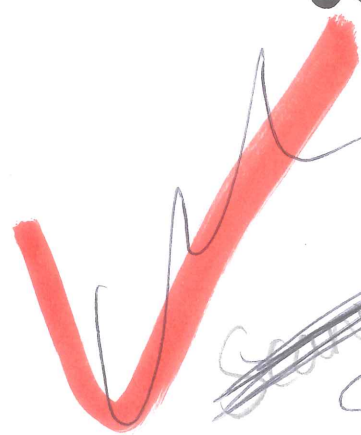


54-G-7  
173 Neal St.  
12 lot Subd.  
David Hoyd

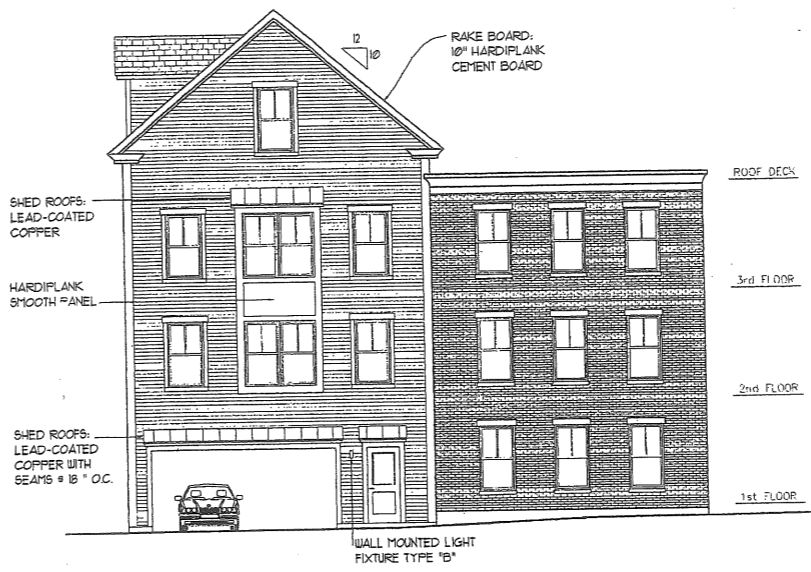
2005-0104

  
~~Ground~~  
Re-Scan

on spreadsheet



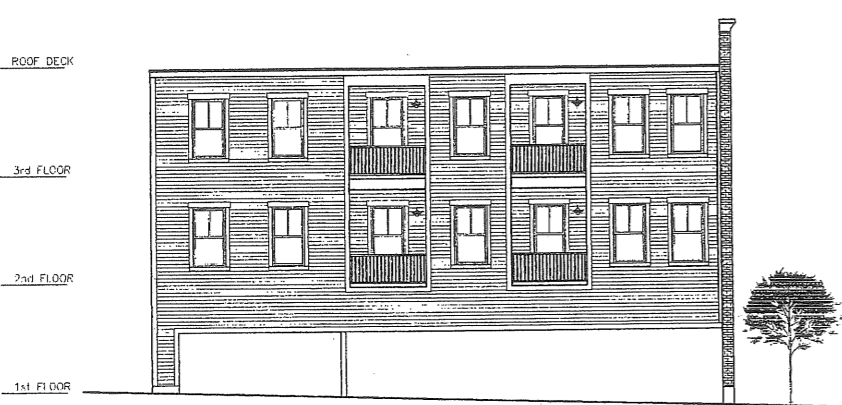
**1 CONGRESS ST. FACADE**  
 Scale 1/8" = 1'-0"  
 MATERIALS SHOWN ARE TYPICAL FOR ALL FOUR ELEVATIONS. SEE TYPICAL DETAILS ON SHEET 8 OF 8



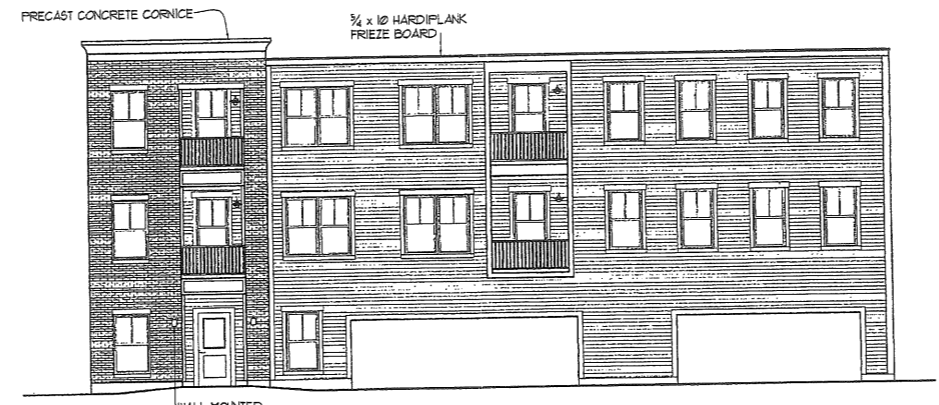
**2 NEAL ST. FACADE**  
 Scale 1/8" = 1'-0"



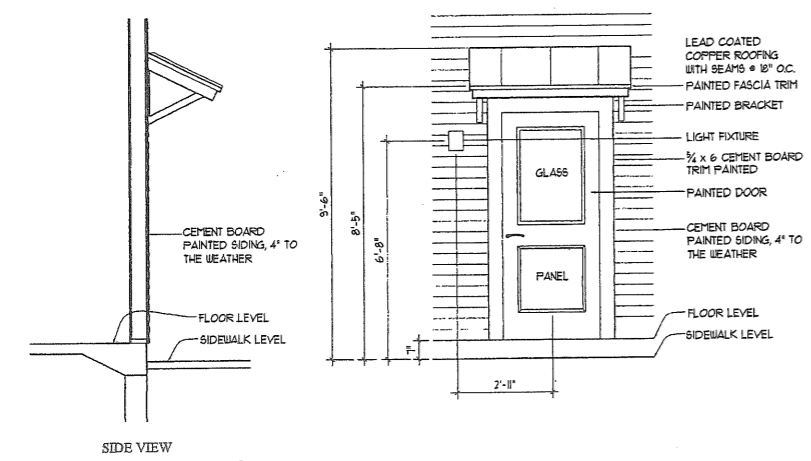
EXISTING BUILDING



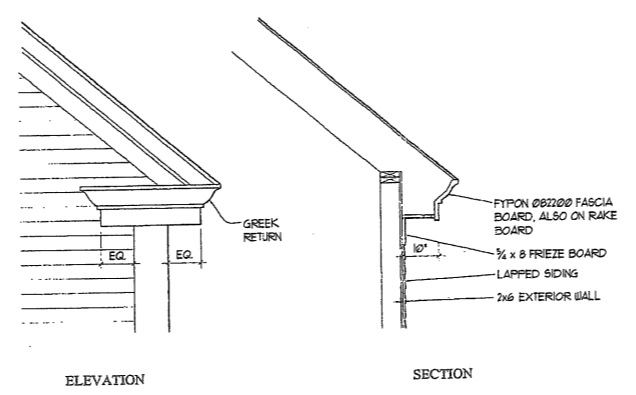
**3 EAST FACADE**  
 Scale 1/8" = 1'-0"



