

ABBREVIATIONS

AB	ANCHOR BOLT	JT	JOINT
AB	AIR BARRIER	KIT	KITCHEN
AC	AIR CONDITIONING	LAB	LABORATORY
ADDL	ADDITIONAL	LAM	LAMINATE (D)
ADJ	ADJUSTABLE	LAV	LAVATORY
ADO	AUTOMATIC DOOR OPERATOR	LB	LEAD COATED COPPER
AFF	ABOVE FINISHED FLOOR	LCC	LINEAR FOOT
AH	AIR HANDLER	LF	LEFT HAND
AIB	AIR INFILTRATION BARRIER	LH	LOCATION
ALT	ALTERNATE	LOC'N	LIGHTWEIGHT (CMU)
ALUM	ALUMINUM	LW	
AOR	AREA OF REFUGE	MAS	MASONRY
APPROX	APPROXIMATE	MATL	MATERIAL
ARCH	ARCHITECT(URAL)	MAX	MAXIMUM
ARND	AROUND	MC	MEDICINE CABINET
AVB	AIR/VAPOR BARRIER	MCWF	MULTI COLOR WALL FINISH
AWP	ACOUSTICAL WALL PANEL	MDO	MEDIUM DENSITY OVERLAY
		MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BARRIER FREE	MF	MEMBRANE FLASHING
BIT	BITUMINOUS	MFR	MANUFACTURER
BLDG	BUILDING	MH	MANHOLE
BLKG	BLOCKING	MIN	MINIMUM
BM	BENCHMARK	MISC	MISCELLANEOUS
BOT	BOTTOM	MLDG	MOULDING, MOULDING
BO	BOTTOM OF	MO	MASONRY OPENING
BRK	BRICK	MR	MOISTURE RESISTANT
BRG	BEARING	MS	MOP SINK
B/S	BRICK SHELF	MSF	METAL STUD FRAMING
BSMT	BASEMENT	MTL	METAL
		N	NORTH
C. CRS	COURSE	NA	NOT APPLICABLE
CAB	CABINET	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NO	NUMBER
CC	CENTER TO CENTER	NO	NOMINAL
CF	CUBIC FOOT	NRC	NOISE REDUCTION COEFFICIENT
CFMF	COLD FORMED METAL FRAMING	NTS	NOT TO SCALE
CJ	CONTROL JOINT		
CL	CENTERLINE	O/	OVER
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMT	CERAMIC MOSAIC TILE	OF	OVERFLOW SCUPPER
CMU	CONCRETE MASONRY UNIT	OP	OPAQUE
CO	CLEANOUT	OH	OVERHEAD
COL	COLUMN	OPH	OPPOSITE HAND
CONC	CONCRETE	OPNG	OPENING
CONC/C	COLORED CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS OR CONTINUE	OPS	OPERABLE PANEL SYSTEM
CONTR	CONTRACTOR	P. PTD	PAINT
CPT	CARPET	PC	PRECAST CONC.
CS	COUNTERSINK	PERF	PERFORATED
CSMT	CASEMENT	PERIM	PERIMETER
CT	CERAMIC TILE	PRKG	PARKING
CWT	CERAMIC WALL TILE	PL	PLATE
CY	CABINET UNIT HEATER CUBIC YARD	PLAM	PLASTIC LAMINATE
		PLYWD	PLYWOOD
DBL	DOUBLE	PSF	POUNDS PER SQUARE FOOT
DC	DISPLAY CASE	PSI	POUNDS PER SQUARE INCH
DEMO	DEMOLISH, DEMOLITION	PT	PRESSURE TREATED
DF	DRINKING FOUNTAIN	PTD	PAPER TOWEL DISPENSER
DIA, DIAM	DIAMETER	PTN	PARTITION
DM	DIMENSION	PVC	POLYVINYL CHLORIDE
DMV	DIVISION	PVMT	PAVEMENT
DMP	DEMOUNTABLE PARTITION	QR	QUARTER ROUND
DN	DOWN	QT	QUARRY TILE
DR	DOOR		
DTL	DETAIL	RE:	REFERENCE
DWG	DRAWING	REF	REFRIGERATOR
DWR	DRAWER	REQ'D	REQUIRED
		REV	REVISION (S), REVISED
E	EAST	RL	RAIN LEADER
EA	EACH	RF	RUBBER FLOOR
