

2 DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION PLAN LEGEND

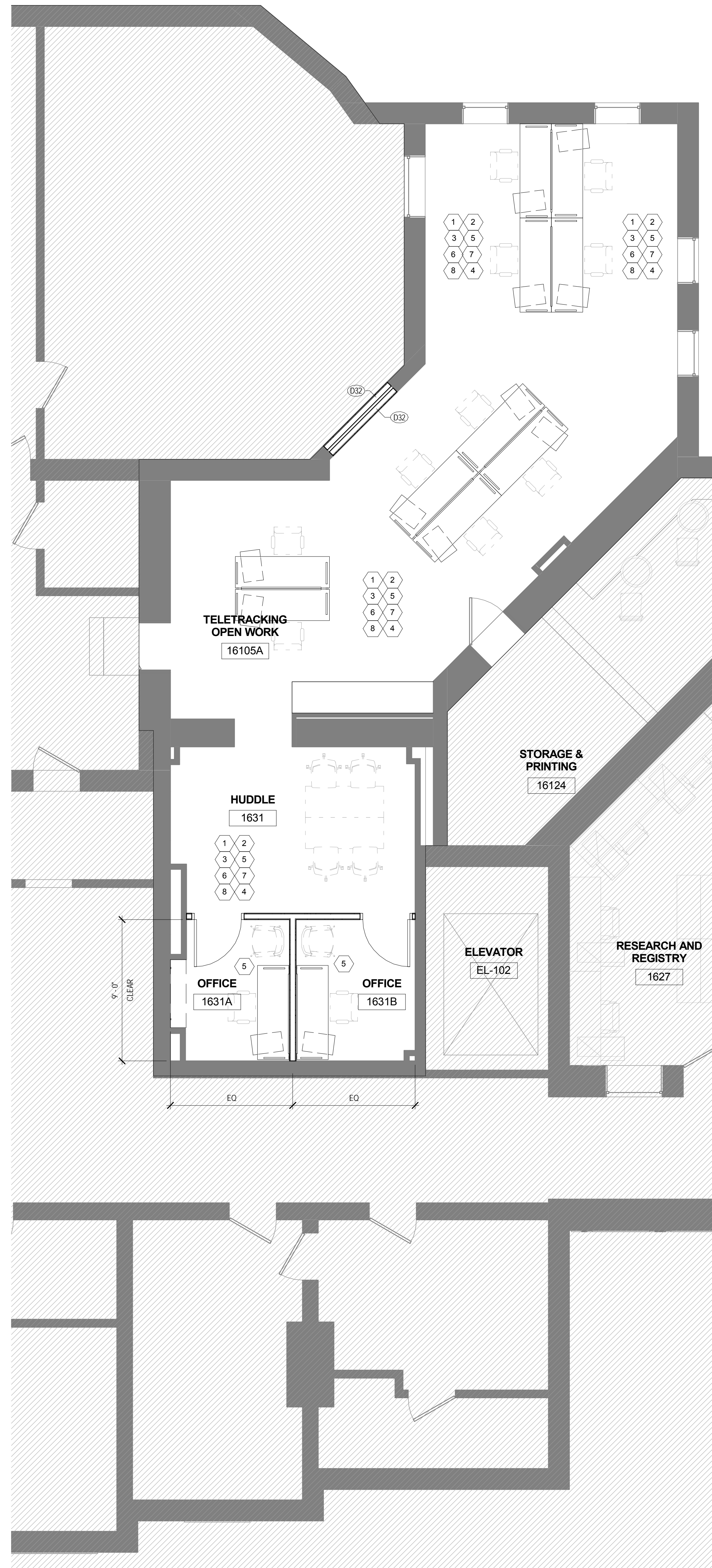
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED

