

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

PERMIT ISSUED
MAY 19 2004
Permit Number: 040163
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

This is to certify that Maine Medical Center/Herbert Construction, LLC
has permission to MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field tu
AT 2 Bramhall St Portland, ME 053 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Army
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Cheryl...
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

EXPIRED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0163	Permit Status: ISSUED MAY 19 2004	CBL: 053 D007001
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Location of Construction: 2 Bramhall St	Owner Name: Maine Medical Center	Owner Address: 22 Bramhall St	Phone:
Business Name:	Contractor Name: Herbert Construction, LLC	Contractor Address: 9 Gould Road Lewiston	Phone: 2077832091
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: MMC Dana Ctr. Roof Top Courtyard	Proposed Use: MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf	Permit Fee: \$1,479.00	Cost of Work: \$161,787.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B/I Type: JB 5/19/04	

Proposed Project Description:
MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf

Signature: *[Signature]* Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 02/27/2004	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p>Date: <i>3/4/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill


Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

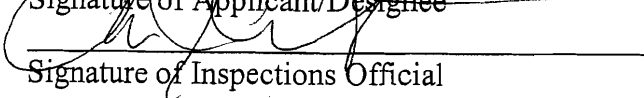
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee

5-19/04
Date


Signature of Inspections Official

5/19/04
Date

CBL: 053 D007

Building Permit #: 040163



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>22 Bramhall Street, Portland (Maine Med.)</u>		
Total Square Footage of Proposed Structure <u>6,000 SF</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>63 A 003</u>	Owner: <u>Maine Medical Center</u> <u>22 Bramhall St</u> <u>Portland, ME 04102</u>	Telephone: <u>207-871-4117</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Hebert Construction, LLC</u> <u>9 Gould Road</u> <u>Lewiston, ME 04240</u>	Cost Of Work: \$ <u>161,787</u> Fee: \$
Current Specific use: <u>Roof Top Courtyard</u>		
Proposed Specific use: <u>Roof Top Courtyard</u>		
Project description: <u>Remove existing framing + decking materials and install new framing + decking along with field turf to provide new surface for people and events.</u>		
Contractor's name, address & telephone: <u>Hebert Construction, LLC</u> <u>207-783-2091</u> <u>9 Gould Road, Lewiston, ME 04240</u>		
Who should we contact when the permit is ready: <u>Timothy Hebert, Hebert Construction</u>		
Mailing address: <u>Hebert Construction</u> <u>9 Gould Road</u> <u>Lewiston, ME 04240</u>		Phone: <u>207-783-2091</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

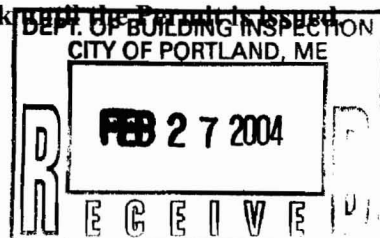
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Timothy R. Hebert</u>	Date: <u>2-27-04</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

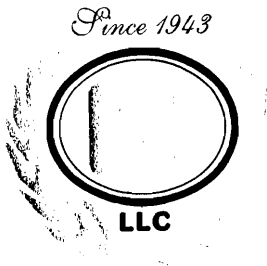
Permit No: 04-0163	Date Applied For: 02/27/2004	CBL: 053 D007001
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Location of Construction: 2 Bramhall St	Owner Name: Maine Medical Center	Owner Address: 22 Bramhall St	Phone:
Business Name:	Contractor Name: Herbert Construction, LLC	Contractor Address: 9 Gould Road Lewiston	Phone: (207) 783-2091
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf	Proposed Project Description: MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/04/2004	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 05/19/2004	Note: 1) This system replaces and existing wood roof structures, roof ballust must conform to the manufacturers specs.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 03/08/2004	Note:	Ok to Issue: <input checked="" type="checkbox"/>

Comments: 3/9/2004-mjn: need more info left a message with the Designer.
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**HEBERT
CONSTRUCTION
LLC**

May 18, 2004

**9 GOULD ROAD
LEWISTON, MAINE
04240**

**TEL: 207.783.2091
FAX: 207.782.4938**

**Commercial
Institutional
Residential**

**General Contractors
Construction Managers**

Michael Nugent, Insection Services Manager
City of Portland
City Hall RM 315
389 Congress Street
Portland, ME 04101

RE: *Maine Medical Center – Employee Rooftop Courtyard*

Mr. Nugent,

It is my pleasure to inform you that Hebert Construction and Becker Engineering have come up with a solution for the weights applied to the roof. As detailed in the attached letter from Becker Engineering, the new panels weigh 140 lbs each (4'x5') which comes out to 7 pounds per square foot. As stated in the Carlisle Roofing letter we need a weight of 10 pounds per square foot. Hebert Construction will therefore add 60 pounds of ballast in each 4'x5' panel which will add 3 pounds per square foot to the panel area. The sum of the deck, framing and ballast will provide us with our required weight of 10 pounds per square foot.

Again, I would like to thank you for your patients and cooperation with us on this project. If you would like any additional information regarding this or any other issue pertaining to the rooftop please call me anytime @ 207-783-2091.

Respectfully,



Timothy R. Hebert

Cc: Michael Pritchett, Maine Medical Center

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822Project MAINE MEDICAL CENTER Roof (exterior)
W.O. 1184 Sheet 3 Of 3
Calculated By: TPG Date MAY 10 2004
Checked By: _____ Date _____REVISED EXISTING ROOFTOP LOADS

2 1/2" STONE BALLAST

23 #/ft²

INSULATION

1 1/2 #/ft²

MEMBRANE & FELT

1 1/2 #/ft²

1" RIGID INSULATION

1 #/ft²

27 #/ft²AT EXISTING DECKED AREAS, ROOF IS UN-BALLASTED

EXISTING DECKING

7 #/ft²

MEMBRANE & FELT

1 1/2 #/ft²

1" RIGID INSULATION

1 #/ft²

9 1/2 #/ft²

BECKER
 structural engineers, inc.
 75 York Street, Portland, ME 04101-4550
 Tel. 207-879-1838 ■ Fax 207-879-1822

Project MAINE MEDICAL CENTER ROOF GARDEN
 W.O. 1184 Sheet 1 of 3
 Calculated By: TPG Date MAY 17 2004
 Checked By: _____ Date _____

REVISED NEW ROOFTOP LOADS

AT DECKED AREAS (ABOVE ROOF MEMBRANE)