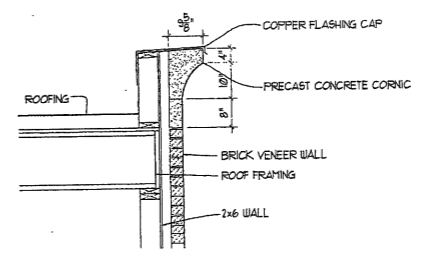
**4 SOUTH FACADE**  
 Scale 1/8" = 1'-0"



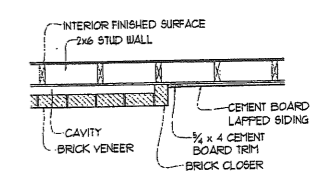
**5 Neal Street Entry**  
 SCALE: 3/8" = 1'-0"



**6 Eave Detail at Sloped Roof**  
 SCALE: 1/2" = 1'-0"



**7 Precast concrete at top of brick**  
 SCALE: 1/2" = 1'-0"



**8 Brick and Clapboard Joint**  
 SCALE: 1/2" = 1'-0"

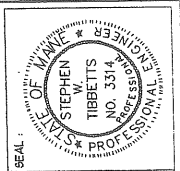
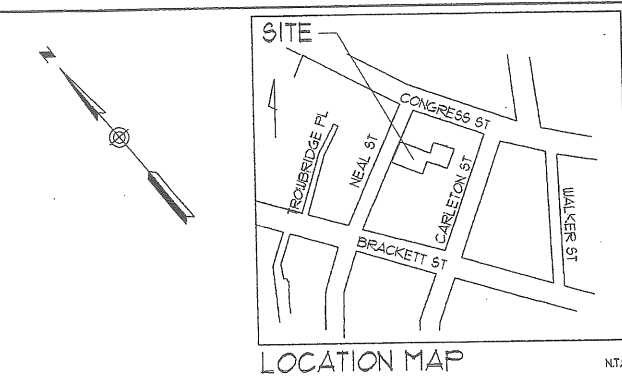
OWNER:  
**ARCHETYPE, P.A.**  
 ARCHITECTS  
 48 Union Wharf, Portland, Maine 04101

Project  
**NEAL STREET APARTMENTS**  
 NEAL ST.  
 PORTLAND, MAINE

Scale AS NOTED  
 Date May 2005  
 Revisions:

FACADES

AC



OWNER:  
**MPB PROPERTIES**  
P.O. Box 2282, Scarborough, Maine 04101  
(207) 885-5111

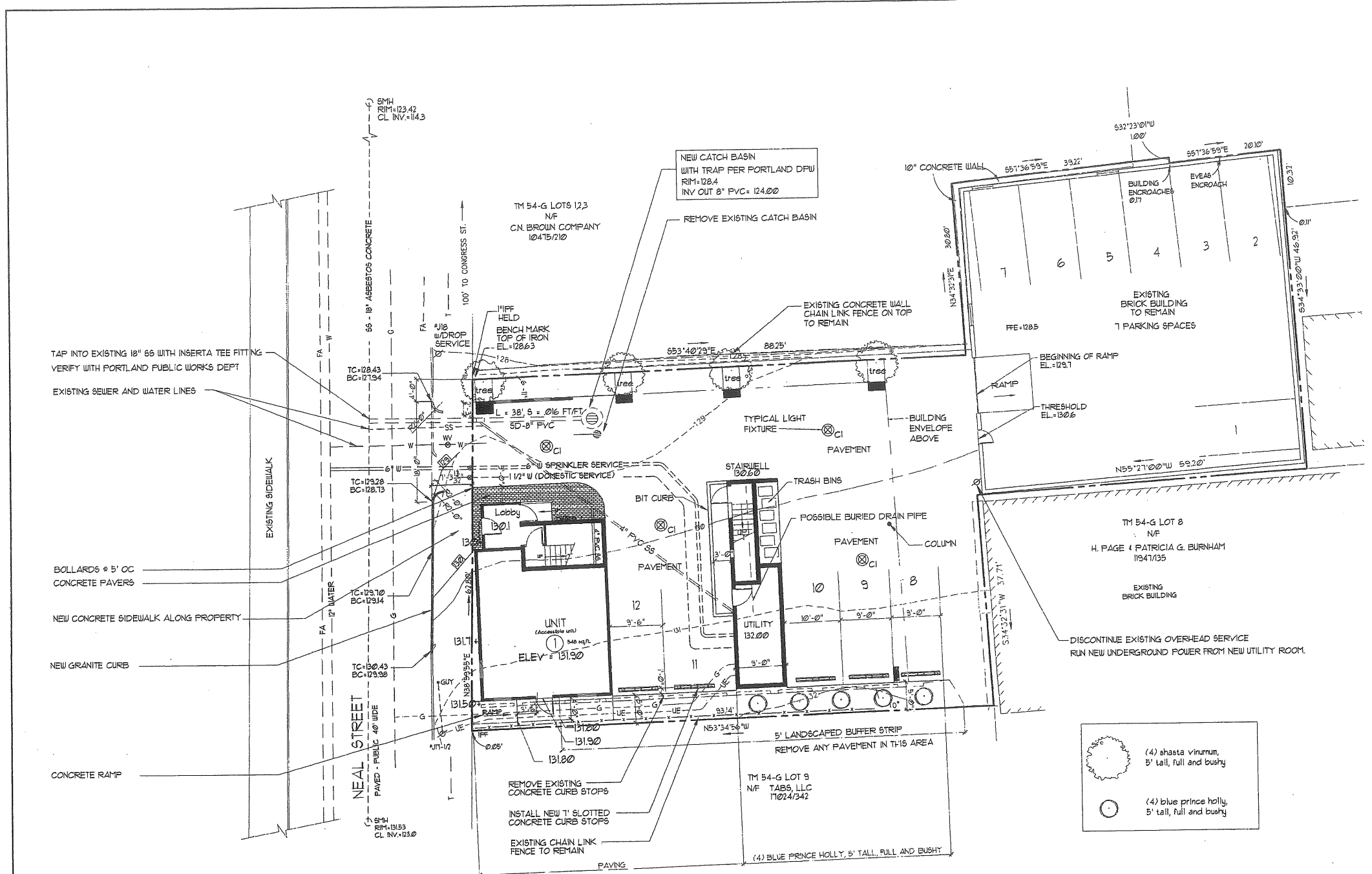
ARCHITECT:  
**ARCHETYPE, P.A. ARCHITECTS**  
48 Union Street, Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
**NEAL STREET APARTMENTS**  
NEAL STREET, PORTLAND, MAINE