DEMOLITION PLAN GENERAL NOTES

- 1 THE EXTENT OF THE DEMOLITION WORK INDICATED IN DRAWINGS AND NOTES DESCRIBE THE GENERAL SCOPE OF WORK ONLY AND ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE DEMOLITION WORK WHICH MAY BE REQUIRED TO COMPLETE THE FULL SCOPE OF WORK. VERIFY ALL CONDITIONS IN THE FIELD.
- 2 EXISTING BUILDING ELEMENTS AND FIXTURES NOT INDICATED FOR REMOVAL ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION AS REQUIRED. THE CONDITION OF ALL BUILDING FINISHES NOT TO BE ALTERED OR REMOVED ARE TO BE RECORDED PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION.
- 3 SCHEDULE AND OBTAIN APPROVAL OF THE OWNER, UTILITIES AND LOCAL AGENCIES AUTHORITY PRIOR TO BEGINNING DEMOLITION WORK.
- 4 ALL DEMOLITION DEBRIS IS TO BE PLACED IN DUMPSTER(S), COVERED, WETTED AND SECURED AS REQUIRED BY MUNICIPAL ORDINANCES PRIOR TO DISPOSAL. COORDINATE AND OBTAIN OWNERS APPROVAL FOR THE LOCATION OF DUMPSTER(S).
- 5 EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SERVICES NOTED FOR REMOVAL ARE TO BE REMOVED IN THEIR ENTIRETY. PATCH FLOOR OR WALL PENETRATIONS SMOOTHLY AND FLUSH TO FORM A STRUCTURAL PATCH.
- 6 ALL PARTITIONS INDICATED TO BE REMOVED ARE TO BE COMPLETELY REMOVED FROM FLOOR DECK TO UNDERSIDE OF STRUCTURE.
- 7 FIRE PROTECTION SYSTEM ON FLOOR TO REMAIN ACTIVE DURING CONSTRUCTION. COORDINATE WITH OWNER FOR ANY INTERIOR LIFE SAFETY REQUIREMENTS.
- 8 THE EXISTING STRUCTURE INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS AND FLOORS ARE NOT TO BE ALTERED OR DAMAGED DURING DEMOLITION OR CONSTRUCTION. EXCEPT WHERE INDICATED IN THE DRAWINGS, ANY STRUCTURAL ELEMENTS DAMAGED DURING DEMOLITION OR CONSTRUCTION ARE TO BE REPAIRED TO FULL STRUCTURAL INTEGRITY AND REQUIRED FIRE RESISTIVE RATING BY THE CONTRACTOR AT EXPENSE.
- 9 ALL EXISTING BUILDING FINISHES, INDICATED TO REMAIN WHICH ARE DISTURBED BY THE REQUIRED DEMOLITION ARE TO BE PATCHED AND REFINISHED TO MATCH ADJACENT CONDITIONS OR AS INDICATED IN THE FINISH SCHEDULE. PFM (PATCH AND MATCH) INDICATES THE FINISH SHALL BE REPAIRED TO MATCH ADJACENT FINISH.
- 10 AT THE CONCLUSION OF THE DEMOLITION WORK, REMOVE ALL DEBRIS AND SURPLUS MATERIALS AND LEAVE WORK AREA READY TO RECEIVE NEW WORK FINISHES.
- 11 PROVIDE DUST PROTECTION DURING CONSTRUCTION.
- 12 COORDINATE ITEMS FOR SALVAGE WITH OWNER.
- 13 IF ANY HAZARDOUS MATERIALS ARE IDENTIFIED DURING THE COURSE OF DEMOLITION, CONTRACTOR IS TO STOP WORK, NOTIFY THE OWNER, AND HAVE THE SPACE ABATED.
- 14 REMOVE AND DISPOSE OF EXISTING ACOUSTICAL TILE APPLIED TO WALLS.