60# EXISTING BALAST EVENLY
 DISTRIBUTED @ EA. 5'x4' PANEL 3 #/ft²

"CORRECT DECK" 5 1/4 #/ft²

(2) 2x4 @ PERIMETER 1 1/8 #/ft²

2x4 @ 24" O.C. 5/8 #/ft²

(ABOVE MEMBRANE) 10 #/ft²

EXIST. ROOF MEMBRANE
 & ROOFING FELT 1 1/2 #/ft²

EXIST 1" RIGID INSULATION 1 #/ft²

2 1/2 #/ft²

TOTAL DEAD LOAD ABOVE
 ROOF DECK AT
 DECKED AREAS 12 1/2 #/ft²

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822

Project MAINE MEDICAL CENTER Roof Upgrade
W.O. 1184 Sheet 2 of 3
Calculated By: JPL Date 19th. 10. 2004
Checked By: _____ Date _____

REVISED NEW ROOFTOP LOADS

AT TURFED AREAS

"FIELD TURF" SYSTEM

10 #/ft²

FELT & 1" RIGID INSULATION

1 1/2 #/ft²

1 1/2" ROOF BALLAST

14 #/ft²

(ABOVE MEMBRANE)

25 1/2 #/ft²

EXIST ROOF MEMBRANE
& ROOFING FELT

1 1/2 #/ft²

EXIST 1" RIGID INSULATION

1 #/ft²

2 1/2 #/ft²

TOTAL DEAD LOAD ABOVE
ROOF DECK AT TURFED AREAS

28 #/ft²

**HEBERT CONSTRUCTION LLC
 9 GOULD ROAD
 LEWISTON, MAINE 04240
 TEL. 207-783-2091 FAX 207-782-4938**

FACSIMILE TRANSMITTAL SHEET

TO: Michael Nugent	FROM: Tim Hebert
COMPANY: City of Portland	DATE: 3/12/04
FAX NUMBER: 207-874-8716	TOTAL NO. OF PAGES INCLUDING COVER: 4
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE: MMC - Rooftop Courtyard	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE.

Michael,

Attached is the letter and engineering calcs from Becker Structural Engineering. I will call later this afternoon to see if we can start some time next week.

Thank you for all your help and if there is anything more you need to see please don't hesitate to call me at 783-2091.

Tim

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1938 ■ Fax 207-879-1922

Project: MAINE MEDICAL CENTER GARDEN
 W.O. 1184 Sheet 1 of 2
 Calculated By: TPG Date 3.10.04
 Checked By: _____ Date _____

EXISTING LOADS

± 6" STONE BALLAST, 1" ~ 1/2"

INSULATION

EXIST WAULWALL: 2x4 TOP & MID RAIL;
2x4 POSTS @ 24" O.C.; 2x4 SLEEPERS AT
24" O.C.; 1x4 FT DECKING, 6' WIDTH

MEMBRANE & FELT

INSULATION / CRICKETS

55 #/ft²

1 1/2 #/ft²

5 #/ft²

1 1/2 #/ft²

1 1/2 #/ft²

TO BE
REMOVED IN
PORTIONS OF
SITE

$\Sigma = 61 1/2 \# / ft^2$

NEW LOADS

AT DECKED AREAS:

CORRECT DECK

$(2) 2 \times 4 = \frac{2.5 \# / ft^2}{8' \times 10'} [8 + 10] [2]$
@ PERIMETER

$2 \times 4 @ 24" = \frac{(1.25 \# / ft^2)(6')}{(2' \times 8')} =$

RUBBER PAVERS

5 #/ft²

1 1/3 #/ft²

5/8 #/ft²

1 3/8 #/ft²

8 1/8 #/ft²

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822

Project MAINE MEDICAL CENTER (GARDEN)
W.O. 1184 Sheet 2 of 2
Calculated By: TPG Date 3.10.04
Checked By: _____ Date _____

NEW LOADS (CONT)

AT TURFED AREAS:

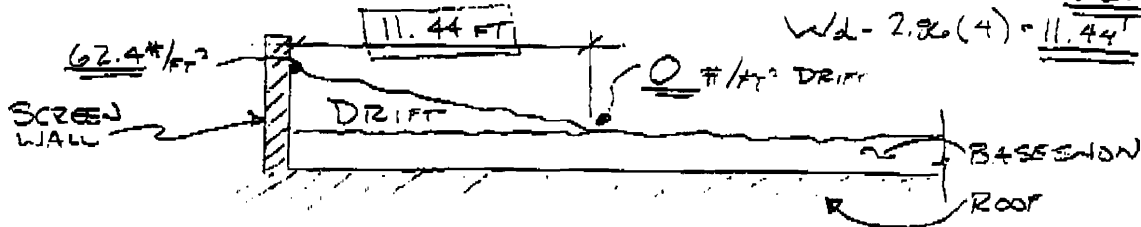
TURF & "CARPET"	10 #/ft ²
DRAIN BOARD	1/4 #/ft ²
INSULATION	2 #/ft ²

12 1/4 #/ft²

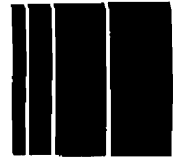
SNOW DRIFT AT SCREEN WALLS (WORST CASE)

$P_g = 60 \text{ PSF}$ $l_u = 78'$ $\gamma = 0.13(60 \text{ psf}) + 14 = 21.8 \frac{\#}{\text{ft}^3}$

$h_d = \left(\frac{3}{4}\right) (0.43 \sqrt[3]{78} - \sqrt[4]{60+10} - 1.5) \approx 2.86'$ $p = 2.86(21.8) = 62.4 \frac{\#}{\text{ft}^2}$



Sebago Technics
Engineering Expertise You Can Build On



Facsimile Cover Sheet

Project No. 01182
 To: MIKE NUGENT
 Company: CITY OF PORTLAND
 Phone: _____
 Fax: 874 - 8716

From: WILL CONWAY

Date: 3.12.04

Pages including this cover page: 4

Comments: Mike - here is letter from Structural Engineer as discussed, thanks,
WILL

Reply Requested: Yes No
 Original to go out in mail: Yes No

If you have any problems receiving this FAX, please contact Julie at:
(207) 856-0277
(207) 856-2208 FAX Number

BECKER

structural engineers, inc.

