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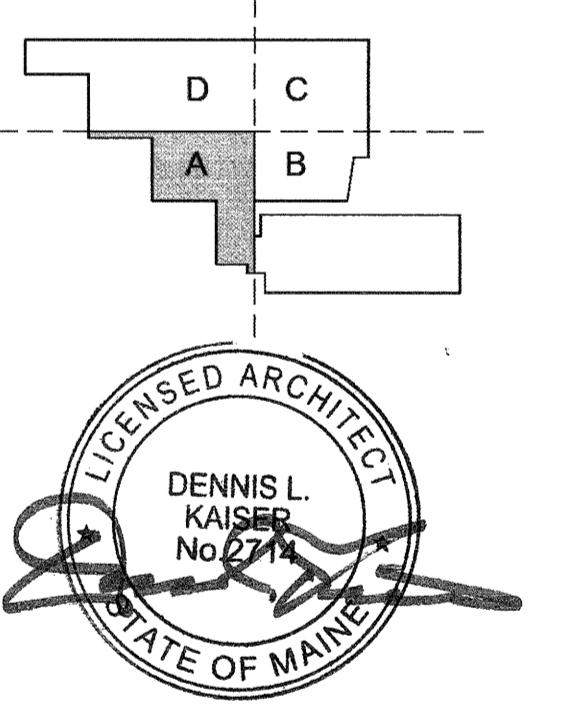
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**CONSTRUCTION
DOCUMENTS**



Revisions

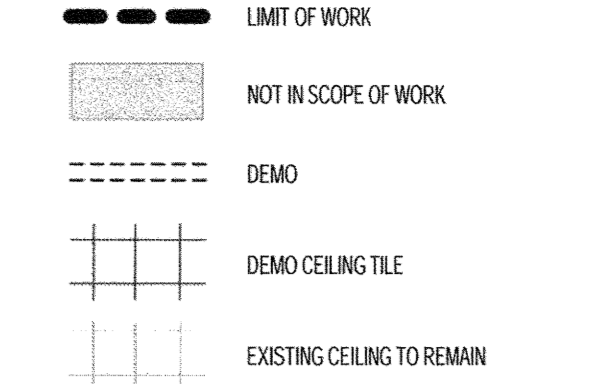
NO.	ISSUE	DATE

Sheet Information
Date: SEPTEMBER 10, 2013
Job #: C140135461 (MMC) 152168.000
Drawn: TH
Checked: DG
Approved: RA

Title
**LEVEL 02 AND
LEVEL 04 ROOF
DEMOLITION PLANS**

Sheet
A02-04

RCP DEMOLITION LEGEND



GENERAL DEMOLITION RCP NOTES

REFER TO DEMOLITION PLANS FOR ROOM LOCATIONS, SPECIFIC WALLS TO BE DEMOLISHED, AND ANY AFFECTED AREAS. GC TO COORDINATE AFFECTED AREAS WITH PROPOSED PLANS.

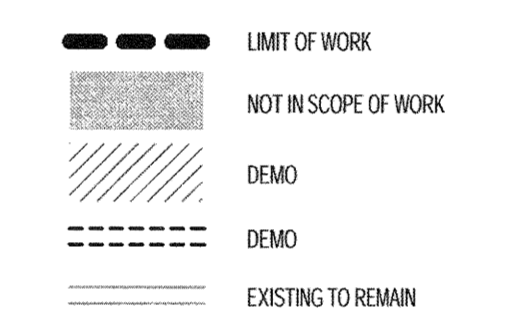
LIGHTING
REMOVE AND DISPOSE OF LIGHTING FIXTURES IN THE CEILING AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO ELECTRICAL, FASTENERS, HANGERS, FRAMING, TRACK, ELECTRICAL, HVAC, PLUMBING, FIRE PROTECTION ITEMS. COORDINATE WITH MEP AND FP DOCUMENTS.

MEP
REVIEW AND COORDINATE WITH MEP ENGINEERING TO LOCATE AND SAFEGUARD ALL EXISTING MEP ABOVE CEILING TO REMAIN. COORDINATE WITH MEP AND FP DOCUMENTS TO BE REMOVED, CUT, REDIRECTED, CAPPED, ETC., TYPICAL AS DESIGNATED.