Date: NOVEMBER 25, 2005  
Scale: 1" = 10'-0"  
Revisions:

**SITE PLAN**

**SD1**



**GENERAL NOTES:**

- OWNER OF RECORD: H. PAGE AND PATRICIA G. BURNHAM, SCARBOROUGH, MAINE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 1106 PAGE 218. A BOUNDARY AGREEMENT IS RECOMMENDED ON THE SOUTHEASTERLY SIDE OF THIS LOT ALONG THE LAND OF MICHAEL BURNHAM (SEE BOUNDARY SURVEY, SHEET).
- LOCUS IS SHOWN AS LOTS 5, 1 AND 23 IN BLOCK G ON PORTLAND ASSESSORS MAP 54. LOT IS LOCATED IN THE R6, RESIDENTIAL ZONE.
- BUILDING DATA:**
  - BUILDING WILL CONSIST OF 12 APARTMENTS ON THREE FLOORS:
 

first floor	1 UNIT
second floor	5 UNITS
third floor	6 UNITS
  - BUILDING AREA (square feet):
 

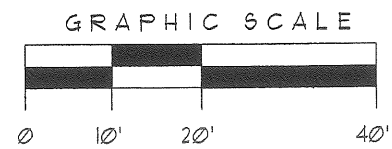
first floor	1025
second floor	3191
third floor	3164
total	8610
- SITE DATA:**
  - LOT AREA: 9,053 SF. (0.208 Ac)
  - PARKING: UNDER NEW BUILDING: 5 SPACES; INSIDE EXISTING BRICK BUILDING: 8 SPACES; TOTAL SPACES: 13 SPACES (1 UNIT)
- ALL SITE WORK TO BE IN CONFORMANCE WITH CITY OF PORTLAND OR UTILITY COMPANY SPECIFICATIONS AND DETAILS.
- PATCH AND REPAIR ALL DAMAGE TO SITE PER CITY OF PORTLAND SPEC.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL THE UTILITIES LOCATE THEIR SERVICES PRIOR TO THE START OF CONSTRUCTION. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CONTACT DGS SAFE AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MSA 336-B-A.
- PROVIDE PEDESTRIAN ACCESS ALONG NEAL STREET AS DIRECTED BY THE CITY OF PORTLAND.
- ALL WORK NOTED ON THIS SHEET NEEDS TO BE CO-ORDINATED WITH PUBLIC WORKS AND NOT IMPEDE COMMUTER TRAFFIC.
- LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS ONLY AFTER APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY AND THE CITY OF PORTLAND. CONTRACTOR TO VERIFY CONNECTION INVERT AT EXISTING SEWER PRIOR TO ORDERING NEW CATCH BASIN.
- CONTRACTOR TO INSTALL CATCH BASIN SEDIMENT FILTERS IN EXISTING CATCH BASIN AT CORNER OF CONGRESS AND NEAL STREETS PRIOR TO THE START OF CONSTRUCTION (SEE DETAIL II, SHEET SD2 FOR INSTALLATION DETAILS). SEDIMENT FILTER WILL ALSO BE PLACED IN THE NEW CATCH BASIN AFTER IT HAS BEEN SET. CONTRACTOR WILL MONITOR THE FILTER FOR SEDIMENT BUILD-UP AND REMOVE ANY SEDIMENT.
- THE CONTRACTOR MUST NOTIFY PORTLAND PUBLIC WORKS WHEN MAKING THE SANITARY CONNECTION INTO THE 18" DIAMETER SEWER IN NEAL STREET.
- THE CONNECTION INTO THE SANITARY MAIN SHALL BE "CORE DRILLED" SO THAT THE INTEGRITY OF THE CITY'S EXISTING SEWER IS NOT COMPROMISED.
- WHEN DEWATERING OPEN EXCAVATIONS, THE CONTRACTOR SHALL DISCHARGE INTO A SETTLING BASIN OR A MANUFACTURED DEVICE SUCH AS A DIRTBAG.
- SITE ENGINEERING BY STEPHEN W. TIBBETTS, PE, 15 OAK RIDGE ROAD BRUNSWICK, MAINE 04011.

**Construction Notes**

- Sidewalk along Neal Street along property line to be new construction. Sidewalk to be concrete and match existing sidewalk along Neal Street.
- All existing curb is to be reset where noted to city standards and with the approval of DPW.
- All materials shown on the drawings are new unless noted as existing or shown on the legend or existing.
- Connection to combined stormwater-sewer line in Neal Street to be verified in field.

**PLAN REFERENCE:**

"BOUNDARY AND TOPOGRAPHIC SURVEY" ON NEAL STREET, PORTLAND, MAINE MADE FOR MPB PROPERTIES, SEPTEMBER 16, 2005, BY OLEN HASKELL, INC. JOB NO. 2004-105P



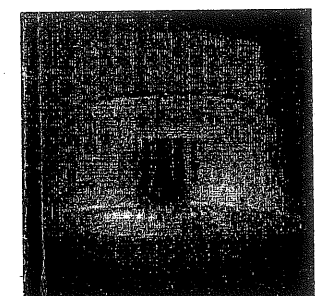
**LEGEND:**

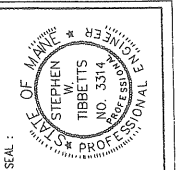
- IRON PIPE OR ROD FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- CATCH BASIN
- DECIDUOUS TREE
- FENCE
- CURB
- W— WATER LINE
- S— SANITARY SEWER
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC LINE
- 129— EXISTING 1' CONTOUR
- 129.5— PROPOSED 1' CONTOUR
- 129.0— PROPOSED SPOT GRADE

LIGHT FIXTURE SCHEDULE						
SYMBOL	LIGHT MANUFACTURER	MODEL NO.	LAMP WATTS/TYPE	MAINTAINED LUMENS	MOUNTING	
⊗	COOPER	PSC-100MH	1-100MH/U/MED	5,525	10' AFG	

**LIGHT FIXTURE SCHEDULE NOTES**

- COORDINATE COLOR WITH OWNER.
- COORDINATE WITH AVAILABLE VOLTAGE.
- THE FIXTURES SPECIFIED AND USED MEET THE I.E.S. CUT-OFF REQUIREMENTS.