March 11, 2004

Mr. Michael Pritchett, AIA
MMC Facilities Development
Maine Medical Center
22 Bramhall Street
Portland, ME 04002

Re: Dana Center Rooftop Garden – Summary of existing and new loads

Dear Michael,

Enclosed please note a table of loads pertaining to the proposed roof top garden on the Dana Center Building. The loads are categorized into existing and new loads. Also identified are the existing loads which are to be removed in portions of the site.

The general materials listed in the table are taken from Sebago Technics "Employee Rooftop Garden" Site Plan, dated 2-11-04. The weight of materials were compiled from data received from Hebert Construction, Northeast Turf, and Correct Deck.

Please note that the existing ballast serves to hold the roofing membrane in place. The loads that will replace the ballast are quite light, and may be inadequate to secure the membrane under wind uplift. Also, in prior conversations with roofing specialists, it was noted that existing membrane may be damaged during ballast removal.

Please contact me if you have any questions or comments, or need assistance with any other matter.

Sincerely,
Becker Structural Engineers, Inc.



Thaddeus Gabryszewski, P.E.
Structural Engineer

Cc: Will Conway – Sebago Technics; Tim Hebert – Hebert Construction

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4590
Tel. 207-879-1836 ■ Fax 207-879-1822

Project: MAINE MEDICAL CENTER GARDEN
 W.O. 1184 Sheet 1 of 2
 Calculated By: TPG Date 3-10-04
 Checked By: _____ Date _____

EXISTING LOADS

± 6" STONE BALLAST, 1' ~ 1 1/2"

55 #/ft²

INSULATION

1 1/2 #/ft²

EXIST WALKWAY: 2x4 TOP & MID RAIL;
2x4 POSTS @ 24" O.C.; 2x4 SLEEPERS AT
24" O.C.; 1x4 PT DECKING, 6' WIDTH

5 #/ft²

TO BE
REMOVED IN
PORTIONS OF
SITE

Σ = 61 1/2 #/ft²

MEMBRANE & FELT

1 1/2 #/ft²

INSULATION / CRICKETS

1 1/2 #/ft²

NEW LOADS

AT DECKED AREAS:

CORRECT DECK

5 #/ft²

$$(2) 2 \times 4 = \left[\frac{2.5 \#/\text{ft}}{8' \times 10'} \right] [8 + 10] [2]$$

@ PER METER

1 1/3 #/ft²

$$2 \times 4 @ 24" = \frac{(1.25 \#/\text{ft})(6')}{(2' \times 8')} =$$

5/8 #/ft²

RUBBER PAVERS

1 3/8 #/ft²

8 1/8 #/ft²

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
 Tel. 207-879-1838 ■ Fax 207-879-1822

Project: MAINE MEDICAL CENTER (GARDEN)

W.D. 1184 Sheet 2 of 2

Calculated By: TPG Date 3.10.04

Checked By: _____ Date _____

NEW LOADS (CONT)

AT TURFED AREAS:

TURF & "CARPET" 10 #/ft²

DRAIN BOARD 1/4 #/ft²

INSULATION 2 #/ft²

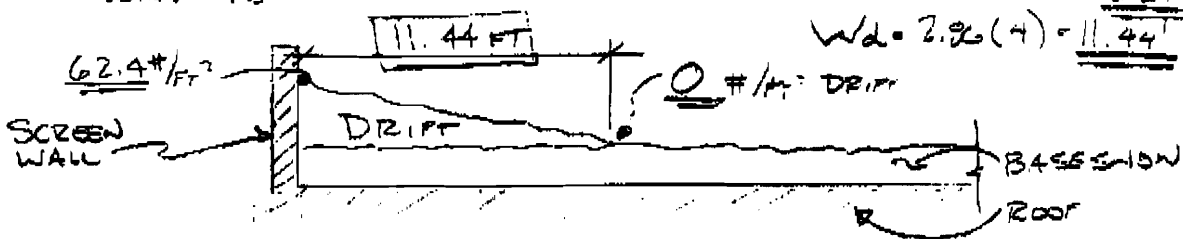
12 1/4 #/ft²

SNOW DRIFT AT SCREEN WALLS (WORST CASE)

$$P_g = 60 \text{ PSF} \quad L_u = 78' \quad \gamma = 0.13(60 \text{ PSF}) + 14 = 21.9 \frac{\#}{\text{ft}^3}$$

$$W_d = \left(\frac{3}{4}\right) (0.43 \sqrt[3]{78} - \sqrt[4]{60+10} - 1.5) = 2.86' \quad \rho = 2.86(21.9) = 62.4 \frac{\#}{\text{ft}^2}$$