EF	EXHAUST FAN	RH	RIGHT HAND
EMHO	ELECTRO MAGNETIC FOLD OPEN	RM	ROOM
EFS	EXTERIOR INSULATION FINISH SYSTEM	RO	ROUGH OPENING
EJ	ELECTRIC JOINT	ROW	RIGHT OF WAY
EL	ELEVATION	S	SOUTH
EP	EPOXY PAINT	SAT	SUSPENDED ACOUSTICAL TILE
ELEC	ELECTRICAL	SC	SOLID CORE
ELEV	ELEVATOR	SCHED	SCHEDULE
EMER	EMERGENCY	SD	STORM DRAIN, SOAP DISPENSER
ENCL	ENCLOSED/ENCLOSURE	SECT	SECTION
EQ	EQUAL	SF	SQUARE FOOT
EQUIP	EQUIPMENT	SGL	SAFETY GLASS
EXH	EXHAUST	SH	SHOWER
EXIST	EXISTING	SHT	SHEET
EXT	EXTERIOR	SHTHG	SHEATHING
EW	EYEWASH	SIM	SIMILAR
EWV	ELECTRIC WATER COOLER	SLNT	SEALANT
		SNR	SANITARY NAPKIN RECEPTOR
FB	FIRE BLANKET	SP	SPECIAL PAINT
FBO	FURNISHED BY OWNER	SPEC	SPECIFICATION
FCS	FLOOR COATING SYSTEM	SPKR	SPEAKER
FD	FLOOR DRAIN	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER AND CABINET	STC	SOUND TRANSMISSION CLASS
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FIBERGLASS	STL	STEEL
FHVC	FIRE HOSE AND VALVE CABINET	STR	STORAGE
FIN	FINISH GRADE	STRCT	STRUCTURE/STRUCTURAL
FIN GR	FLOORING	SUPT	SUPPORT
FLR	FLOORING	SUSP	SUSPENDED
FNDN	FOUNDATION	SV	SHEET VINYL
FP	FIREPROOFING	T	TOILET
FO	FACE OF	TB	TOWEL BAR
FRMG	FRAMING	TB	TACKBOARD
FRP	FIBER REINFORCED PLASTIC	T&G	TONGUE AND GROOVE
FMB	FIBERGLASS MAT BOARD	TGL	TEMPERED GLASS
FRT	FIRE RETARDANT TREATED	THK	THICK(NESS)
FSR	FLEXIBLE SHEET ROOFING	TO	TOP OF
FT	FOOT(FEET)	TP	TOILET PARTITION
FTG	FOOTING	TPD	TOILET PAPER DISPENSER
FTR	FIN TUBE RADIATION	TV	TELEVISION
FUR	FURRED(ING)	TY	TYPICAL
FV	FIELD VERIFY	UCR	UNDER COUNTER REFRIGERATOR
FWC	FABRIC WALL COVERING	UNO	UNLESS NOTED OTHERWISE
		VB	VAPOR BARRIER/VINYL BASE
GA	GAUGE	VC	VALVE CABINET
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GB	GRAB BAR	VERT	VERTICAL
GFB	GROUND FACE CMU	VFW	VENEER PLYWOOD
GL	GLASS, GLAZING	VWC	VINYL WALL COVERING
GWB	GYPSUM WALLBOARD	W	WEST
		W	WITH
HARD	HARDENER	WC	WATER CLOSET
HB	HOSE BIBB	WD	WOOD
HC	HOLLOW CORE	WGL	WIRE GLASS
HD	HEAD	WH	WATER HEATER
HDO	HIGH DENSITY OVERLAY	WO	WITHOUT
HDWD	HARDWOOD	WS	WATERSTOP
HDWR	HARDWARE	WP	WATERPROOF
HM	HOLLOW METAL	WWF	WELDED WIRE FABRIC
HORIZ	HORIZONTAL	WWM	WELDED WIRE MESH
HR	HAND RAIL	YD	YARD
HS	HIGH SCHOOL	ZCC	ZINC-COATED COPPER
HT	HEIGHT		
HTG	HEATING		
HVAC	HEATING/VENTILATION/AIR CONDITIONING		
IBC	INSTALLED BY CONTRACTOR		
ID	INSIDE DIAMETER		
IN	INCH (ES)		
INCL	INCLUDE (D), (ING)		
INFO	INFORMATION		
INSUL	INSULATED		
INT	INTERIOR		
INV	INVERT		