OWNER: MPB PROPERTIES ARCHITECTS  
 P.O. Box 2282 Scarborough, Maine 04070  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

ARCHETYPE, P.A. ARCHITECTS  
 NEAL STREET APARTMENTS  
 NEAL STREET, PORTLAND, MAINE

Project: NEAL STREET APARTMENTS  
 Date: NOVEMBER 12, 2005  
 Scale: 1" = 10'-0"

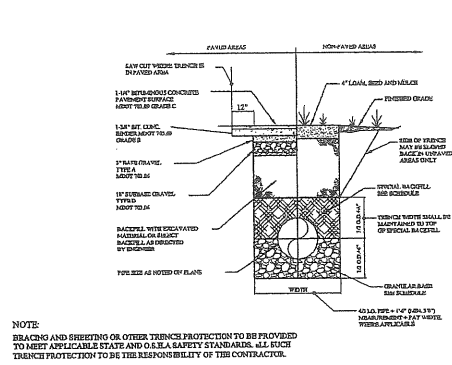
Revisions:  
 1. 11/12/05  
 2. 11/12/05  
 3. 11/12/05

SITE DETAILS

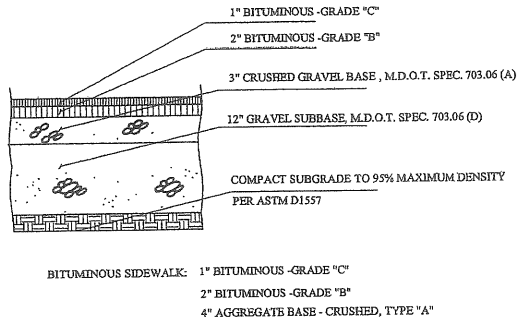
SD2

TRENCH SECTION BACKFILL SCHEDULE				
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
STEEL	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
UNDER DRAINS	1/2" TO 3/4" CRUSHED STONE	1/2" TO 3/4" CRUSHED STONE	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER

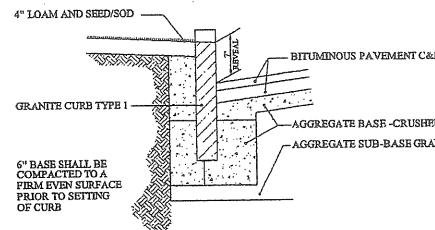
1 TYPICAL UTILITY PIPE TRENCH SECTION NOT TO SCALE



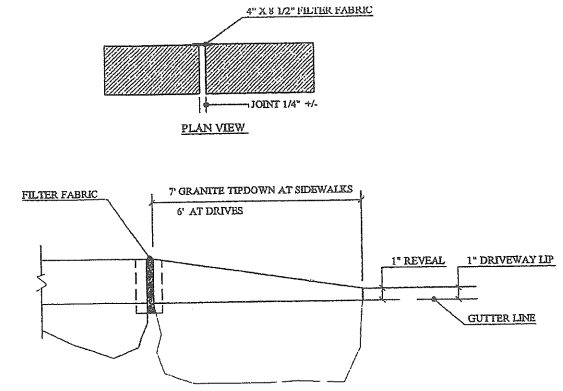
NOTE: BRACING AND SHIELDING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND OSHA SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.



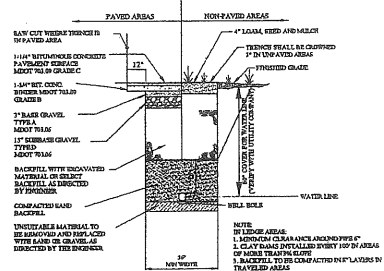
6 PAVEMENT SECTION NOT TO SCALE



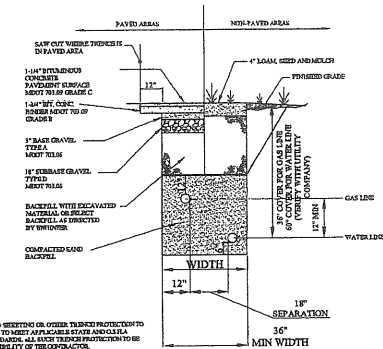
9 GRANITE CURB DETAIL NOT TO SCALE



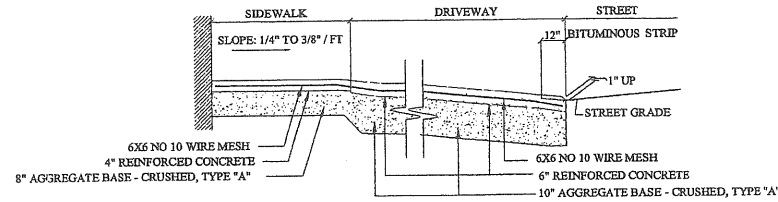
12 TIPDOWN CURB INSTALLATION NOT TO SCALE



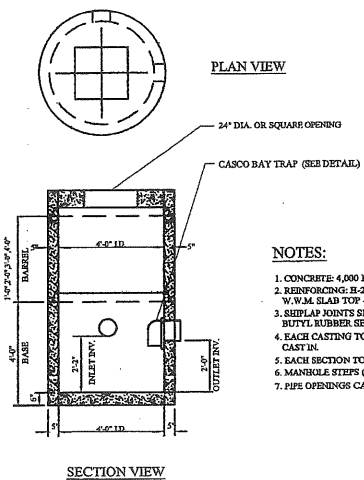
2 WATER LINE TRENCH NOT TO SCALE



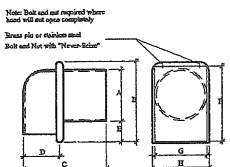
3 COMBINED GAS AND WATER LINE TRENCH NOT TO SCALE



8 CONCRETE SIDEWALK DETAILS NOT TO SCALE



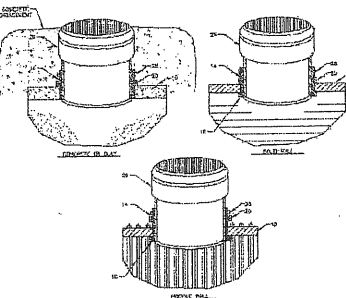
4 CONCRETE CATCH BASIN DETAIL NOT TO SCALE



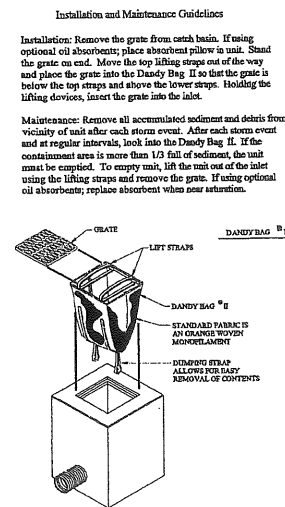
Size	A	B	C	D	E	F	G	H
12"	11 1/2"	20"	18"	7"	8 3/4"	18"	11 1/2"	15 3/4"
18"	14 1/2"	22 1/2"	23"	10 1/4"	8 3/4"	21"	14 1/2"	19 3/4"

NOTE:  
 1. THE CASCO BAY TRAP IS AN INTERLOCK STYLE DESIGNED TO ELIMINATE THE CONCEPT OF THE TRAP. TO INSTALL, THE CASCO TRAP IS INSERTED INTO THE SYSTEM DRAIN WITH THE HOOD DOWN.