$$W_d = 2.86(4) = 11.44'$$





Sebago Technics
Engineering Expertise You Can Build On



Facsimile Cover Sheet

Project No. 01046

To: MIKE WENT

Company: _____

Phone: _____

Fax: 874-8716

From: WILL CONWAY

Date: 3/11/04

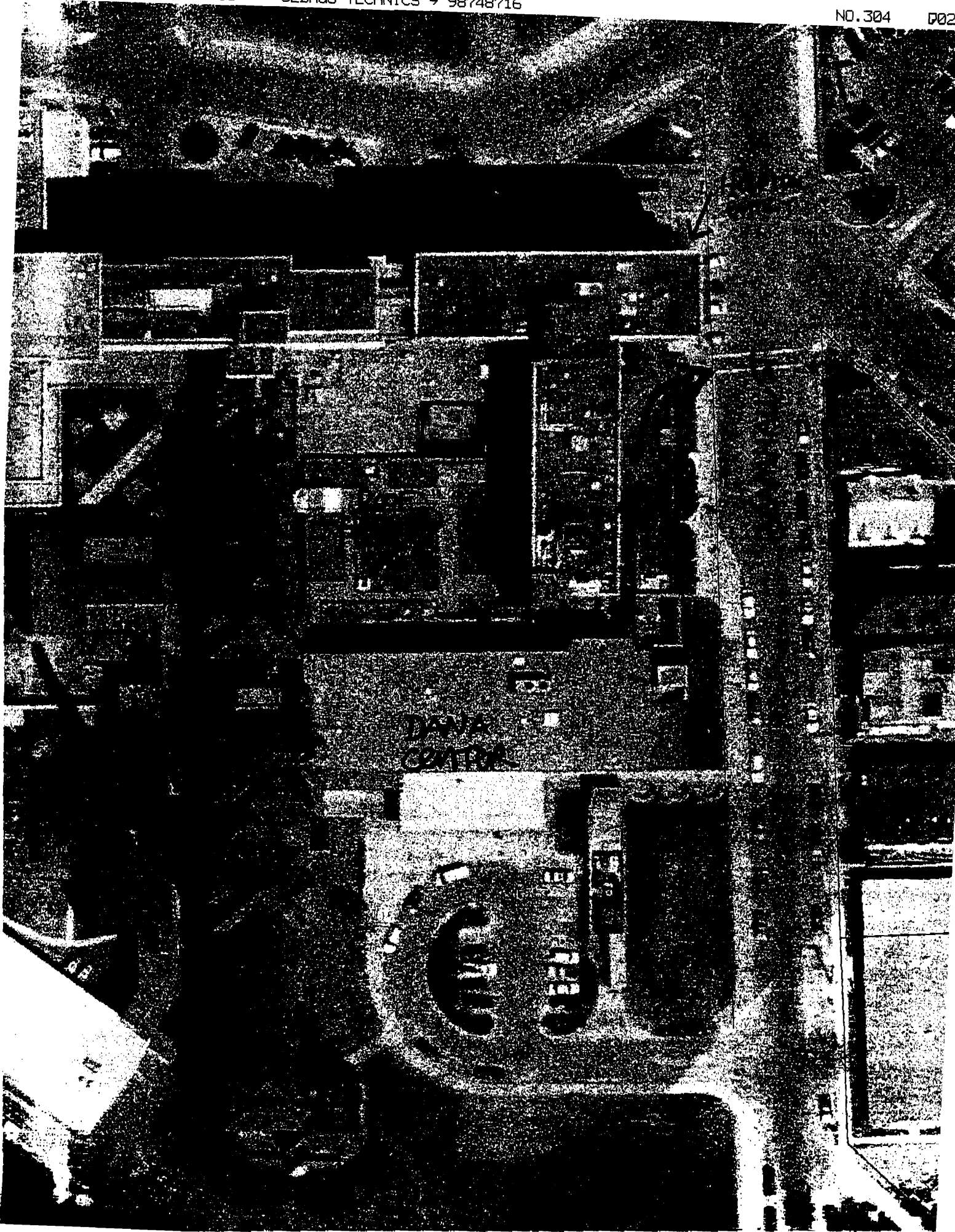
Pages including this cover page: 4

Comments: Maine Medical Rooftop Access
I hope this helps

Reply Requested:	_____ Yes	<input checked="" type="checkbox"/>	_____ No
Original to go out in mail:	_____ Yes	<input checked="" type="checkbox"/>	_____ No

If you have any problems receiving this FAX, please contact Julie at:
(207) 856-0277
(207) 856-2206 FAX Number

One Chabot Street, P.O. Box 1339, Westbrook, Maine 04098-1339 : Ph. 207-856-0277 : Fax 856-2206