DEMOLITION RCP KEYNOTES

- REMOVE AND DISPOSE OF ACoustic CEILING AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO FASTENERS, HANGERS, FRAMING, TRACK, ELECTRICAL, HVAC, PLUMBING, FIRE PROTECTION ITEMS. COORDINATE WITH MEP AND FP DOCUMENTS.
- REMOVE AND CEILING TILES AS REQUIRED TO DEMOLISH PARTITIONS. LIMIT SCOPE TO 4" OFF DEMOLISHED WALLS OR TO CLOSEST WHOLE CEILING TILE. PROVIDE NEW ANCHOR SUPPORT TO UNDERLIE OF DECK AS REQUIRED.
- REMOVE AND DISPOSE OF GYPSUM SOFFIT AND ALL ASSOCIATED MATERIAL INCLUDING BUT NOT LIMITED TO SHEATHING, FRAMING, SILLS, HEADS, BASE, ETC. TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF ARCHITECTURAL MILLWORK, SOFFIT AND ALL ASSOCIATED MATERIAL INCLUDING BUT NOT LIMITED TO SHEATHING, FRAMING, SILLS, HEADS, BASE, ETC. TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF GYPSUM CEILING AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO FASTENERS, HANGERS, FRAMING, TRACK, ELECTRICAL, HVAC, PLUMBING, FIRE PROTECTION ITEMS. COORDINATE WITH MEP AND FP DOCUMENTS.
- EXISTING SOFFIT TO REMAIN.
- REMOVE EXISTING CURTAIN WALL, ROOFING & ASSOCIATED MATERIAL.

DEMOLITION LEGEND



GENERAL DEMOLITION NOTES

RATED WALLS AND EGRESS
EXISTING TO REMAIN FIRE RATED EGRESS STAIR. MAINTAIN SAFE ACCESS THROUGH FROM FLOOR TO FLOOR. EXISTING TO REMAIN FIRE RATED SHAFT. MAINTAIN FIRE RATING THROUGHOUT CONSTRUCTION. U.O.A.

STRUCTURAL STEEL
EXISTING TO REMAIN STRUCTURAL STEEL AND FIRE PROOFING. PROTECT ALL EXPOSED STRUCTURAL STEEL AND FIRE PROOFING DURING CONSTRUCTION. TYPICAL U.O.A.

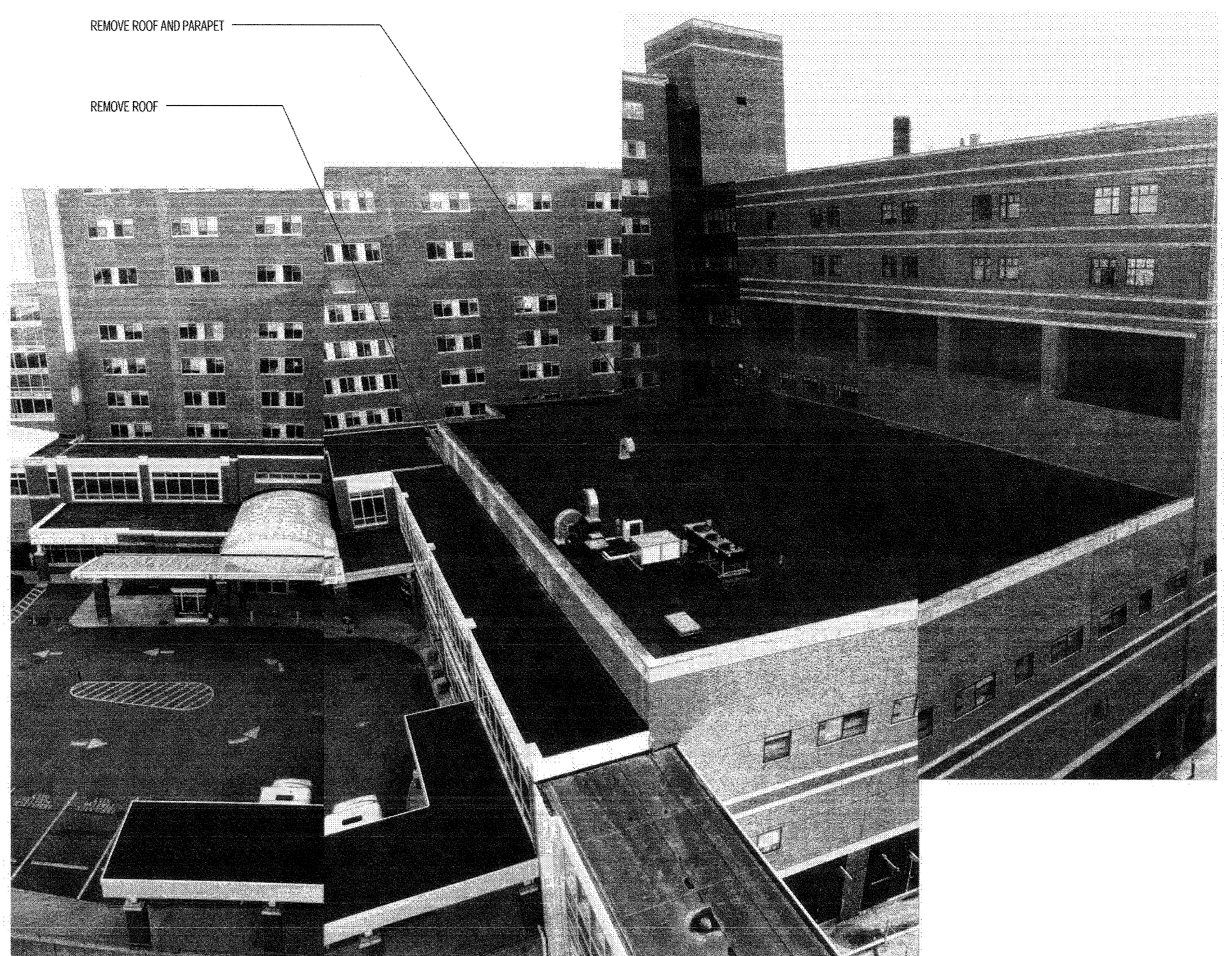
MEP
REVIEW AND COORDINATE WITH MEP ENGINEERING TO LOCATE AND SAFEGUARD ALL EXISTING MEP TO REMAIN DURING DEMOLITION. COORDINATE WITH MEP AND FP DOCUMENTS TO BE REMOVED, CUT, REDIRECTED, CAPPED, ETC., TYPICAL AS DESIGNATED. U.O.A.

