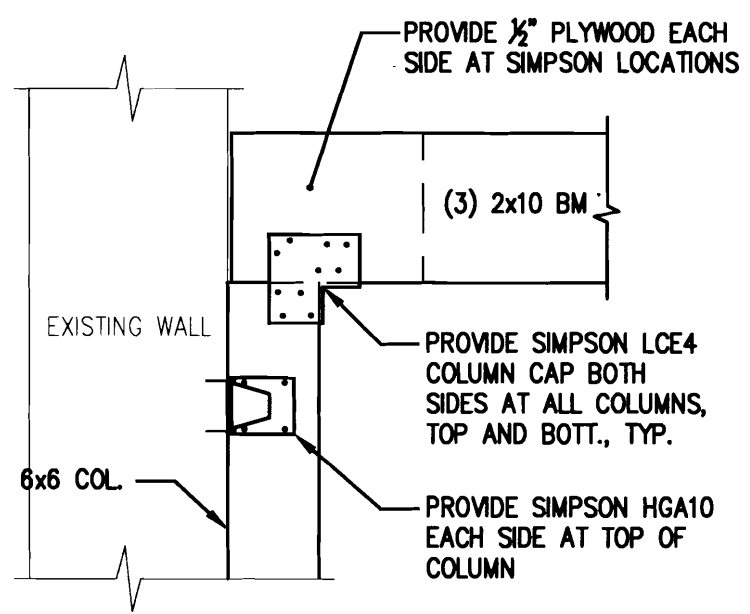


NOTE: USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A 615

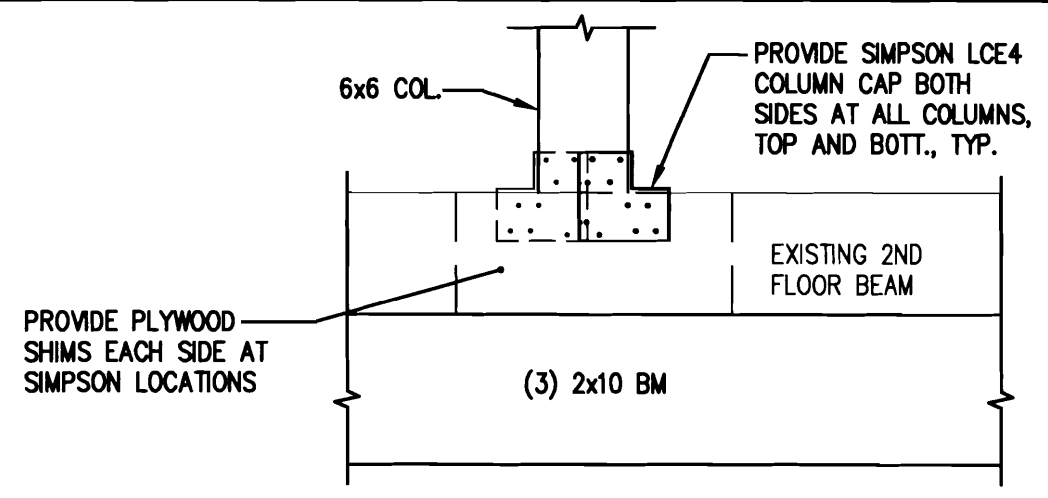
NEW FOOTING DETAIL FOR EXISTING COLUMNS SCALE: 1"=1'-0" **1**



SECTION SCALE: 1"=1'-0" **2**



SECTION SCALE: 1"=1'-0" **3**



SECTION SCALE: 1"=1'-0" **4**