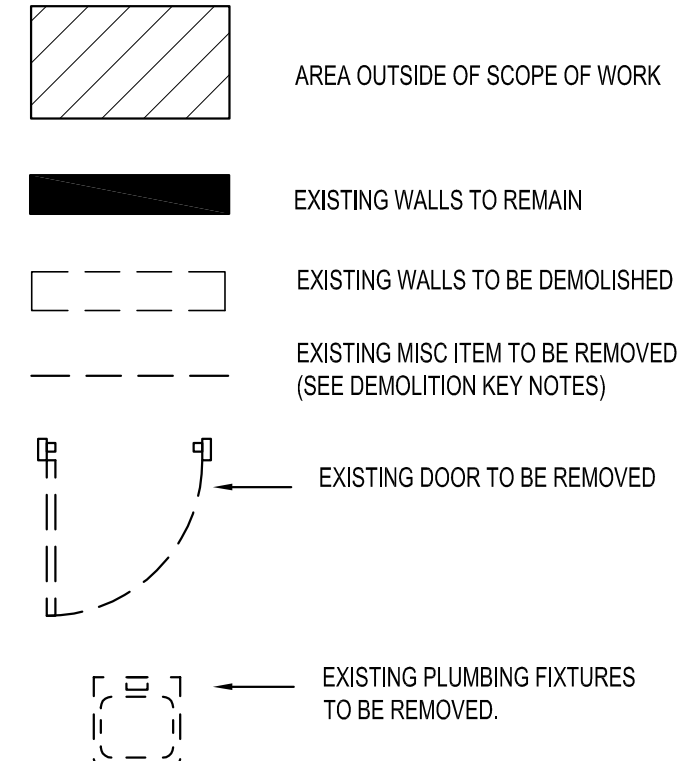
PROJECT GENERAL NOTES

- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, OR LAWFUL ORDERS OF PUBLIC AUTHORITY. PROMPTLY REPORT ANY NONCONFORMITY DISCOVERED TO THE ARCHITECT.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK BY THE CONTRACTOR AND TO PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT.
- THE CONTRACTOR SHALL PROVIDE ALL INCIDENTAL ITEMS NECESSARY FOR COMPLETION OF THE WORK IN THIS CONTRACT.
- VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED:
 - EXISTING CONDITIONS
 - WALLS, FLOORS, ROOFS, AND SUBSTRATES WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED.
 - SIZE AND CONDITION OF WINDOW, DOOR, LOUVER, AND OTHER OPENINGS WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED.
 - THE EXISTANCE, SIZE, AND LOCATION OF ALL EXISTING UTILITIES, MECHANICAL AND ELECTRICAL SYSTEMS.
 - DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS.
 - UNSUITABLE SOILS; REPORT THE LOCATION OF ALL UNSUITABLE SOIL MATERIALS BELOW ANTICIPATED LEVELS OF FOOTINGS OR SLABS PRIOR TO SETTING FORMS.
 - MECHANICAL, ELECTRICAL AND PLUMBING WHICH IMPACT CEILING INSTALLATION HEIGHTS OR BUILDING THE APPEARANCE.
 - DIMENSIONAL DISCREPANCIES.
- COORDINATE THE WORK OF ALL SUBCONTRACTORS.
- DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
- PROVIDE BOND-OUTS, BLOCKING, SLEEVES AND PIPES AS REQUIRED FOR ALL WALL, FLOOR, ROOF, AND CEILING PENETRATIONS. MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AND SMOKE ASSEMBLIES. SEAL ALL PENETRATIONS TO CONFORM TO U.L. RATED ASSEMBLIES AND ALL NFPA AND IBC REQUIREMENTS. REFER TO THE CODE PLANS FOR ADDITIONAL CODE REFERENCES. ALL PENETRATIONS SHALL COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY.
- COORDINATE THE WORK TO ACHIEVE THE GIVEN VISUAL AND PERFORMANCE REQUIREMENTS OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS WITHIN THE INDICATED SPACE.
- PROVIDE WORK HOLES OR ADEQUATE ACCESS AS REQUIRED TO INSTALL NEW SYSTEMS IN CONCEALED SPACES.
- PRODUCTS SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY DESIGN. DO NOT REMOVE OR PAINT OVER UL CLASSIFICATIONS.