DOORS
REVIEW AND COORDINATE WITH OWNER OF THE SCOPE OF SALVAGE AND REUSE OF DOORS. U.O.A.

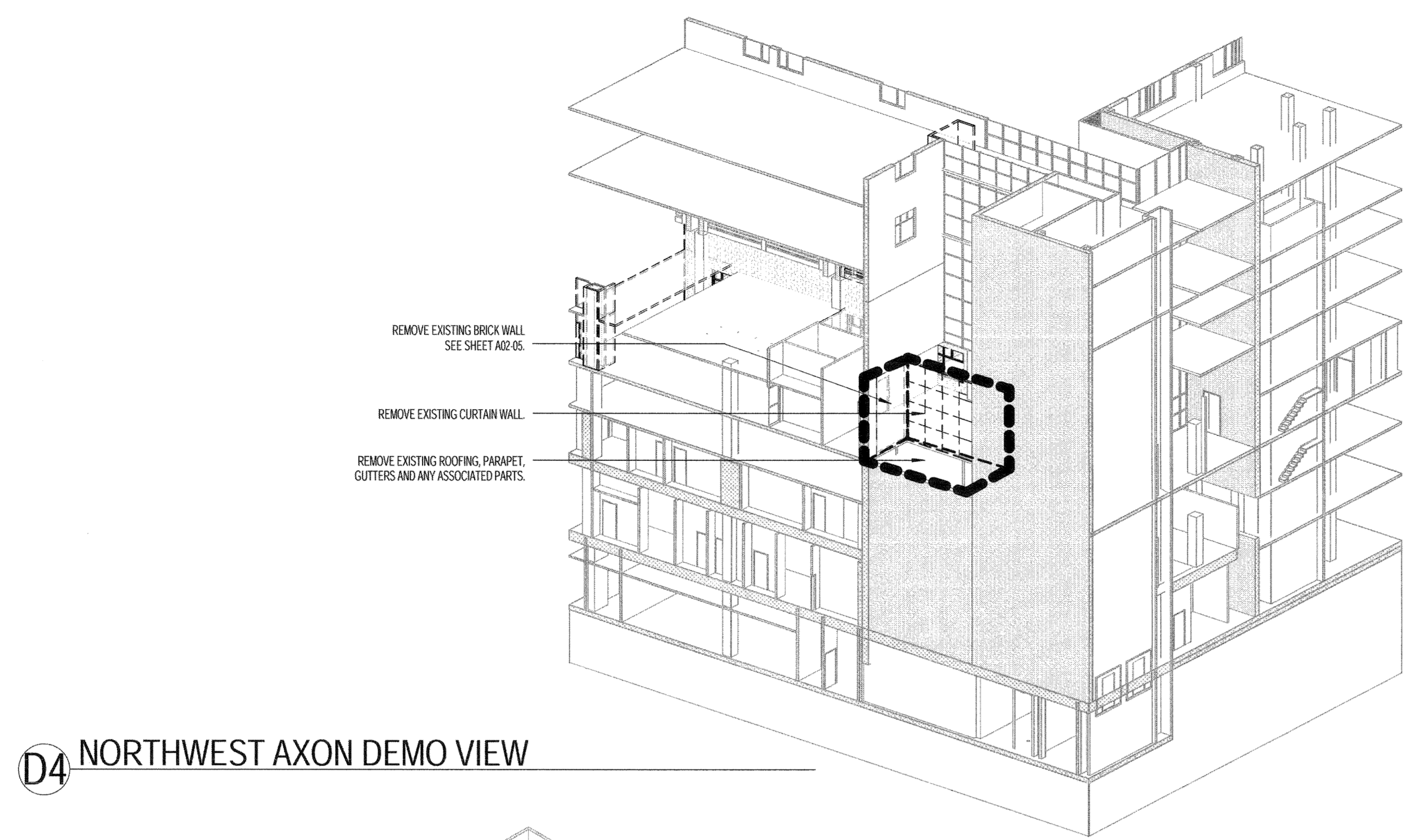
CONCRETE SLAB
PREPARATION OF EXISTING SLAB TO INCLUDE SANDING, GRINDING, AND LEVELING AS REQUIRED FOR PROPER INSTALLATION OF NEW FLOOR FINISHES. TYPICAL AT ALL FLOOR LOCATIONS. TYPICAL AS DESIGNATED.

