# RENOVATIONS TO PAVILLION C-D 3rd FLOOR

A.C.E. UNIT

MAINE MEDICAL CENTER
PORTLAND, MAINE

PERMIT SET
DECEMBER 11, 2006

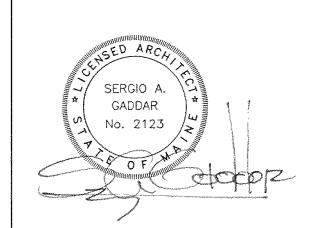
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			06.12.06	12.04.06	12.11.06
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					G TABLE



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Renovations to
Pavillion C-D 3rd Floor
A.C.E. Unit

Maine Medical Center
22 Bramhall Street
Portland, ME 04102



MMC Project No. Scale: Project Number:

Project Numb

Date:

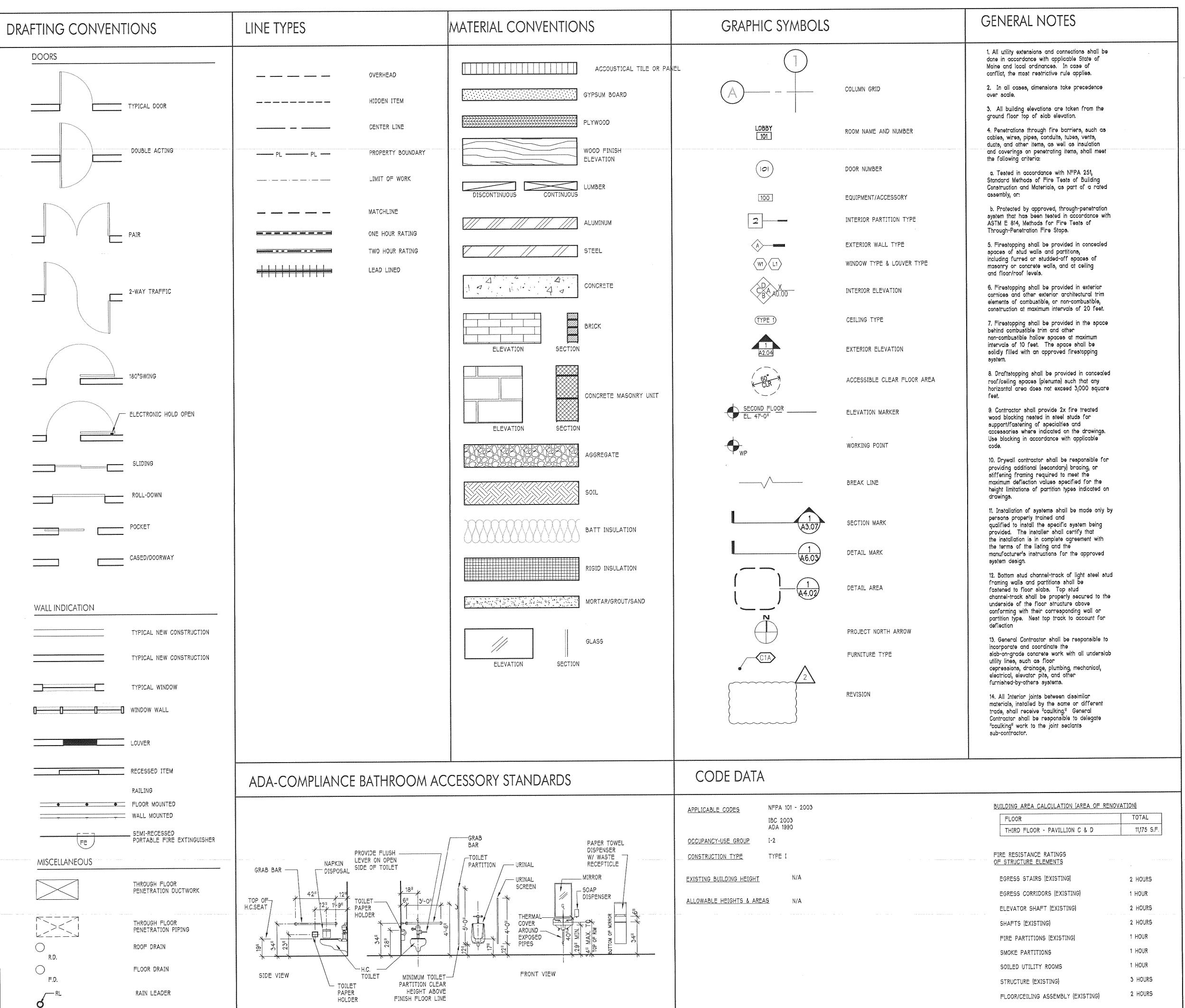
Revisions:

12/11/06

N.T.S.