GENERAL DEMOLITION AND REMOVAL NOTES

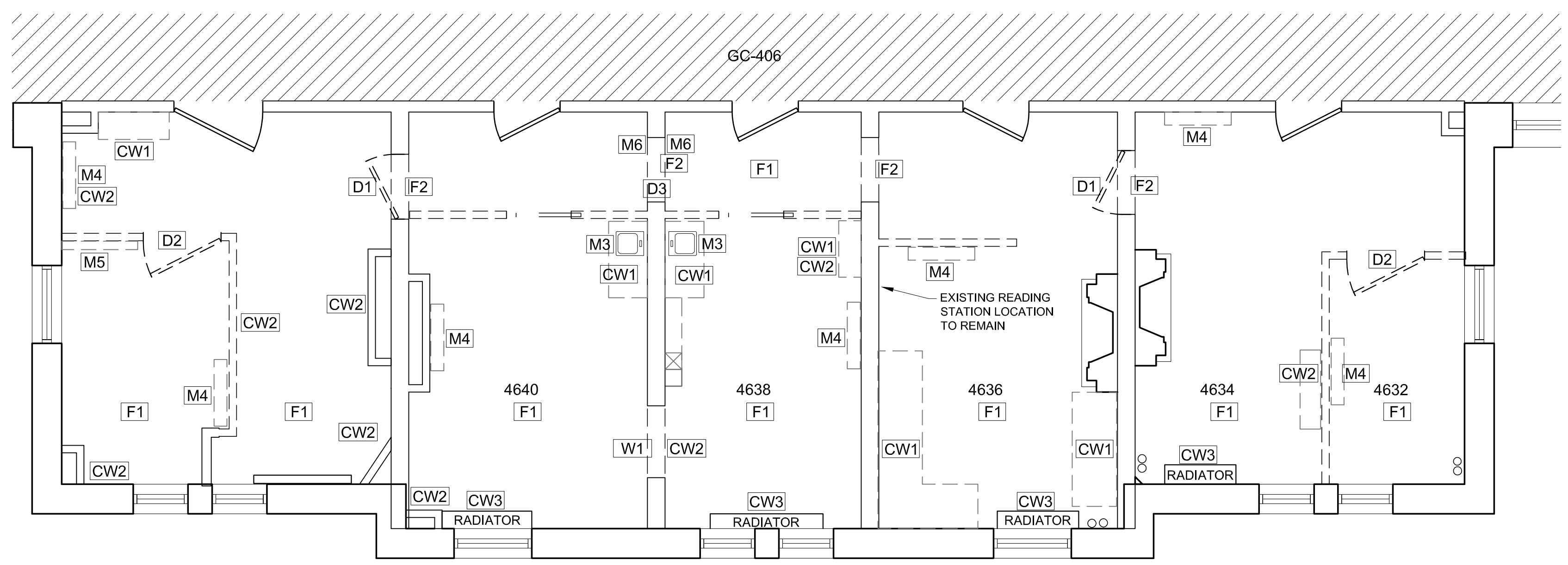
- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
- PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- COORDINATE AND SCHEDULE ALL WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
- NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF POTENTIALLY HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB, LEAD, MERCURY, AND MOLD. DO NOT DISTURB HAZARDOUS MATERIALS. HAZARDOUS MATERIAL SHALL BE LEGALLY ABATED, TRANSPORTED, AND DISPOSED OF.
- CONCRETE SLAB REMOVALS MAY BE REQUIRED THROUGHOUT THE EXISTING BUILDING AND MAY NOT BE SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF SLAB REMOVALS WITH STRUCTURAL MECHANICAL AND ELECTRICAL PLANS. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PROVIDE AN UNDER-SLAB VAPOR RETARDER AT SLABS ON GRADE. REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT REQUIREMENTS. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
- REMOVAL OF MATERIALS SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES OR THE CURRENT CONDITION OF OTHER BUILDING ELEMENTS INTENDED TO REMAIN.
- THE OWNER SHALL REMOVE FURNITURE AND OTHER MOVABLE AND/OR FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA, EXCEPT FOR MECHANICAL, ELECTRICAL OR MINOR WORK NOT REQUIRING THE OWNER TO COMPLETELY VACATE THE PREMISES. NOTIFY THE OWNER OF THE SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS NECESSARY.
- REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR AN INSPECTION OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
- ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.