DEMOLITION KEYNOTES

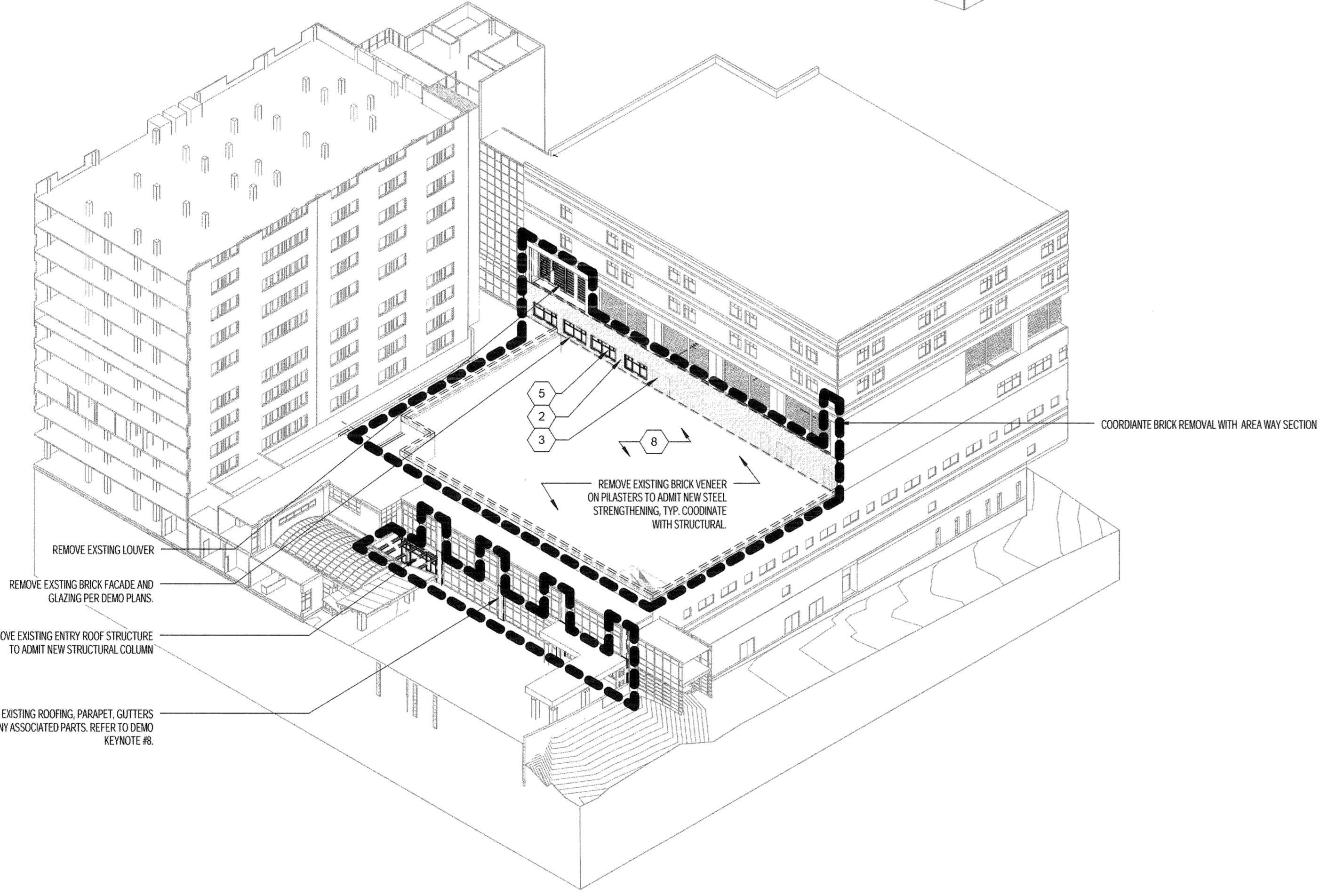
- EXISTING TO REMAIN FIRE RATED EGRESS STAIR. MAINTAIN SAFE ACCESS THROUGH FROM FLOOR TO FLOOR. EXISTING TO REMAIN FIRE RATED SHAFT. MAINTAIN FIRE RATING THROUGHOUT CONSTRUCTION. TYP AS DESIG. U.O.A.
- EXISTING TO REMAIN STRUCTURAL STEEL AND FIRE PROOFING. PROTECT ALL EXPOSED STRUCTURAL STEEL AND FIRE PROOFING DURING CONSTRUCTION. TYPICAL.
- REMOVE AND DISPOSE OF PARTITION WALL AND ALL ASSOCIATED MATERIAL INCLUDING BUT NOT LIMITED TO SHEATHING, FRAMING, SILLS, HEADS, BASE, ETC. TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF DOOR, FRAME, GLAZING, AND ALL ASSOCIATED MATERIAL INCLUDING THRESHOLDS, CORNER GUARDS, CARD READERS, TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF WINDOW FRAME, GLAZING, CURTAIN WALL AND ALL ASSOCIATED MATERIAL INCLUDING FASTENERS, CLIPS, ETC. TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF FLOORING AND ALL ASSOCIATED MATERIALS SUCH AS MASTICS, GLUES, AND OTHER ADHESIVES. REMOVE AND DISPOSE OF PARTITION AND ALL WALL TILE, FLOOR TILE, COVE BASE. TYPICAL AS DESIGNATED. CUT TO COORDINATE THE PREPARATION OF EXISTING SLAB TO INCLUDE SANDING, GRINDING, AND LEVELING AS REQUIRED FOR PROPER INSTALLATION OF NEW FLOOR FINISHES. TYPICAL AT ALL FLOOR LOCATIONS. TYPICAL AS DESIGNATED.