04-P174

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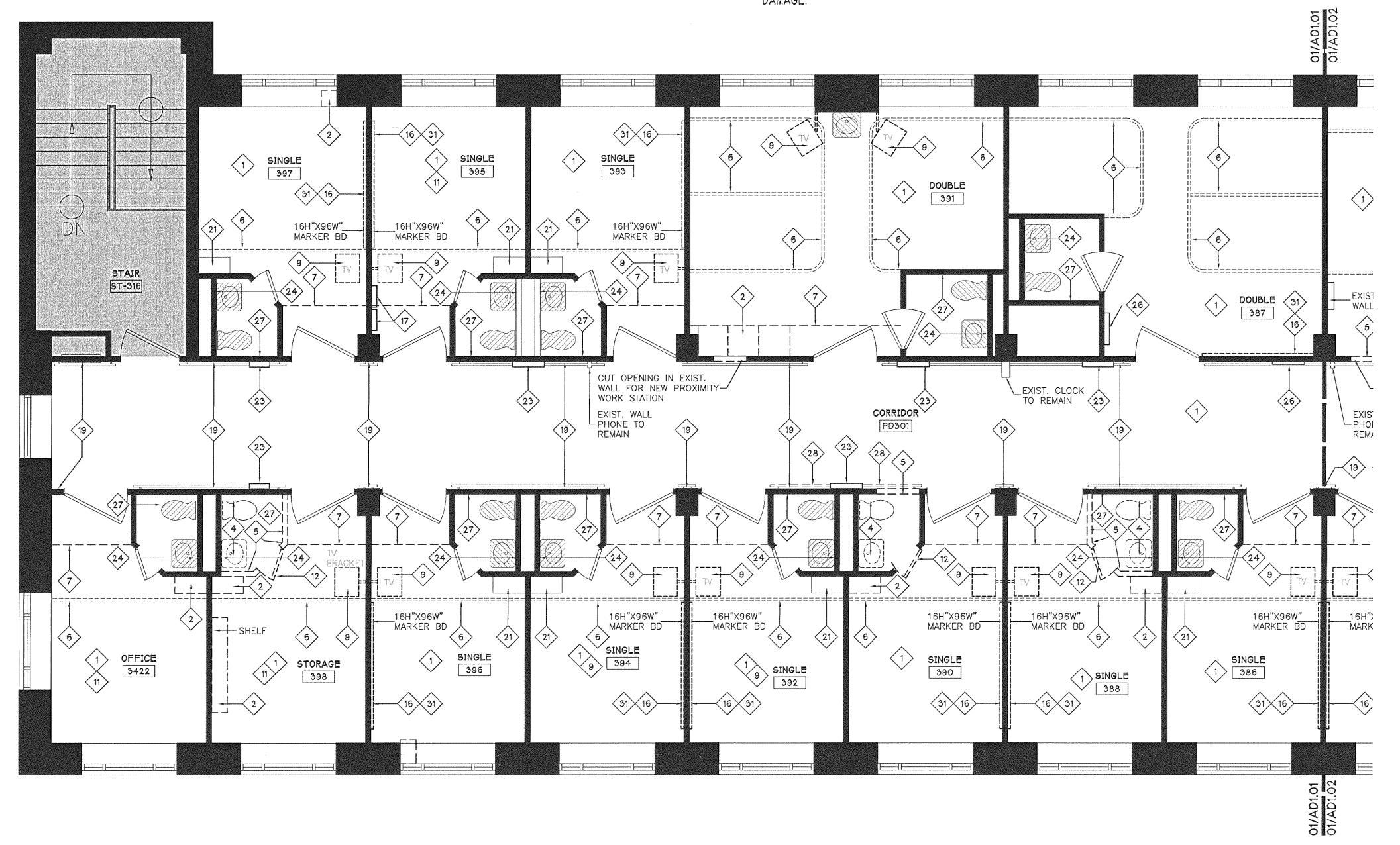
MMC Project No. 26006
Scale: N.T.S.
Project Number: 04-P174
Date: 12/11/06

Revisions:

PERMIT SET

## DEMOLITION PLAN NOTES:

- 1. REMOVE CONCRETE BASE CURBS AT ALL PUBLIC CORRIDORS. PD301, PC301, PC302 & PC303
- 2. REMOVE ALL WALL MOUNTED ITEMS FROM PUBLIC CORRIDORS (PD301, PC301, PC302 & PC303) AND SALVAGE FOR RE-USE BY OWNER. RE-INSTALL WALL MOUNTED ITEMS PER OWNERS APPROVED LOCATIONS,
- 3. REMOVE EXISTING HD. WD. CRASH RAILS AS INDICATED ON DRAWINGS AND SALVAGE FOR RE-INSTALLATION BY CONTRACTOR. CUT EXISTING HD. WD. RAILS TO ACCOMODATE NEW LAYOUT AND RE-FINISH TO MATCH EXISTING.
- 4. REMOVE EXISTING CURTAIN TRACK AND SALVAGE FOR RE-INSTALLATION BY CONTRACTOR AT ORIGINAL LOCATIONS.
- 5. EXISTING WALL MOUNTED NURSE CALL DEVICES ARE TO REMAIN.
- 6. PROTECT ALL WALL MOUNTED ITEMS THAT ARE NOT REMOVED FROM DUST OR DAMAGE.
- 7. REMOVE EXISTING WALL MOUNTED FIRE PROTECTION DEVICES AS REQUIRED. SALVAGE FOR RE-INSTALLATION BY CONTRACTOR. PROTECT REMAINING WALL MOUNTED ITEMS FROM DUST OR DAMAGE.