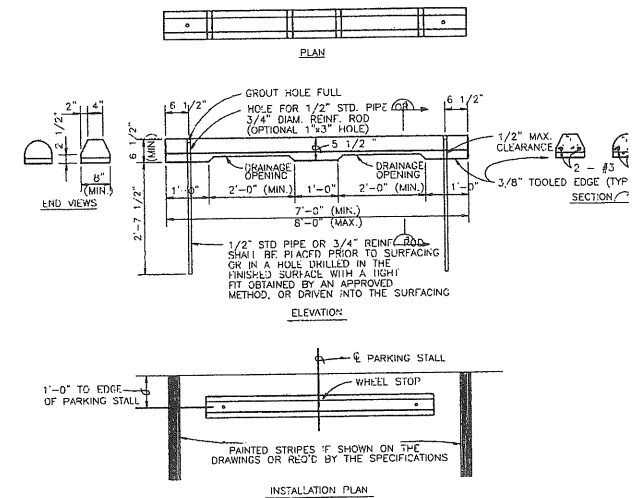
5 CASCO BAY TRAP DETAIL NOT TO SCALE



10 INSERT A TREE DETAIL NOT TO SCALE



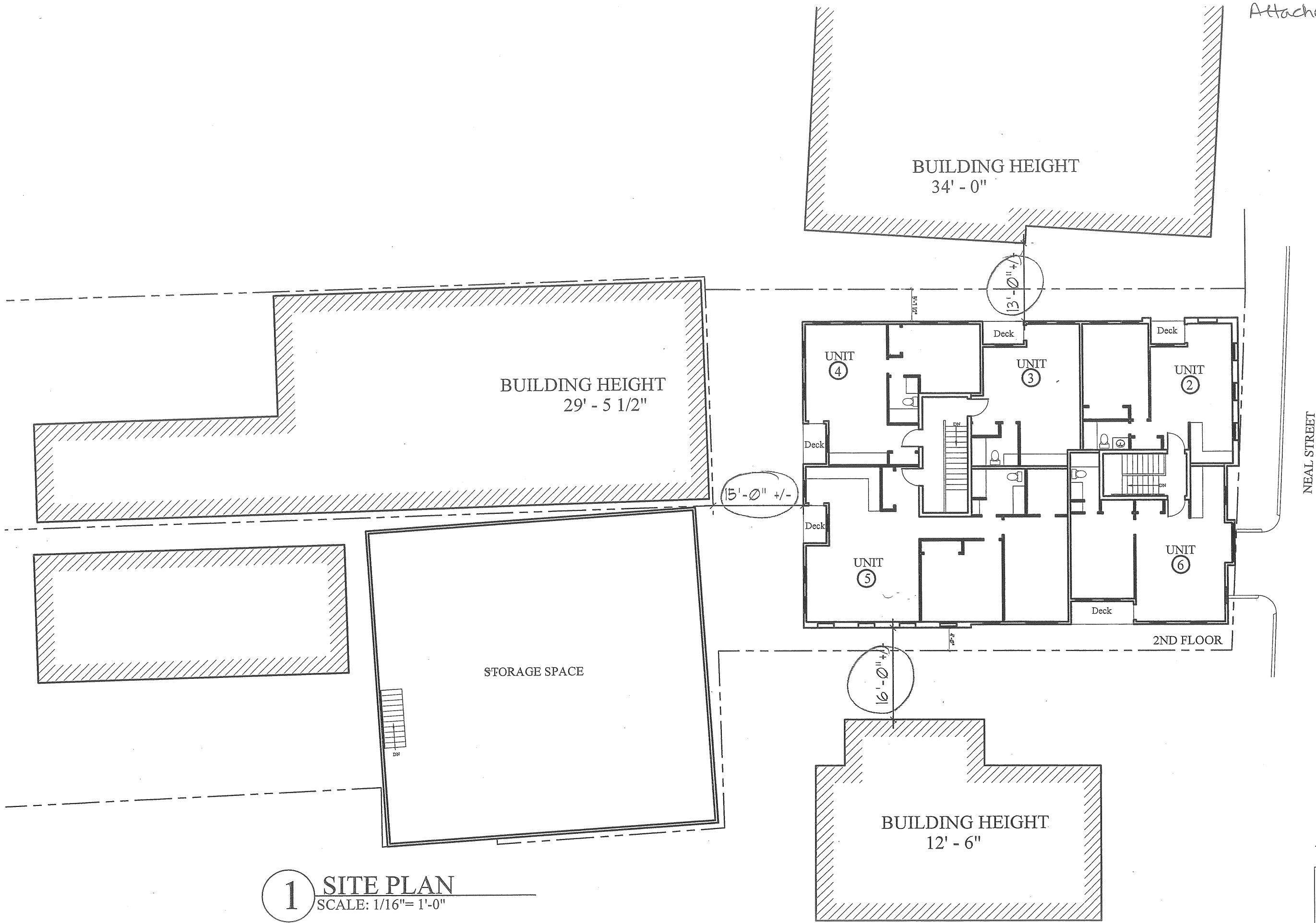
11 DANDY BAG II - CATCH BASIN SEDIMENT FILTER NOT TO SCALE



13 PRECAST CONCRETE WHEEL STOP DETAILS NOT TO SCALE

NOTE: AIR TIGHT SEAL IS ACCOMPLISHED WHEN PVC RIB SLIDES INTO RUBBER SLEEVE CAUSING RUBBER SLEEVE TO COMPRESS BETWEEN PIPE WALL AND PVC RIB.  
 ITEM 10 MAINLINE PIPE WEEBIE BRANCH LINE IS CONNECTED.  
 ITEM 11 COMPLETE RUBBER SLEEVE.  
 ITEM 12 RUBBER SEGMENT WHICH IS MOLDED INTO RUBBER SLEEVE.  
 ITEM 13 RUBBER SEGMENT WHICH IS MOLDED INTO THE RUBBER SLEEVE.  
 ITEM 14 2\"/>

Installation and Maintenance Guidelines  
 Installation: Remove the grate from each basin. If using optional oil absorbent, place absorbent pillow in unit. Stand the grate on end. Move the key lifting straps out of the way and place the grate into the Dandy Bag. If so that the grate is below the top straps and above the lower straps. Holding the lifting devices, insert the grate into the inlet.  
 Maintenance: Remove all accumulated sediment and debris from vicinity of unit after each storm event. After each storm event and at regular intervals, look into the Dandy Bag. If the containment area is more than 1/3 full of sediment, the unit must be emptied. To empty unit, lift the unit out of the inlet using the lifting straps and remove the grate. If using optional oil absorbent, replace absorbent when near saturation.