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING PARTITIONS IN THEIR ENTIRETY, INCLUDING ALL FINISHES, WALL MOUNTED FIXTURES, AND ANCHORS.
- 2 REMOVE FINISH OF EXISTING PARTITION FOR INDICATED SIDE TO FACILITATE INSTALLATION OF NEW SYSTEMS IN PARTITION INCLUDING GWB.
- 3 REMOVE PORTION OF PARTITION TO FACILITATE INSTALLATION OF OPENING.
- 4 REMOVE DOOR, FRAME, GLAZING, AND ALL ASSOCIATED MATERIAL INCLUDING THRESHOLDS, CORNER GUARDS, CARD READERS, TYPICAL AS DESIGNATED. SALVAGE AS DIRECTED BY OWNER.
- 5 REMOVE EXISTING CASEWORK, MILLWORK, SHELVING, HARDWARE AND/OR ACCESSORIES.
- 6 REMOVE AND DISPOSE OF FLOORING AND ALL ASSOCIATED MATERIALS SUCH AS MASTICS, GLUES, AND OTHER ADHESIVES. REMOVE AND DISPOSE OF ALL FLOOR TILE CORN BASE ETC. CO TO COORDINATE THE PREPARATION OF EXISTING SLAB TO INCLUDE SANDING, GRINDING, AND LEVELING AS REQUIRED FOR PROPER INSTALLATION OF NEW FLOOR FINISHES.
- 7 REMOVE AND DISPOSE OF ALL CEILING SYSTEMS AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO ACT, FRAMING, CLIPS, FASTENERS, GWB, INSULATION, LIGHTING FIXTURES & DIFFUSERS. COORDINATE WITH OWNER. REMOVE EXISTING PLASTER CEILING SYSTEM ABOVE DROP CEILING, IF ANY, TO EXPOSE EXISTING STRUCTURE.
- 9 REMOVE PORTION OF EXTERIOR WALL TO FACILITATE INSTALLATION OF OPENING FOR MEP SERVICES, AS REQ'D., LOCATION T.B.D.
- 10 REMOVE EXISTING WINDOW TREATMENTS.
- 13 REMOVE AND SALVAGE RAMP, STAIR, AND RAISED PLATFORM CONSTRUCTION INCLUDING ALL RAILINGS.
- 14 REMOVE CAPPED P-TUBE STATION AND ASSOCIATED FURRING.
- 15 REMOVE EXISTING RADIATOR ENCLOSURE, RADIATORS AND ANY ASSOCIATED PIPING TO REMAIN.
- 16 REMOVE ALL WALL MOUNTED ACOUSTICAL PANELS AND WHITEBOARDS.
- 17 REMOVE RADIATOR AND ASSOCIATED PIPING. CAP PIPES AS NECESSARY PER COORDINATION WITH NEW WORK PLAN.
- 20 REMOVE EXISTING STORAGE SYSTEM. SALVAGE AS DIRECTED BY OWNER.
- 21 PRESERVE AND PROTECT WOOD FLOOR CONSTRUCTION ABOVE EXISTING DROPPED CEILING.
- 22 REMOVE ALL EXISTING DROPPED CEILINGS. PRESERVE AND PROTECT STRUCTURE ABOVE AND EXISTING CEILINGS.



1 NEW WORK PLAN
1/4" = 1'-0"

PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN

PLAN GENERAL NOTES

PLAN KEYNOTES

- 1 PATCH AND REPAIR ALL WALLS. PREPARE ALL WALLS TO BE PRIMED AND PAINTED.
- 2 PATCH AND REPAIR EXISTING SLAB AND PREPARE TO RECEIVE NEW CARPET.
- 3 INSTALL NEW CEILING (ACT-1) THROUGHOUT ALL SPACES INDICATED WITHIN SCOPE OF WORK.
- 4 INSTALL NEW LED LIGHTING THROUGHOUT ALL SPACES INDICATED WITHIN SCOPE OF WORK.
- 5 PROVIDE NEW POWERDATA TO SUPPORT WORKSTATIONS (ONE CPU+ MONITOR PER STATION).
- 6 INSTALL NEW WALL BASE THROUGHOUT SCOPE OF WORK. USE STRAIGHT BASE AT CARPET (R8-1) AS SPECIFIED.
- 7 INSTALL NEW GWB AS REQUIRED. PREPARE FOR NEW PAINT.
- 8 PAINT ALL EXISTING WIREMOLD, OUTLETS.

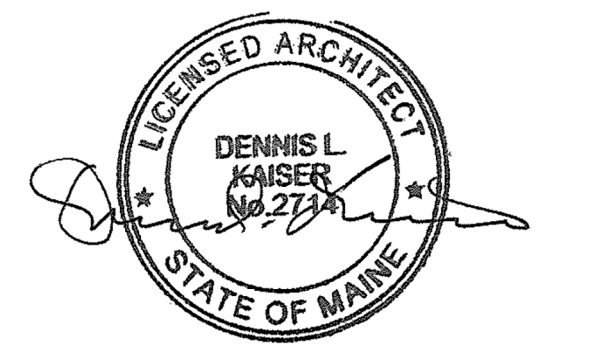
**MGB1 TRANSFER CENTER
RENOVATION**
22 Bramhall Street
Portland, Maine 04102

Maine Medical Center
MaineHealth

MAINE MEDICAL CENTER
22 Bramhall Street
Portland, Maine 04102

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NO.	ISSUE	DATE
Job Number		152191.001
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TITLE
**DEMOLITION AND
NEW WORK PLAN**

SHEET NUMBER
A10-10