PARTIAL ENLARGED DEMOLITION PLAN - PAVILLION D

### **DEMOLITION KEY NOTES**

- REMOVE EXISTING FLOORING, BASE AND ADHESIVE OR GROUT, PREPARE EXISTING
- FLOOR SLAB TO RECEIVE NEW FLOORING. REMOVE EXISTING COUNTERTOP, CABINETS AND 2 SHELVING. REFER TO PLUMBING DESIGN BUILD
- DWGS FOR ANY REQ'D PIPING DEMOLITION. REMOVE EXISTING ACT CEILING. REFER TO 3 DESIGN BUILD MECH., ELEC. AND PLUMBING DWGS FOR HVAC, WIRING AND SPRINKLER
- DEMOLITION. LIGHT FIXTURES TO BE SALVAGED FOR OWNER. REMOVE EXISTING PLUMBING FIXTURES, REFER
  TO DESIGN BUILD PLUMBING DRAWINGS FOR
- PIPING DEMOLITION. REMOVE SECTION OF EXISTING INTERIOR WALL 5 TO EXTENT INDICATED. SHORE AS REQ'D PRIOR TO DEMOLITION.
- REMOVE EXISTING CEILING CURTAIN TRACK. 6 SALVAGE FOR RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR.
- 7 REMOVE EXISTING ACT SOFFIT.
- REMOVE EXISTING INTERIOR WINDOW.
- 9 REMOVE EXISTING TELEVISION AND MOUNTING BRACKET
- REMOVE EXISTING VIDEO CASSETTE RECORDER AND SHELF.
- IN THESE ROOMS, REMOVE EXISTING LIGHT

  11 FIXTURES AND ACT CEILING. SALVAGE LIGHT FIXTURES FOR RE-USE BY OWNER,
- REMOVE EXISTING DOOR, FRAME AND HARDWARE.

  SALVAGE FOR RE-USE BY OWNER OR
  RE-INSTALLATION BY CONTRACTOR.
- (13) REMOVE EXISTING CASED OPENING FRAME.
- REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN.
- (15) REMOVE EXISTING LOCKERS.
- REMOVE EXISTING MARKER BOARD. PREPARE WALL FOR NEW FINISHES.
- REMOVE EXISTING TACK OR BULLETIN BOARD. SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION BY CONTRACTOR AT OWNER APPROVED LOCATIONS.
- REMOVE EXISTING PASS-THRU, SALVAGE FOR REUSE BY OWNER
- 19 REMOVE EXISTING CONCRETE BASE CURB.
  PREPARE FLOOR & WALL FOR NEW FINISHES.
- IN THESE ROOMS, REMOVE EXISTING CHART
  20 RACK, SHARPS CONTAINER AND GLOVE BOXES.
- ✓ SALVAGE FOR RE-USE BY OWNER. (21) EXISTING CABINET OR SHELVING TO REMAIN.
- REMOVE EXISTING STAINLESS STEEL COUNTER, CABINETS AND SHELVING.
- REMOVE EXISTING CHARTING STATION.
- <23> SALVAGE FOR RE-INSTALLATION BY CONTRACTOR AT OWNER APPROVED LOCATION. REMOVE EXISTING VANITY LIGHT FIXTURE AND
- VANITY MIRROR REFER TO DESIGN BUILD ELECTRICAL DRAWINGS FOR WIRING DEMOLITION. REMOVE EXISTING CERAMIC WALL TILE.
- (25) PREPARE EXISTING WALL TO RECEIVE NEW REMOVE EXISTING DISPLAY CASE, SALVAGE
- FOR RE-USE BY OWNER OR RE-INSTALLATION
  BY CONTRACTOR AT OWNER APPROVED REMOVE EXIST APPLIANCES. SALVAGE FOR
- 26 RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR. REFER TO DESIGN BUILD PLUMBING & ELECTRICAL DRAWINGS FOR PIPING & WIRING DEMOLITION. REMOVE EXISTING BEDPAN RACK, TOILET
- REPAIR WALL & PREPARE FOR NEW FINISH. REMOVE EXISTING HD. WD. CRASH RAIL. (28) SALVAGE FOR RE-INSTALLATION BY

CONTRACTOR.

(27) PAPER DISPENSER, & GRAB BAR. PATCH/

- REMOVE EXISTING SHELVING OR STORAGE. 29 SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION BY CONTRACTOR.
- IN THIS ROOM REMOVE ALL WALL MOUNTED ITEMS AND PREPARE WALL FOR NEW FINISHES.
- REMOVE EXISTING WALL MOUNTED CLOCK. SALVAGE FOR RE-USE BY OWNER.
- REMOVE EXISTING SURFACE MOUNTED LIGHT (32) FIXTURES. REFER TO ELEC. DRAWINGS FOR WIRING DEMOLITION.
- (33) REMOVE EXISTING CORNER GUARD

## GENERAL NOTES

. ALL DEMOLITION OPERATIONS MUST BE COORDINATED WITH OWNER & PROJECT

NATIONAL SAFETY CODES.