Sebago Technics

Engineering Expertise You Can Build On



Facsimile Cover Sheet

Project No. 01046

To: MIKE WENT

Company: _____

Phone: _____

Fax: 874-8716

From: WILL CONWAY

Date: 3/11/04

Pages including this cover page: 4

Comments: Maine Medical Rooftop Access

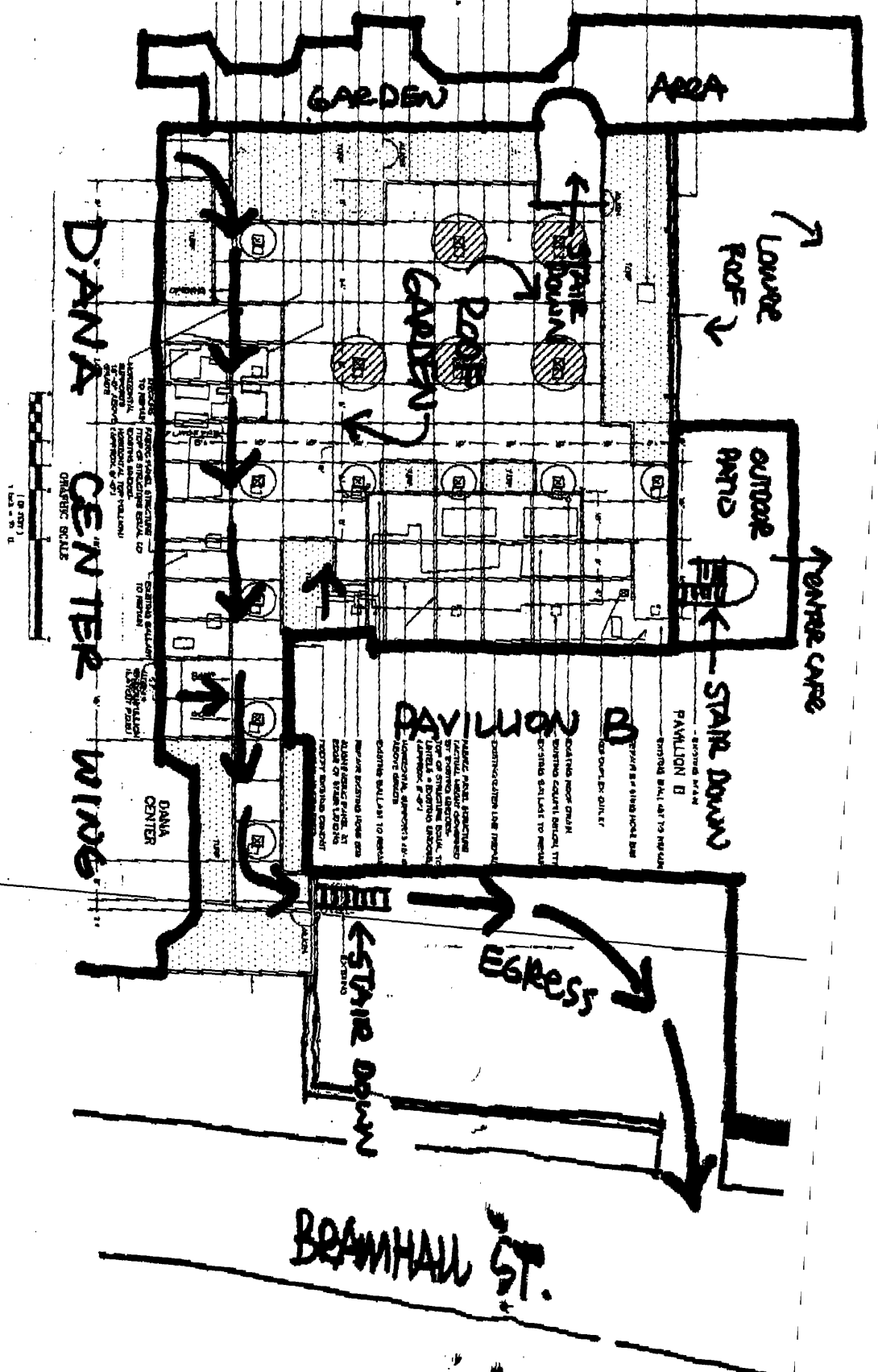
I hope this helps

Reply Requested: _____ Yes No

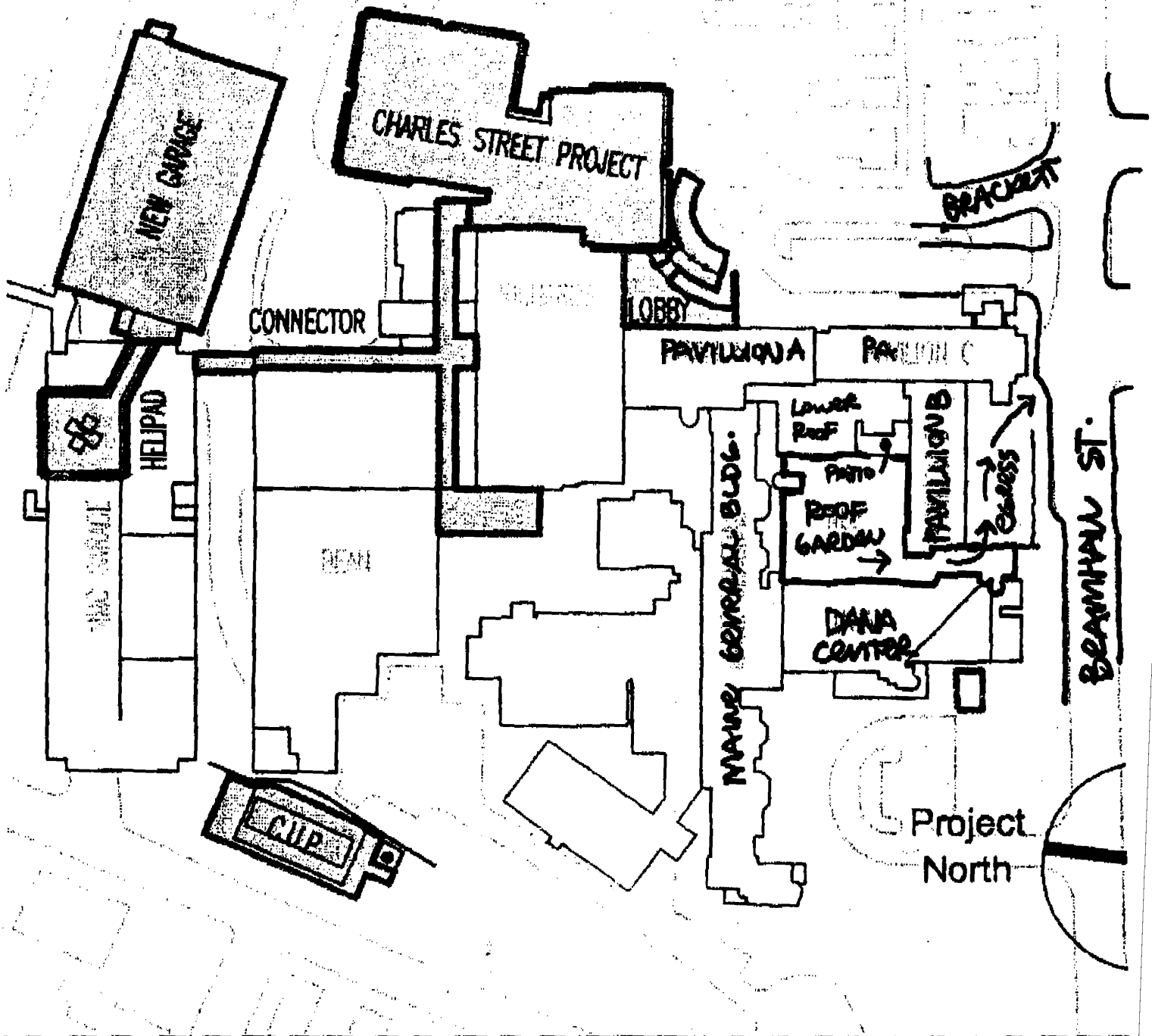
Original to go out in mail: _____ Yes No

If you have any problems receiving this FAX, please contact Julie at:
(207) 856-0277
(207) 856-2206 FAX Number