**1** SITE PLAN  
 SCALE: 1/16" = 1'-0"

Neal Street Apartments

**ARCHETYPE, P.A.  
 ARCHITECTS**  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056  
 3 of 8



Height 29'-5.5" + 29'-5.25" = 58'-10.75" / 5 = 11'-10"

### CONGRESS ST. FACADE

Scale 1/8" = 1'-0"

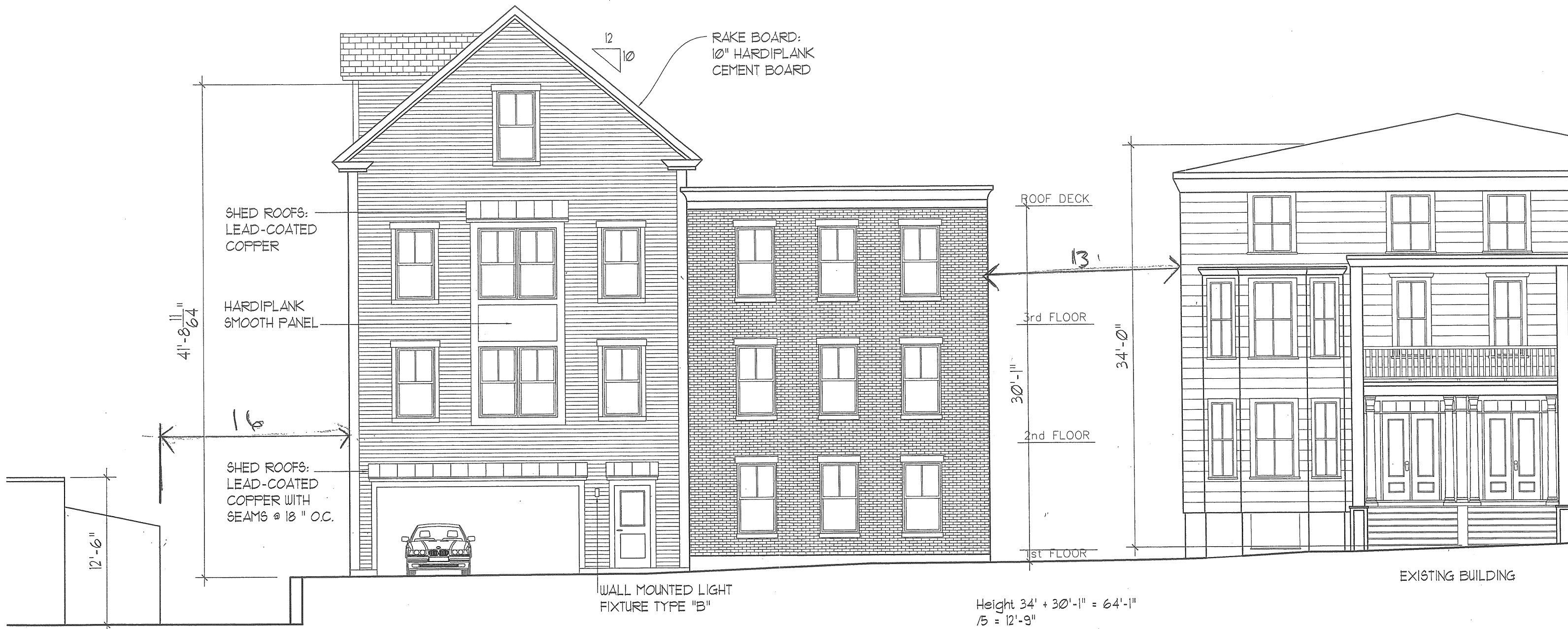
MATERIALS SHOWN ARE TYPICAL FOR ALL FOUR ELEVATIONS

SEE TYPICAL DETAILS ON SHEET 8 of 8

Neal Street Apartments

ARCHETYPE, P.A.  
ARCHITECTS

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



**NEAL ST. FACADE**

Scale 1/8" = 1'-0"

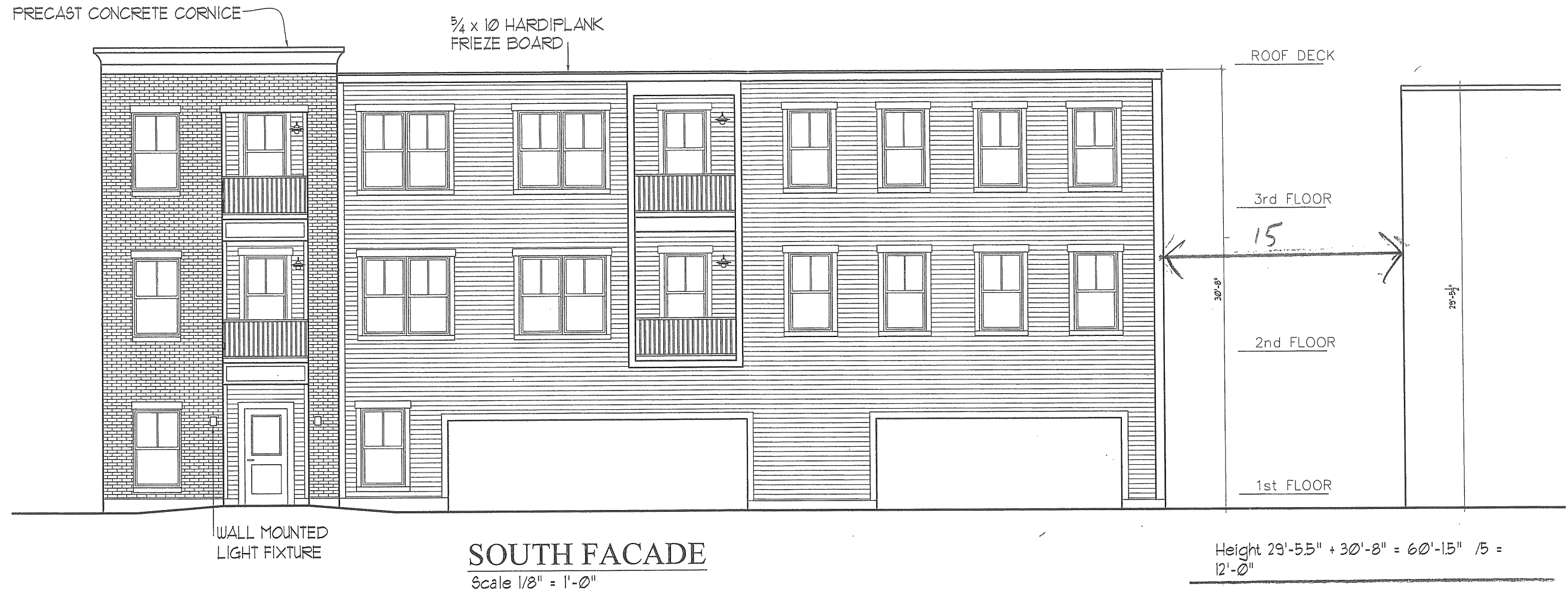
Height 12'-6" + 41'-8" = 54'-2" / 5 = 10'-8"