- . ALL DEMOLITION WORK SHALL CONFORM TO ALL APLICABLE LOCAL, STATE, AND
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE RATEDASSEMBLIES TO REMAIN. PATCH/REPAIR ALL DAMAGED ASSEMBLIES TO MATCH EXISITING.
- PROTECT ALL EXISTING FINISHES, MILLWORK ANDCONSTRUCTION TO
- BEFORE STARTING WORK, THE CONTRACTOR SHALLVERIFY EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL PREPARE A LIST OF EXISTING DAMAGED AREAS, DOCUMENTED BY DATED PHOTOGRAPHS AND SIGNED BY THE PERSON CONDUCTING THE INVESTIGATION, PRESENT TO OWNER FOR VERIFICATION PRIOR TO STARTING DEMOLITION,
- CONTRACTOR SHALL COORDINATE DEMOLITION OPERATIONS WITH THE OWNER, AND PROCURE PRIOR APPROVAL FOR ALL DEMOLITION PROCEDURES. INCLUDING USE OF BUILDING FACILITIES, PLACEMENT OF DUMPSTERS, REFUSE REMOVAL, AND
- B. CONTRACTOR SHALL COORDINATE REMOVAL AND STORAGE OF ALL SALVAGED ITEMS WITH THE OWNER.
- PROTECT AND MAINTAIN THE OPERATION OF ANY EXISTING SYSTEMS TO REMAIN FUNCTIONAL DURING THE PROJECT. PROCURE PRIOR APPROVAL FROM THE OWNER FOR ANY SHUTDOWNS REQUIRED
- . CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS BEFORE DEMOLITION BEGINS. PROVIDE TEMPORARY OR PERMANENT STRUCTURE AS REQUIRED.
- MISC. EQUIPMENT OR FURNISHINGS SHALL BE STORED OR REMOVED AT THE DISCRETION OF THE OWNER.
- . REPAIR & PREPARE EXISTING WALLS. FLOORS AND CEILINGS TO RECEIVE NEW FINISHES AS INDICATED.
- WHERE PLUMBING FIXTURES ARE REMOVED, EXISTING PIPING SHALL BE CAPPED OR REMOVED. REFER TO PLUMBING DRAWINGS FOR DEMO OF
- WHERE ELECTRICAL FIXTURES ARE REMOVED, EXISTING WIRING SHALL BE REMOVED BACK TO ELECT. BOX. REFER TO ELECTRICAL DRAWINGS FOR DEMO OF WIRING/FIXTURES.
- I. ITEMS TO BE SALVAGED FOR RE-USE BY OWNER:
- CABINETS & COUNTERS SHELVING & STANDARDS SLIDING PANELS & FRAMES DOORS, FRAMES & DOOR HARDWARE WALL COVERINGS ROLLING FILES CEILING GRID & TILES
- FIRE EXTINGUISHERS SMOKE DETECTORS CONTRACTOR TO REMOVE AND SAVE ALL WALL COVERINGS FROM EXISTING PARTITION TO REMAIN AND EXISTING

EMERGENCY LIGHTING

LIGHTING

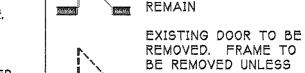
CONTRACTOR TO PROTECT AREAS TO REMAIN OPERATIONAL FROM DUST AND DEBRIS. CONTRACTOR RESPONSIBLE FOR MAINTAINING AND CLEANING ANY AREAS EXPOSED TO DUST OR DEBRIS FROM DEMOLITION ACTIVITIES.

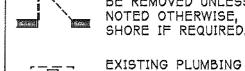
PARTITIONS TO BE REMOVED FOR RE-

USE ON NEW & EXISTING PARTITIONS

# EGEND EXISTING WALL TO REMAIN

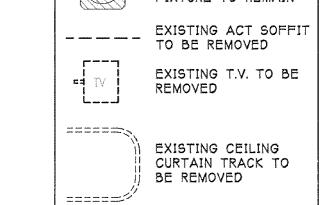
===== EXISTING WALL TO BE REMOVED EXISTING DOOR TO





FIXTURE AND PIPING TO BE REMOVED V== 5

FIXTURE TO REMAIN \_ \_\_ \_\_ \_\_



EXISTING PLUMBING

ARCHITECTS

INTERIORS

PLANNERS

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MMC Project No. 26006 Scale: 1/4" = 1'-0" 04-P174 Project Number:

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Revisions:

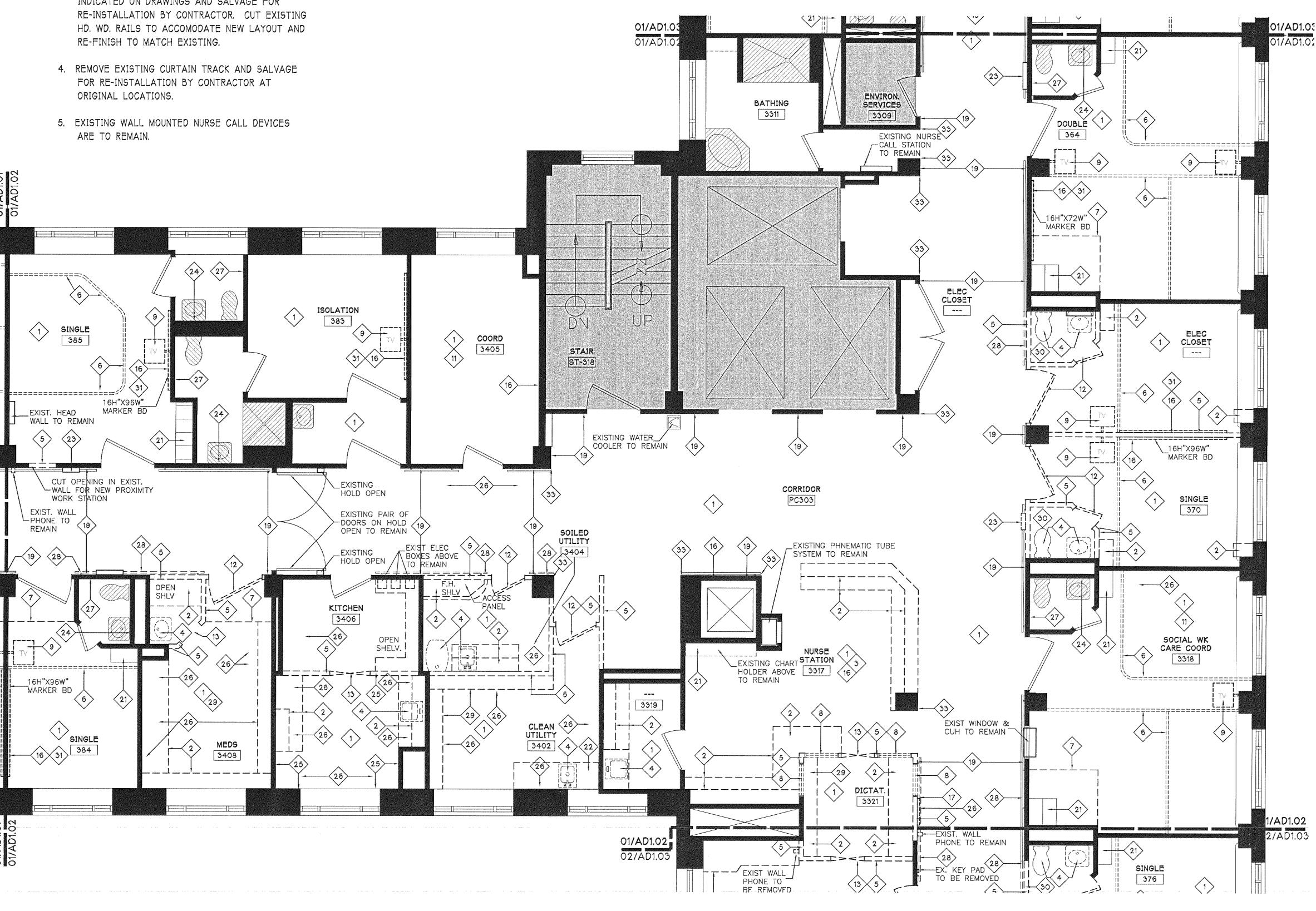
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- 3. REMOVE EXISTING HD. WD. CRASH RAILS AS INDICATED ON DRAWINGS AND SALVAGE FOR

PARTIAL ENLARGED DEMOLITION PLAN - PAVILLION D & C

- 6. PROTECT ALL WALL MOUNTED ITEMS THAT ARE NOT REMOVED FROM DUST OR DAMAGE.
- 7. REMOVE EXISTING WALL MOUNTED FIRE PROTECTION DEVICES AS REQUIRED. SALVAGE FOR RE-INSTALLATION BY CONTRACTOR, PROTECT REMAINING WALL MOUNTED ITEMS FROM DUST OR DAMAGE.



- **DEMOLITION KEY NOTES**
- > ADHESIVE OR GROUT, PREPARE EXISTING
- FLOOR SLAB TO RECEIVE NEW FLOORING.
- DWGS FOR ANY REQ'D PIPING DEMOLITION, REMOVE EXISTING ACT CEILING. REFER TO
- 3 DESIGN BUILD MECH., ELEC. AND PLUMBING DWGS FOR HVAC, WIRING AND SPRINKLER DEMOLITION. LIGHT FIXTURES TO BE SALVAGED FOR OWNER.
- REMOVE EXISTING PLUMBING FIXTURES, REFER PIPING DEMOLITION,
- PRIOR TO DEMOLITION.
- SALVAGE FOR RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR.
- REMOVE EXISTING ACT SOFFIT.
- 8 REMOVE EXISTING INTERIOR WINDOW.
- 9 REMOVE EXISTING TELEVISION AND MOUNTING BRACKET
- IN THESE ROOMS, REMOVE EXISTING LIGHT IN THESE ROUMS, REMOVE EXISTING LIGHT

  11 FIXTURES AND ACT CEILING. SALVAGE LIGHT
- REMOVE EXISTING DOOR, FRAME AND HARDWARE 12 SALVAGE FOR RE-USE BY OWNER OR
- (13) REMOVE EXISTING CASED OPENING FRAME.