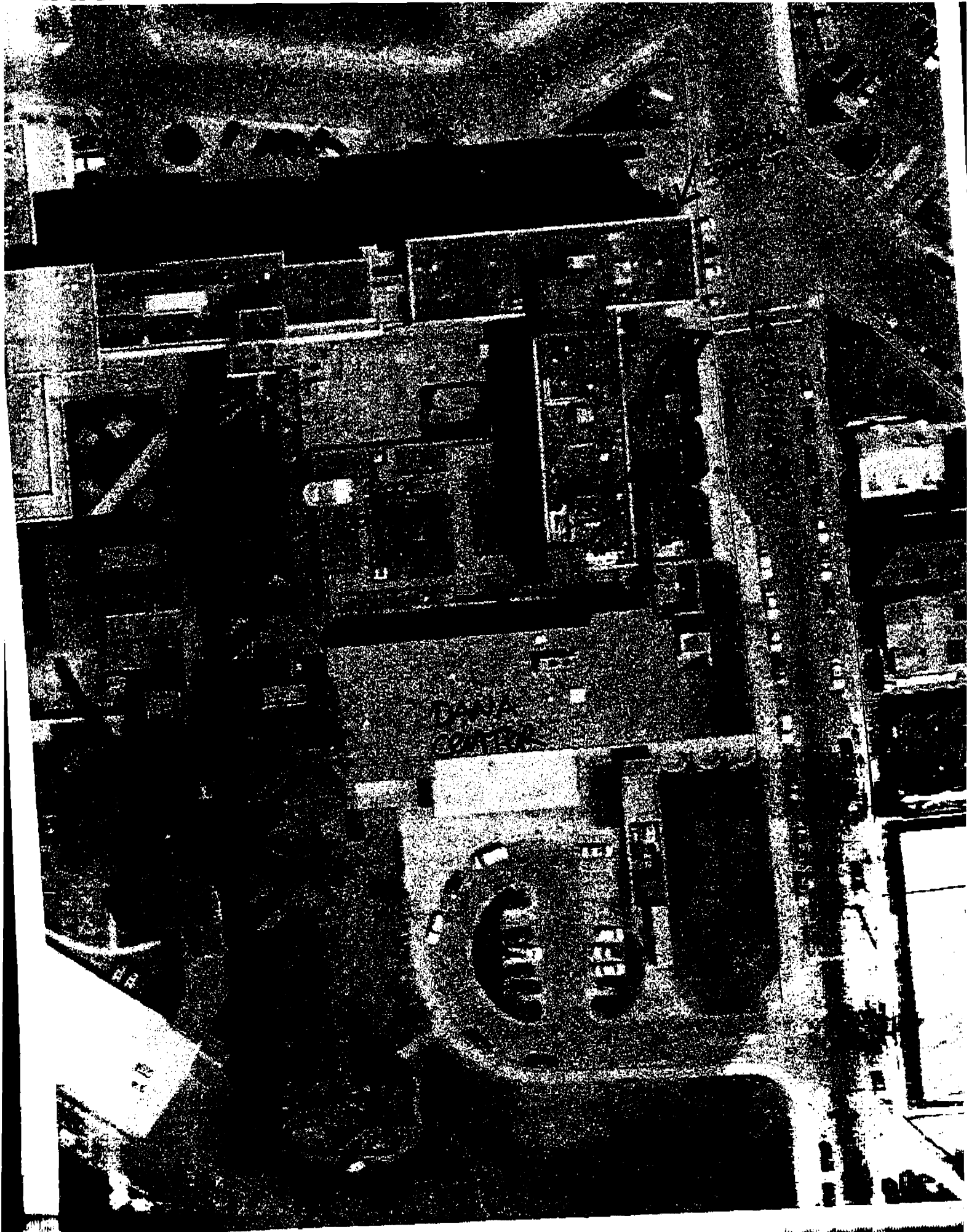
MAINE GENERAL BUILDING



BRANHAM ST.



Key Plan



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0163	Date Applied For: 02/27/2004	CBL: 053 D007001
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Location of Construction: 2 Bramhall St	Owner Name: Maine Medical Center	Owner Address: 22 Bramhall St	Phone:
Business Name:	Contractor Name: Herbert Construction, LLC	Contractor Address: 9 Gould Road Lewiston	Phone (207) 783-2091
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf	Proposed Project Description: MMC Dana Ctr. Roof Top Courtyard, Remove existing decking materials. Install new framing, decking & field turf
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/04/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 03/08/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				

Comments:
03/09/2004-mjn: need more info left a message with the Designer.



October 28, 2003
01182

Sarah Hopkins
Portland Planning Board
City of Portland
389 Congress Street
Portland, ME 04101

Application for Exemption from Site Plan Review
Maine Medical Center, 22 Bramhall Street, Portland, Maine

Dear Sarah:

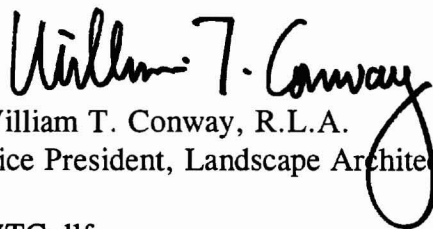
On behalf of Maine Medical Center (MMC), we are pleased to submit the enclosed materials for your review. MMC is planning to construct a rooftop garden on an existing roof structure at the Bramhall campus. The location of the garden is shown on the enclosed plans.

As shown in the enclosed photos, this rooftop area was once used as children's playground. No longer in use, the play structures have been removed. As shown on the enclosed plans, the existing pressure treated decking will be removed and replaced with new decking. MMC is also planning fabric panel structures to screen HVAC equipment, artificial turf panels, and trees placed in containers.

MMC is eager to proceed with this aesthetic improvement to the hospital, and I look forward to hearing from you regarding this request.

Sincerely,

SEBAGO TECHNICS, INC.