Height 34' + 30'-1" = 64'-1"  
/5 = 12'-9"

Neal Street Apartments

**ARCHETYPE, P.A.  
ARCHITECTS**

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

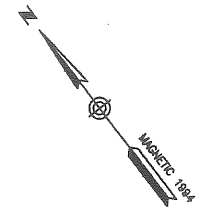


Neal Street Apartments

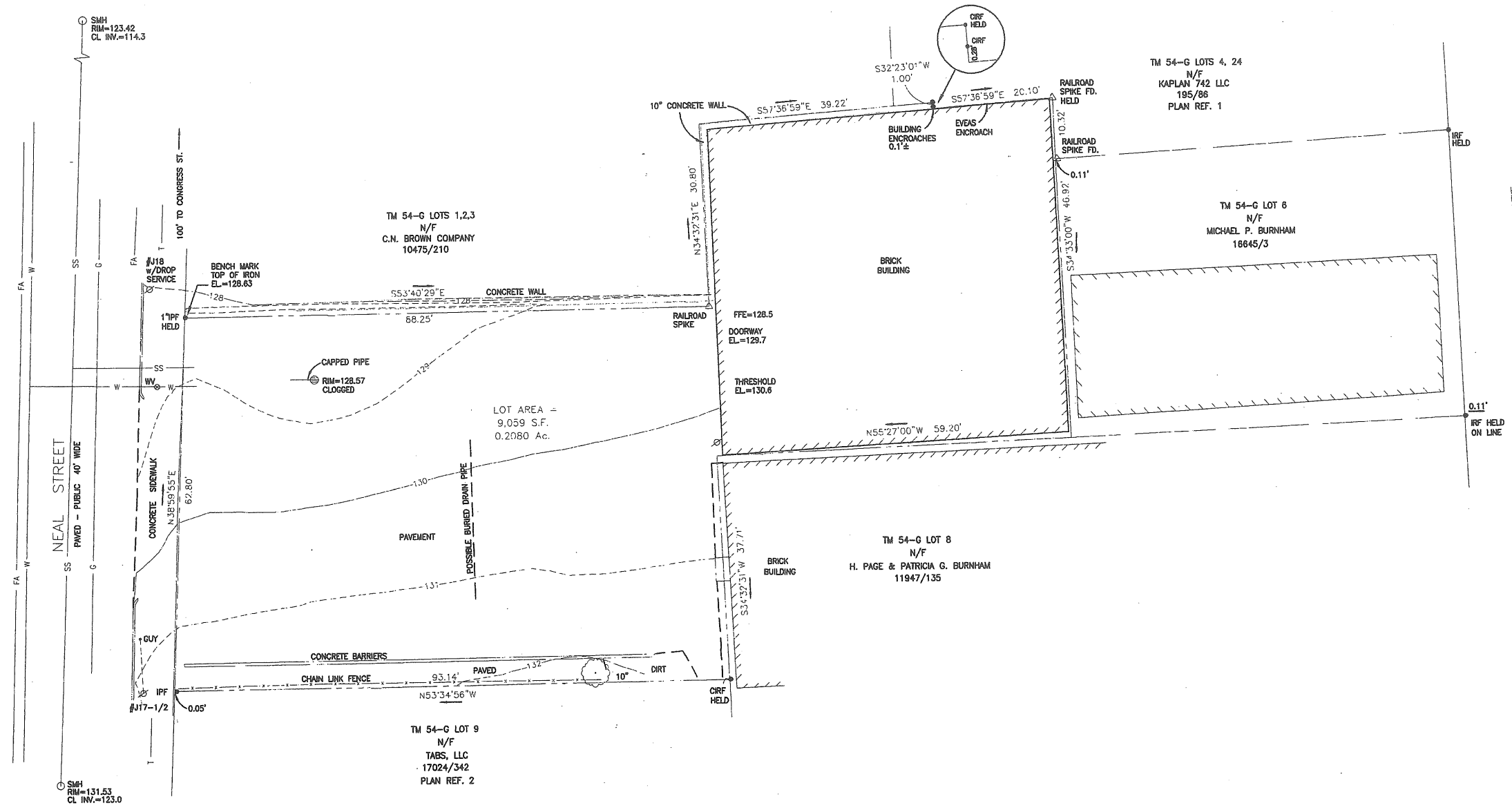
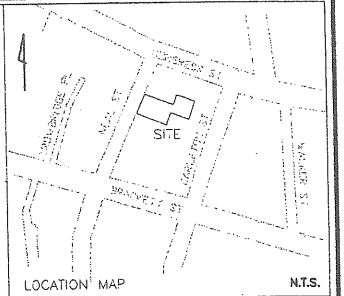
ARCHETYPE, P.A.  
ARCHITECTS

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056





- LEGEND:**
- IRON PIPE OR ROD FOUND
  - WATER VALVE
  - UTILITY POLE
  - MANHOLE
  - CATCH BASIN
  - DECIDUOUS TREE
  - FENCE
  - CURB
  - W WATER LINE
  - SS SANITARY SEWER
  - G GAS LINE
  - 120 1' CONTOUR



**UTILITY NOTE**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

- PLAN REFERENCES:**
- "STANDARD BOUNDARY SURVEY AT CONGRESS STREET & CARLETON STREET PORTLAND, MAINE MADE FOR MICHAEL D. KAPLAN APRIL 6, 1995" REVISED 4/10/95 OWEN HASKELL, INC. JOB NO. 94256P RECORDED IN PLAN BOOK 195 PAGE 86.
  - "STANDARD BOUNDARY SURVEY CARLETON ST. & NEAL ST. PORTLAND, MAINE FOR: BURNHAM ENTERPRISES SURVEY BY: SURVEY INC. AUGUST 1995"
  - "STANDARD BOUNDARY SURVEY ON NEAL STREET, PORTLAND, MAINE FOR SYLVIA D. GREENBERG 12-7-95" REVISED 3-1-96 OWEN HASKELL, INC. JOB NO. 95218P

- NOTES:**
- OWNER OF RECORD: H. PAGE AND PATRICIA G. BURNHAM, SCARBOROUGH, MAINE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 12016 PAGE 278
  - LOCUS IS SHOWN AS LOTS 5, 7 AND 23 IN BLOCK G ON PORTLAND ASSESSORS MAP 54.
  - BEARINGS ARE BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 1 AND 2.
  - A BOUNDARY AGREEMENT IS RECOMMENDED ON THE SOUTHEASTERLY SIDE OF THIS LOT ALONG THE LAND OF MICHAEL BURNHAM.