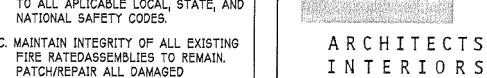
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- REMOVE EXISTING PASS-THRU, SALVAGE FOR REUSE BY OWNER
- PREPARE FLOOR & WALL FOR NEW FINISHES
- 21 EXISTING CABINET OR SHELVING TO REMAIN.
- REMOVE EXISTING STAINLES CABINETS AND SHELVING. REMOVE EXISTING STAINLESS STEEL COUNTER.
- (23) SALVAGE FOR RE-INSTALLATION BY
- REMOVE EXISTING DISPLAY CASE. SALVAGE
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- CONTRACTOR, REFER TO DESIGN BUILD PLUMBING & ELECTRICAL DRAWINGS FOR PIPING & WIRING DEMOLITION.
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- REMOVE EXISTING SURFACE MOUNTED LIGHT
- 33 REMOVE EXISTING CORNER GUARD

- **GENERAL NOTES**
- REMOVE EXISTING FLOORING, BASE AND
- REMOVE EXISTING COUNTERTOP, CABINETS AND 2 SHELVING. REFER TO PLUMBING DESIGN BUILD
- 4 TO DESIGN BUILD PLUMBING DRAWINGS FOR
- REMOVE SECTION OF EXISTING INTERIOR WALL 5 TO EXTENT INDICATED, SHORE AS REQ'D
- REMOVE EXISTING CEILING CURTAIN TRACK.

- REMOVE EXISTING VIDEO CASSETTE RECORDER AND SHELF.
- FIXTURES FOR RE-USE BY OWNER.
- RE-INSTALLATION BY CONTRACTOR,
- REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN.
- 15 REMOVE EXISTING LOCKERS.
- REMOVE EXISTING MARKER BOARD. PREPARE WALL FOR NEW FINISHES.

- 19 REMOVE EXISTING CONCRETE BASE CURB.
- IN THESE ROOMS, REMOVE EXISTING CHART RACK, SHARPS CONTAINER AND GLOVE BOXES.
- SALVAGE FOR RE-USE BY OWNER.
- REMOVE EXISTING CHARTING STATION.
- CONTRACTOR AT OWNER APPROVED LOCATION.
- REMOVE EXISTING VANITY LIGHT FIXTURE AND VANITY MIRROR. REFER TO DESIGN BUILD ELECTRICAL DRAWINGS FOR WIRING DEMOLITION.
- REMOVE EXISTING CERAMIC WALL TILE, (25) PREPARE EXISTING WALL TO RECEIVE NEW
- FOR RE-USE BY OWNER OR RE-INSTALLATION
  BY CONTRACTOR AT OWNER APPROVED
- RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR, REFER TO DESIGN BUILD
- REPAIR WALL & PREPARE FOR NEW FINISH.
- REMOVE EXISTING SHELVING OR STORAGE. <29 SALVAGE FOR RE-USE BY OWNER OR
- IN THIS ROOM REMOVE ALL WALL MOUNTED ITEMS AND PREPARE WALL FOR NEW EINIGHTS
- REMOVE EXISTING WALL MOUNTED CLOCK. SALVAGE FOR RE-USE BY OWNER.
- 32> FIXTURES. REFER TO ELEC. DRAWINGS FOR WIRING DEMOLITION.

A, ALL DEMOLITION OPERATIONS MUST BE COORDINATED WITH OWNER & PROJECT . ALL DEMOLITION WORK SHALL CONFORM TO ALL APLICABLE LOCAL, STATE, AND