- REMOVE AND DISPOSE OF ALL BATHROOM CASEWORK, CABINETS, SINKS, FIXTURES, AND ALL ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO STANDARDS, COUNTERTOPS, ACCESSORIES, ETC. TYPICAL AS DESIGNATED. COORDINATE WITH MEP FOR ALL EXISTING WATER, AND DRAIN SHUT OFFS. COORDINATE WITH OWNER FOR ANY SALVAGE OF THESE ITEMS.
- REMOVE AND DISPOSE OF ALL ROOFING AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO RUBBER ROOF SYSTEMS, INSULATION, GUTTERS, PARAPETS, DOWN LEADERS, DRAINING, ETC. TYPICAL AS DESIGNATED. COORDINATE WITH PLUMBING ENGINEER FOR DRAIN DEMOLITION.
- REMOVE AND DISPOSE OF ALL BRICK VENEER AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO BRICK VENEER, CLIPS, FASTENERS, SHEATHING, AIR & MOISTURE BARRIERS, ETC. TYPICAL AS DESIGNATED. COORDINATE WITH STRUCTURAL ENGINEER FOR DEMOLITION.
- REMOVE AND DISPOSE OF ALL CEILING SYSTEMS AND ASSOCIATED PARTS INCLUDING BUT NOT LIMITED TO AC, FRAMING, CLIPS, FASTENERS, GORE INSULATION, LIGHTING FIXTURES, ETC. TYPICAL AS DESIGNATED. COORDINATE WITH OWNER FOR SALVAGE OF THESE ITEMS.
- SALVAGE EXISTING PATENT BELONGING LOCKERS. COORDINATE WITH OWNER FOR EXACT LOCATION OF REINSTALLATION.