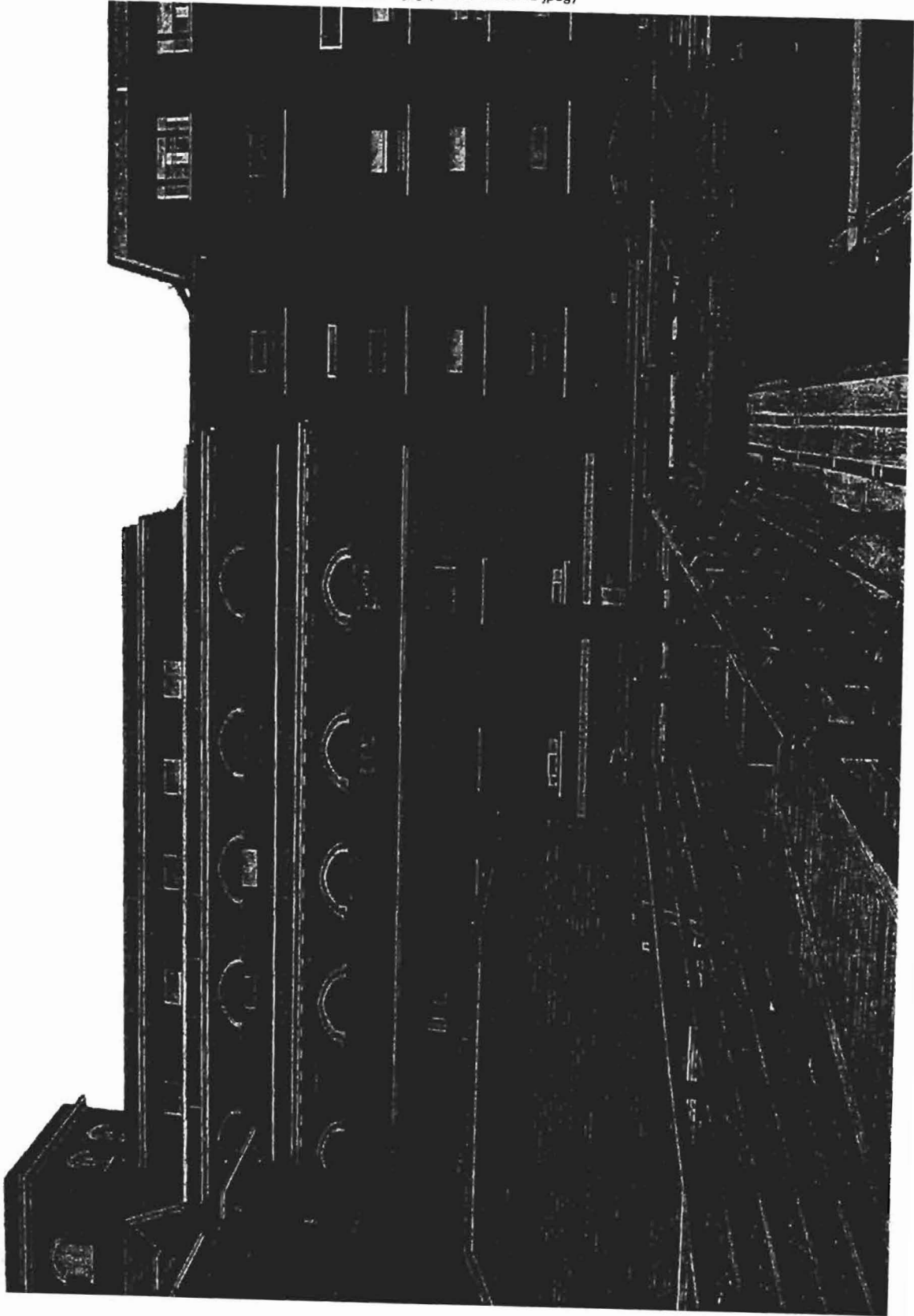


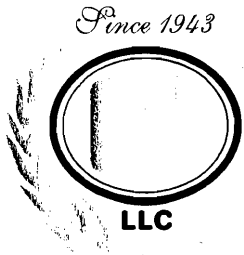
William T. Conway, R.L.A.
Vice President, Landscape Architecture

WTC:dlf
Enc.

cc: Michael Pritchett, Maine Medical Center

01182-6.jpg (1600x1200x24b jpeg)





**HEBERT
CONSTRUCTION
LLC**

May 11, 2004

**9 GOULD ROAD
LEWISTON, MAINE
04240**

**TEL: 207.783.2091
FAX: 207.782.4938**

Commercial

Institutional

Residential

General Contractors

Construction Managers

Michael J. Nugent, Inspection Services Manager
City of Portland
389 Congress Street
Portland, ME 04101

RE: *Maine Medical Center – Employee Rooftop Courtyard*

Dear Michael:

Hebert Construction, together with Maine Medical Center, Sebago Technics and Becker Engineering have been working to develop a roofing assembly that will satisfy both the needs of Maine Medical and the requirements of the city of Portland. Together we have come up with a system that will accomplish our goals.

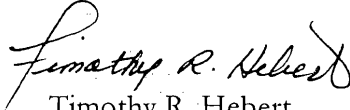
The information provided forth in this letter and all attachments are to show the new loads are equal to or greater than the existing loads on the roof. The system has also been designed to comply with the loading requirements of the Carlisle roofing system, attachment "B". Becker Engineering has performed the calculations for the roofing assembly both as they existed and proposed and these calculations are on the following page as attachment "A".

As you will see in the letter from G&E Roofing, the Carlisle SynTec System is designed to have a load of 10 lb per square foot to weigh down the assembly. The calculations comprised from Becker Engineering shows that the existing loading at the decked areas was only 9-1/2 lbs/sf and the new loading at the decked areas will be 9-1/4 lbs/sf. With that in mind Hebert Construction has come up with the following solutions to provide an additional half to one pound of weight to the decked areas to provide adequate coverage if deemed necessary.

- Add 1" rigid insulation between deck framing - 1-1/4 lbs/sf
- Use existing ballast under deck as needed to make up balance
- Buy and install small poly sand bags between the framing members
- Bolt four sections together to provide greater square foot coverage

Additional options will be discussed once all the factors are compiled and analyzed in order to provide the hospital with the most useful, economic system. Hebert Construction would like to extend our thanks for your cooperation with this matter and allowing us to perform the demolition work and investigation of the roof prior to having all facets of construction worked through completely. I am available anytime to discuss this project and you can best reach me at 207-783-2091.

Respectfully,



Timothy R. Hebert

Cc: Michael Pritchett, Maine Medical Center
Will Conway, Sebago Technics

ATTACHMENT "A"

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822

Project MAINE MEDICAL CENTER Roof Garden
W.O. 1184 Sheet 3 Of 3
Calculated By: TPG Date MAY 10 2004
Checked By: _____ Date _____

REVISED EXISTING ROOFTOP LOADS

2 1/2" STONE BALLAST

23 #/ft²

INSULATION

1 1/2 #/ft²

MEMBRANE & FELT

1 1/2 #/ft²

1" RIGID INSULATION

1 #/ft²

27 #/ft²

AT EXISTING DECKED AREAS, ROOF IS UN-BALLASTED

EXISTING DECKING

7 #/ft²

MEMBRANE & FELT

1 1/2 #/ft²

1" RIGID INSULATION

1 #/ft²

9 1/2 #/ft²

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822

Project: MAINE MEDICAL CENTER ROOF GARDEN
W.O. 1184 Sheet 1 of 3
Calculated By: TPG Date MAY 10 2004
Checked By: _____ Date _____

REVISED NEW ROOFTOP LOADS

AT DECKED AREAS (ABOVE ROOF MEMBRANE)

"CORRECT DECK"

5 #/ft²

(2) 2x4 @ PERIMETER

1/8 #/ft²

2x4 @ 24" O.C

5/8 #/ft²

(ABOVE MEMBRANE)

6 3/4 #/ft²

EXIST. ROOF MEMBRANE
& ROOFING FELT

1/2 #/ft²

EXIST 1" RIGID INSULATION

1 #/ft²

2 1/2 #/ft²

TOTAL DEAD LOAD ABOVE
ROOF DECK AT
DECKED AREAS

9 1/4 #/ft²

BECKER

structural engineers, inc

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1838 ■ Fax 207-879-1822

Project: MAINE MEDICAL CENTER ROOF REPAIR
W.O. 184 Sheet 2 of 3
Calculated By: J PLG Date 19A4.10-2004
Checked By: _____ Date _____

