



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: <u>22 BRANHAM ST</u>		
Total Square Footage of Proposed Structure: <u>Existing Structure</u>		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant Name: <u>Langford & Low Inc</u> Address: <u>P.O. Box 662</u> City, State & Zip: <u>PORTLAND ME 04104</u>	Telephone: <u>(207) 7975141</u> Email: <u>gdoughty@langfordandlow.com</u>
Lessee/Owner Name : (if different than applicant) <u>MAINE MEDICAL CENTER</u> Address: <u>22 BRANHAM ST.</u> City, State & Zip: <u>PORTLAND ME. 04101</u> Telephone & E-mail:	Contractor Name: (if different from Applicant) Address: <u>SAME AS ABOVE</u> City, State & Zip: Telephone & E-mail:	Cost Of Work: <u>\$ 899,000</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u>MRI ROOM RENOVATION</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>MRI ROOM</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description:		
Who should we contact when the permit is ready: <u>LANGFORD AND LOW INC</u>		
Address: <u>248 WARREN AVE PORTLAND ME 04103 (P.O. Box 662 PORTLAND ME 04104)</u>		
City, State & Zip:		
E-mail Address: <u>gdoughty@langfordandlow.com</u>		
Telephone:		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: James J. Ellwood Estimator Date: SEPT 24, 2013

This is not a permit; you may not commence ANY work until the permit is issued.



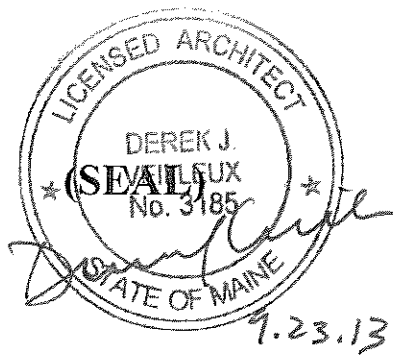
Certificate of Design

Date: 9.23.13

From: DEREK J. VEILLEUX, SMRT INC.

These plans and / or specifications covering construction work on:
MAINE MEDICAL CENTER MRI #1 REPLACEMENT AND
READING ROOM RENOVATIONS.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.



Signature: Derek Veilleux

Title: ARCHITECT

Firm: SMRT INC.

Address: PO BOX 618

PORTLAND, ME 04104

Phone: 772.3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: DEREK J. VEILLEUX, SMART INC.
 Date: 9.23.13
 Job Name: MAINE MEDICAL CENTER MRI #1 REPLACEMENT & READING ROOM RENOV.
 Address of Construction: _____

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year EXG STRUCTURE / IBC 2009 Use Group Classification (s) I-2, NO CHANGE IN USE
 Type of Construction EXISTING
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) —
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

N/A, EXG. STRUCT. Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
Uniformly distributed floor live loads (7603.11, 1807)	<u>(N/A, EXISTING STRUCTURE)</u>

Wind loads (1603.1.4, 1609)

- NA Design option utilized (1609.1.1, 1609.6)
- Basic wind speed (1809.3)
- Building category and wind importance Factor, I_w (Table 1604.5, 1609.5)
- Wind exposure category (1609.4)
- Internal pressure coefficient (ASCE 7)
- Component and cladding pressures (1609.1.1, 1609.6.2.2)
- Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- NA Design option utilized (1614.1)
- Seismic use group ("Category")
- Spectral response coefficients, S_x & S_D1 (1615.1)
- Site class (1615.1.5)

- NA Live load reduction
- NA Roof live loads (1603.1.2, 1607.11)
- NA Roof snow loads (1603.7.3, 1608)
- Ground snow load, P_g (1608.2)
- If $P_g > 10$ psf, flat-roof snow load P_f
- If $P_g > 10$ psf, snow exposure factor, C_e
- If $P_g > 10$ psf, snow load importance factor, I_s
- Roof thermal factor, C_t (1608.4)
- Sloped roof snowload, P_s (1608.4)
- Seismic design category (1616.3)
- Basic seismic force resisting system (1617.6.2)
- Response modification coefficient, R_d and deflection amplification factor, C_d (1617.6.2)
- Analysis procedure (1616.6, 1617.5)
- Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- NA Flood hazard area (1612.3)
- NA Elevation of structure

Other loads

- NA Concentrated loads (1607.4)
- Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



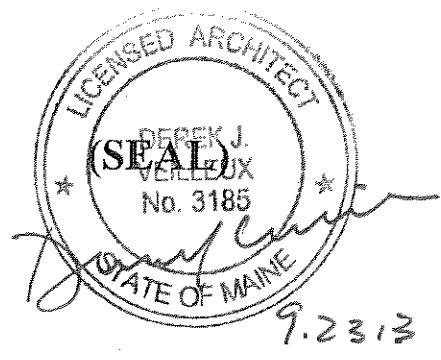
Accessibility Building Code Certificate

Designer: DEREK J. VEILLEUX, SMRT INC.

Address of Project: 22 BRAMHALL ST.

Nature of Project: MRI REPLACEMENT & RECONFIGURATION
OF EXISTING READING ROOM SPACE,
NO TOILETS, STAFF & TREATMENT SPACE
ONLY.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Derek J. Veilleux

Title: ARCHITECT

Firm: SMRT INC.

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Phone: 772.3846

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