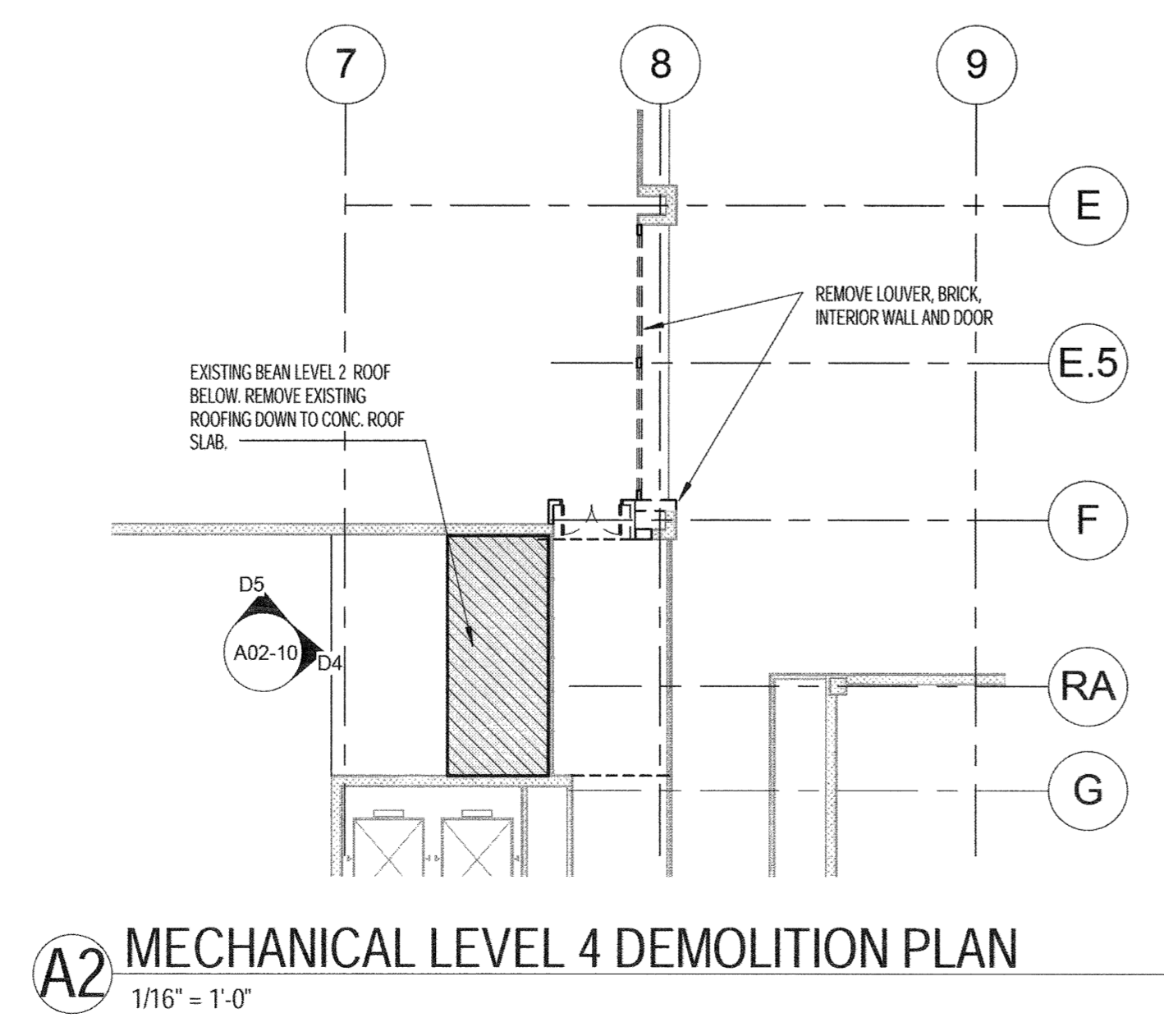
D2 IMAGE 1 - VIEW OF EXISTING BEAN ROOF
NOT TO SCALE