REVISED NEW ROOFTOP LOADS

AT TURFED AREAS

"FIELD TURF" SYSTEM	10 #/ft ²
FELT & 1" RIGID INSULATION	1 1/2 #/ft ²
1/2" ROOF BALLAST	14 #/ft ²
(ABOVE MEMBRANE)	<u>25 1/2 #/ft²</u>

EXIST ROOF MEMBRANE & ROOFING FELT	1 1/2 #/ft ²
EXIST 1" RIGID INSULATION	1 #/ft ²
	<u>2 1/2 #/ft²</u>

TOTAL DEAD LOAD ABOVE ROOF DECK AT TURFED AREAS	<u>28 #/ft²</u>
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Attachment "B"

G&E ROOFING CO., INC. • 669 RIVERSIDE DR., AUGUSTA, ME 04330 • (207) 622-9503 • FAX (207) 622-7697

Norman S. Egan, President
Neil A. Glaser, Vice President

Underwriters Laboratories Approvals Design "C" Loose Laid Protected Roofing System (1)(2)

Membrane Type: .045" or .060" thick Non-Reinforced EPDM Membrane
.045" or .060" thick Reinforced EPDM Membrane
Sure-Tough Reinforced EPDM Membrane

UL Class "A"			
Deck Type	Insulation (3)	Insulation Thickness	Maximum Slope
Non-Combustible and Combustible	Foamular 404	8" Max.	2"
	Dow Styrofoam Roofmate or Plazarate	4" Max.	2"

Notes:

- (1) Ballast to be nominal 1-1/2" diameter river washed stone at a minimum 10 pounds per square foot. Individual concrete pavers (minimum 18 pounds per square foot) or approved lightweight interlocking pavers (minimum 10 pounds per square foot) may also be used. 1/8" maximum spacing between pavers is permitted.
- (2) Carlisle HP Protective Mat must be used between the ballast and the extruded polystyrene insulation.
- (3) Insulation products listed are for use above the EPDM membrane. One layer of any UL classified insulation may be added below the membrane without altering the rating.

Carlisle SynTec Systems

Carlisle SynTec Systems
Division of Carlisle Corporation
8 Flowers Drive - Suite A
Mechanicburg, PA 17055
717-795-9103 Fax 717-795-9246



June 2, 1992

Mr. Norm Elvin
G & E Roofing Company, Inc.
675 Riverside Drive
Augusta, ME 04330

RE: **Maine Medical Center**
Portland, ME

Dear Mr. Elvin:

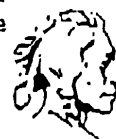
Our office has reviewed the wood deck area of the referenced project which incorporates Carlisle's Design "C" Roofing System. As verification, the patio area (as well as the typical roof areas) will be eligible for a 15 Golden Seal™ Total Systems Warranty upon completion of the project in accordance with our current Specifications and Details (including requirements outlined in Carlisle's Specification Bulletin 4-91) and upon acceptance of the installation after final inspection.

The Design "C" roofing assembly at the wood deck area has been designed to consist of the following components:

- Structural concrete roof deck
- 1" thick Sure-Seal HP Polyisocyanurate (loose laid)
- .045" thick, non re-inforced EPDM membrane (loose laid)
- 2" thick Sure-Seal HP Foamular
- Sure-Seal HP Protective Mat
- Wood supports (2" x 4") over the HP Mat with the 4" dimension laid flat over the HP Mat.

Please be advised that it is Carlisle's policy to warrant the watertight performance of membrane systems through normal roof conditions, subject to specified limits. In order to clarify the warranty limitations of the Carlisle Golden Seal Total Systems Warranty, it is important to call your attention to the following.

1. Some warranty limitations are negligence, accidents and misuse. Because patio installations may subject the membrane system to an increased probability of these hazards, it is important that the building owner not be left to assume that acts of negligence and misuse are covered by our warranty.
2. At the time of Carlisle's inspection, it will be the responsibility of the building owner to provide access to the membrane roofing system, as required by the Carlisle Technical Representative, to verify the correct installation of applicable details if any additional objects are placed above the concrete pavers.



Page 2
Maine Medical Center
Portland, ME
June 2, 1992

- 3. On the chance that we may be asked to investigate a warranty claim and make warranty related repairs, the building owner must understand that providing access to the membrane (removing and replacing the wood deck above HP Mat which may limit access) will be his responsibility.
- 4. As a normal condition in our Golden Seal Total Systems Warranty, the owner must understand that if we are asked to investigate a problem which is found to be due to causes other than our roofing system, there will be a charge for that service. The amount will be based upon the price current at that time plus portal-to-portal expenses.
- 5. After issuance, the Carlisle Golden Seal Total Systems Warranty shall be considered null and void if any alterations or repairs are made on or through the roof or objects such as, but not limited to structures, fixtures or utilities are placed upon or attached to the roof without first obtaining written authorization from Carlisle.

It is important that the above items be completely understood as they contribute to a further understanding of the Golden Seal Total Systems Warranty. Carlisle's warranty cannot be issued until a signed statement is received from the building owner which acknowledges the items noted herein. Please have the building owner review the terms of this letter and forward the signed original to our office.

Sincerely,

Duane G. Schrade
Duane G. Schrade
Senior Design Analyst
Northeast Region

I have read, understand and agree to the terms of this letter and am authorized by the building owner to agree to its contents.

Accepted: *Maine Med Center*

DGS/bjk

Signed: _____

cc: Beacon Sales Company
Inspection Paperwork
Project File
Pat Raymond
DHF

By: *JACK HIBKELL*

Title: _____

Date: _____



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant Maine Medical Center

Application Date 10/15/03

22 Bramhall St.

Project Name/Description Roof-top Garden

Applicant's Mailing Address Portland me 04102

22 Bramhall St

Consultant/Agent/Phone Number W.T. Conway, Seabrook Technics
856 0277

Address of Proposed Site CBL: 53 D 2

Description of Proposed Development: construct rooftop garden on existing roof structure.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

	Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
a) Within Existing Structures; No New Buildings, Demolitions or Additions	✓	✓
b) Footprint Increase Less Than 500 Sq. Ft.	yes	✓
c) No New Curb Cuts, Driveways, Parking Areas	yes	✓
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	yes	✓
e) No Additional Parking/ No Traffic Increase	yes	✓
f) No Stormwater Problems	yes	✓
g) Sufficient Property Screening	yes	✓
h) Adequate Utilities	yes	✓

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

Planner's Signature [Signature] Date 10/15/03