GRAPHIC LEGEND:



DEMOLITION KEY NOTES:

- FLOOR NOTES**
- F1 REMOVE EXISTING CARPETING TO SUB-FLOOR BELOW
 - F2 REMOVE EXISTING WOODEN THRESHOLD
- WALL NOTES**
- W1 REMOVE STUD WALL AND FINISH
- CEILING NOTES**
- C1 REMOVE EXISTING ACOUSTICAL CEILING SYSTEM, LIGHTING FIXTURES, DIFFUSERS, ETC.
- DOOR NOTES**
- D1 REMOVE DOOR & HARDWARE; WOOD CASING TO REMAIN
 - D2 REMOVE DOOR, FRAME, HARDWARE & ALL RELATED ITEMS
 - D3 REMOVE DOOR, FRAME & CASING
- CASEWORK NOTES**
- CW-1 REMOVE WALL OR BASE CABINETS
 - CW-2 REMOVE SHELVING & HARDWARE; SALVAGE FOR OWNER
 - CW-3 REMOVE RADIATOR COVERS; SALVAGE FOR REUSE
- MISCELLANEOUS ITEMS:**
- M1 REMOVE MISCELLANEOUS WALL MOUNTED ITEMS
 - M2 REMOVE WINDOW SHADES
 - M3 REMOVE SINKS, FITTINGS AND RELATED FINISH PLUMBING
 - M4 REMOVE OR RELOCATE WALL MOUNTED AC UNIT; GC TO COORDINATE
 - M5 REMOVE BASEBOARD HEAT; GC TO COORDINATE
 - M6 REMOVE WOOD BASE TRIM AS REQUIRED FOR NEW WORK

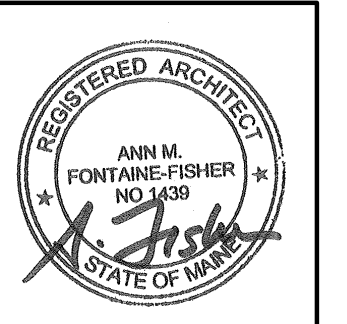


1 DEMOLITION PLAN
1/4" = 1'-0"

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16122

DRWN. CHK

SCALE:
AS NOTED

ISSUE
PERMIT SET
02/10/2017

TITLE
DEMO PLAN,
GRAPHIC LEGEND
& NOTES

SHEET

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