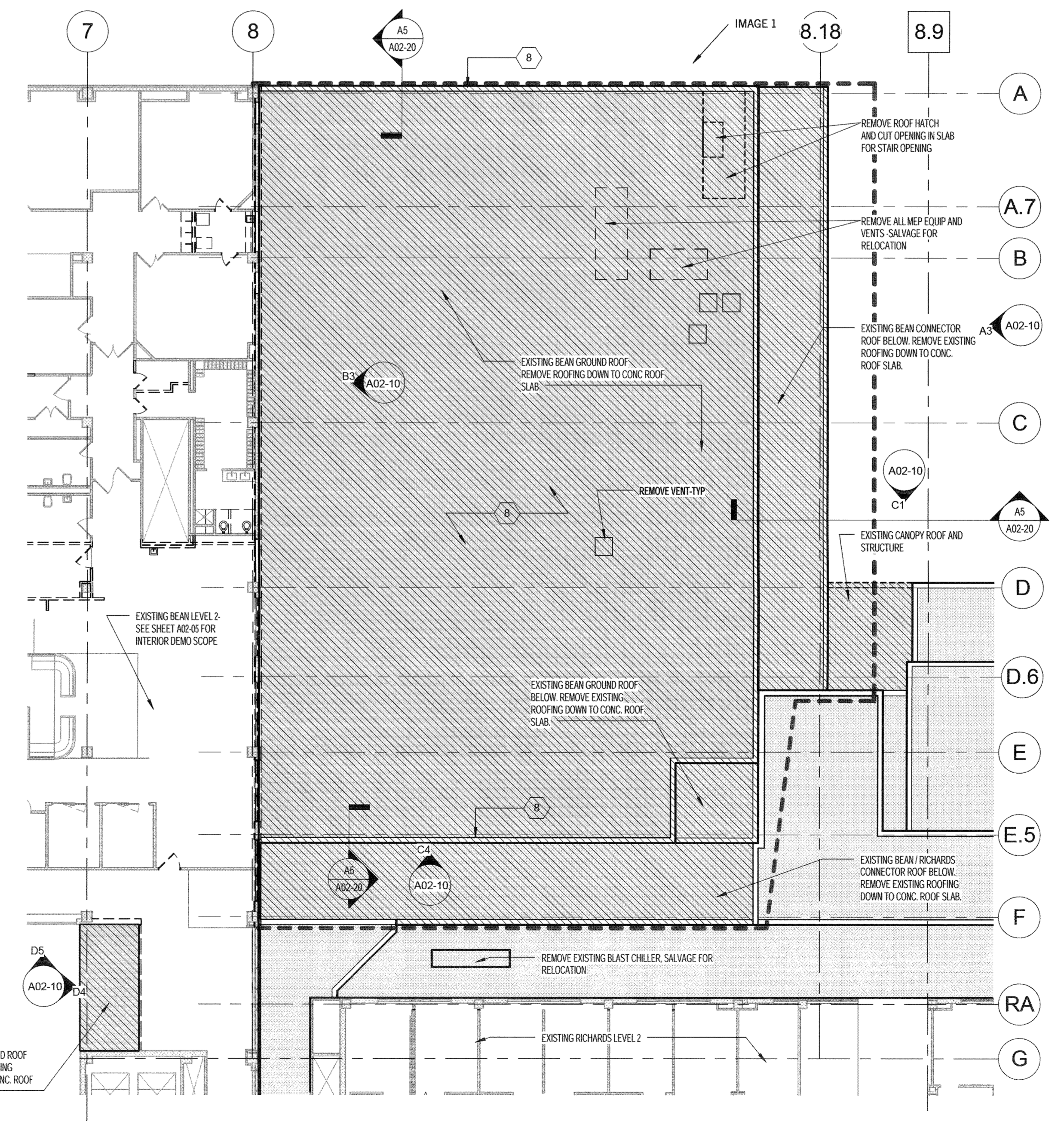
D4 NORTHWEST AXON DEMO VIEW



B4 SOUTHEAST AXON DEMO VIEW



A2 MECHANICAL LEVEL 4 DEMOLITION PLAN
1/16" = 1'-0"



A1 LEVEL 2 ROOF DEMOLITION PLAN
1/16" = 1'-0"