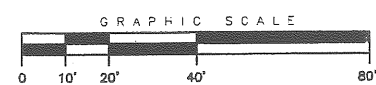
**CERTIFICATION:**  
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

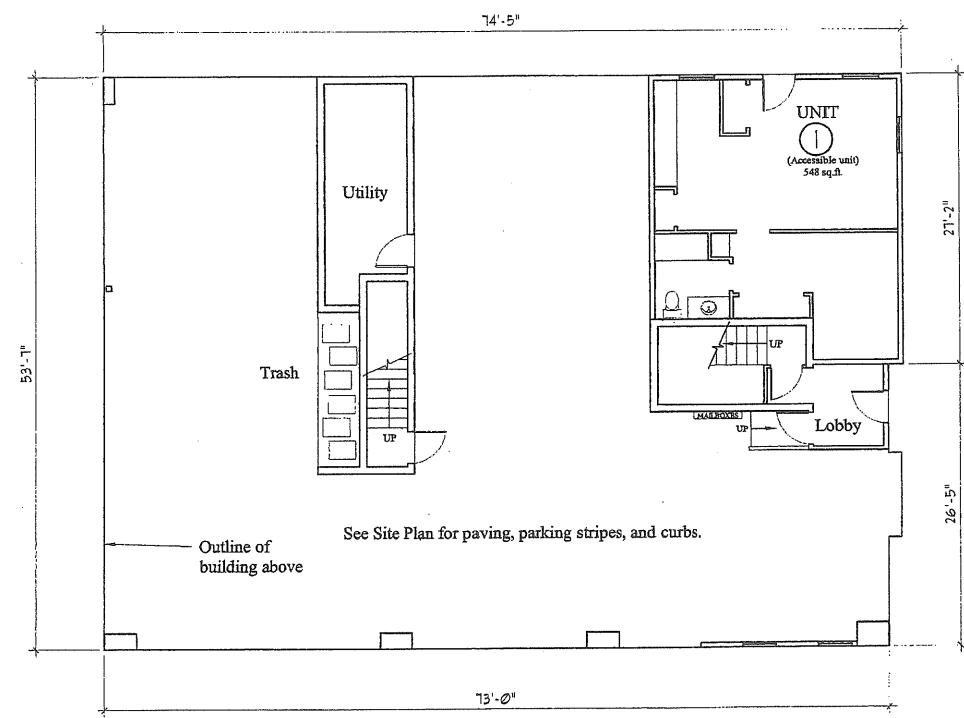
DATE \_\_\_\_\_ JOHN C. SCHWANDA, PLS #1252

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 ON  
 NEAL STREET, PORTLAND, MAINE  
 MADE FOR  
**MPB PROPERTIES**

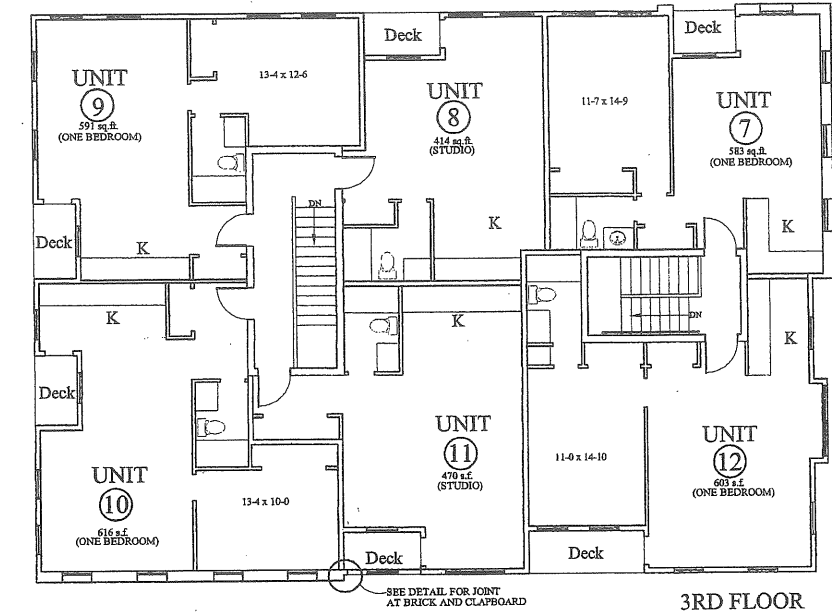
**OWEN HASKELL, INC.**  
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424  
 PROFESSIONAL LAND SURVEYORS

Drawn By JCS	Date SEPT. 16, 2005	Job No. 2004-109P
Trace By JLW	Scale	Drwg. No.
Check By JCS	1" = 10'	1B
Book No. 970,1007B		

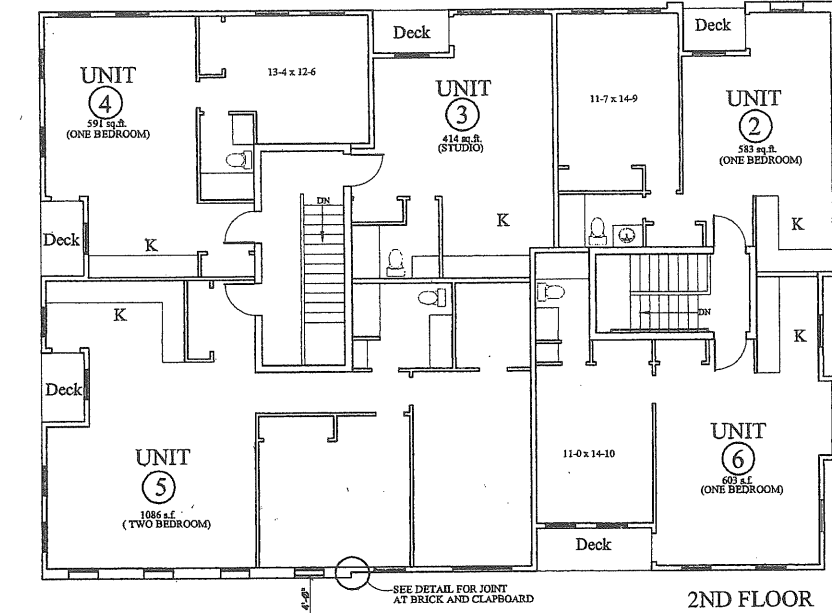




① 1st Floor Plan  
SCALE: 1/8" = 1'-0"



② 3rd Floor Plan  
SCALE: 1/8" = 1'-0"



② 2nd Floor Plan  
SCALE: 1/8" = 1'-0"

OWNER:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax: (207) 772-4056
Project:	NEAL STREET APARTMENTS NEAL ST. PORTLAND, MAINE
Date	December 2005
Scale	AS NOTED
Revisions:	
Floor Plans	
A1	