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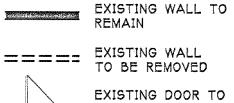
- ASSEMBLIES TO MATCH EXISITING. . PROTECT ALL EXISTING FINISHES, MILLWORK ANDCONSTRUCTION TO
- BEFORE STARTING WORK, THE CONTRACTOR SHALLVERIFY EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL PREPARE A LIST OF EXISTING DAMAGED AREAS, DOCUMENTED BY DATED PHOTOGRAPHS AND SIGNED BY THE PERSON CONDUCTING THE INVESTIGATION, PRESENT TO OWNER FOR VERIFICATION PRIOR TO STARTING DEMOLITION.
- F. CONTRACTOR SHALL COORDINATE DEMOLITION OPERATIONS WITH THE OWNER, AND PROCURE PRIOR APPROVAL FOR ALL DEMOLITION PROCEDURES. INCLUDING USE OF BUILDING FACILITIES, PLACEMENT OF DUMPSTERS, REFUSE REMOVAL, AND PHASING.
- G. CONTRACTOR SHALL COORDINATE REMOVAL AND STORAGE OF ALL SALVAGED ITEMS WITH THE OWNER.
- . PROTECT AND MAINTAIN THE OPERATION OF ANY EXISTING SYSTEMS TO REMAIN FUNCTIONAL DURING THE PROJECT. PROCURE PRIOR APPROVAL FROM THE OWNER FOR ANY SHUTDOWNS REQUIRED.
- CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS BEFORE DEMOLITION BEGINS, PROVIDE TEMPORARY OR PERMANENT STRUCTURE AS REQUIRED.
- J. MISC. EQUIPMENT OR FURNISHINGS SHALL BE STORED OR REMOVED AT THE DISCRETION OF THE OWNER.
- C. REPAIR & PREPARE EXISTING WALLS, FLOORS AND CEILINGS TO RECEIVE NEW FINISHES AS INDICATED.
- WHERE PLUMBING FIXTURES ARE REMOVED, EXISTING PIPING SHALL BE CAPPED OR REMOVED. REFER TO PLUMBING DRAWINGS FOR DEMO OF
- M. WHERE ELECTRICAL FIXTURES ARE REMOVED, EXISTING WIRING SHALL BE REMOVED BACK TO ELECT. BOX. REFER TO ELECTRICAL DRAWINGS FOR DEMO
- N. ITEMS TO BE SALVAGED FOR RE-USE

OF WIRING/FIXTURES,

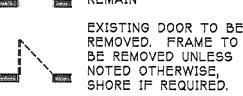
BY OWNER:

- CABINETS & COUNTERS SHELVING & STANDARDS SLIDING PANELS & FRAMES DOORS, FRAMES & DOOR HARDWARE WALL COVERINGS ROLLING FILES CEILING GRID & TILES LIGHTING
- **EMERGENCY LIGHTING** FIRE EXTINGUISHERS SMOKE DETECTORS
- ). CONTRACTOR TO REMOVE AND SAVE ALL WALL COVERINGS FROM EXISTING PARTITION TO REMAIN AND EXISTING PARTITIONS TO BE REMOVED FOR RE-USE ON NEW & EXISTING PARTITIONS
- . CONTRACTOR TO PROTECT AREAS TO REMAIN OPERATIONAL FROM DUST AND DEBRIS. CONTRACTOR RESPONSIBLE FOR MAINTAINING AND CLEANING ANY AREAS EXPOSED TO DUST OR DEBRIS FROM DEMOLITION ACTIVITIES.





EXISTING WALL TO BE REMOVED EXISTING DOOR TO REMAIN



REMOVED. FRAME TO BE REMOVED UNLESS NOTED OTHERWISE, SHORE IF REQUIRED. EXISTING PLUMBING

EXISTING PLUMBING

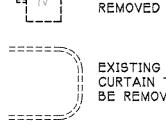
EXISTING T.V. TO BE

FIXTURE AND PIPING TO BE

REMOVED



FIXTURE TO REMAIN EXISTING ACT SOFFIT TO BE REMOVED



EXISTING CEILING CURTAIN TRACK TO BE REMOVED

Pavillion C-D 3rd Floor A.C.E. Unit **Maine Medical Center** 22 Bramhall Street Portland, ME 04102 SERGIO A. GADDAR No. 2123 MMC Project No. Scale: Project Number: Date: Revisions:

26006

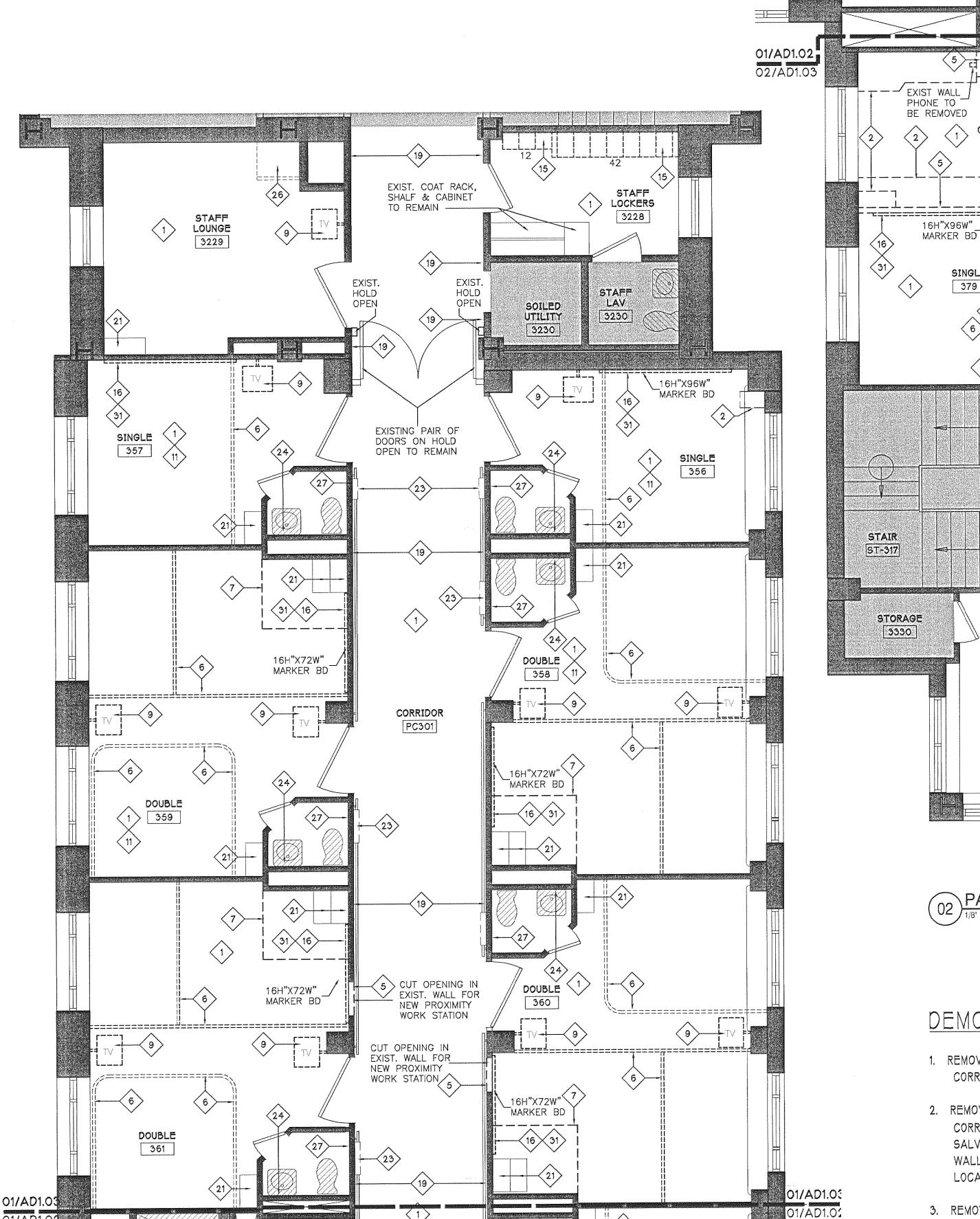
04-P174

12/11/06

1/4" = 1'-0"

Renovations to

PERMIT SET



PARTIAL ENLARGED PLAN - PAVILLION C

PARTIAL ENLARGED PLAN - PAVILLION C

PHONE TO REMAIN

EX. KEY PAD 28

TO BE REMOVED

CORRIDOR PC302

FAMILY

ROOM

3328

16H"X96W"

SINGLE

379

## DEMOLITION PLAN NOTES:

3329

- 1. REMOVE CONCRETE BASE CURBS AT ALL PUBLIC CORRIDORS. PD301, PC301, PC302 & PC303
- 2. REMOVE ALL WALL MOUNTED ITEMS FROM PUBLIC CORRIDORS (PD301, PC301, PC302 & PC303) AND SALVAGE FOR RE-USE BY OWNER. RE-INSTALL WALL MOUNTED ITEMS PER OWNERS APPROVED LOCATIONS.
- 3. REMOVE EXISTING HD. WD. CRASH RAILS AS INDICATED ON DRAWINGS AND SALVAGE FOR RE-INSTALLATION BY CONTRACTOR. CUT EXISTING HD. WD. RAILS TO ACCOMODATE NEW LAYOUT AND RE-FINISH TO MATCH EXISTING.
- 4. REMOVE EXISTING CURTAIN TRACK AND SALVAGE FOR RE-INSTALLATION BY CONTRACTOR AT ORIGINAL LOCATIONS.

- FOR RE-INSTALLATION BY CONTRACTOR AT ORIGINAL LOCATIONS.
- NOT REMOVED FROM DUST OR DAMAGE.
- PROTECTION DEVICES AS REQUIRED. SALVAGE FOR RE-INSTALLATION BY CONTRACTOR, PROTECT REMAINING WALL MOUNTED ITEMS FROM DUST OR DAMAGE.
- 4. REMOVE EXISTING CURTAIN TRACK AND SALVAGE

SINGLE

376

16H"X96W"

MARKER BD

16H"X96W"

MARKER BD

378

1 isolation

380

PUBLIC LAV

3327

- 5. EXISTING WALL MOUNTED NURSE CALL DEVICES ARE TO REMAIN.
- 6. PROTECT ALL WALL MOUNTED ITEMS THAT ARE
- 7. REMOVE EXISTING WALL MOUNTED FIRE

### **DEMOLITION KEY NOTES**

- REMOVE EXISTING FLOORING, BASE AND ADHESIVE OR GROUT, PREPARE EXISTING
- FLOOR SLAB TO RECEIVE NEW FLOORING. REMOVE EXISTING COUNTERTOP, CABINETS AND SHELVING. REFER TO PLUMBING DESIGN BUILD
- DWGS FOR ANY REQ'D PIPING DEMOLITION.
- REMOVE EXISTING ACT CEILING. REFER TO DESIGN BUILD MECH., ELEC. AND PLUMBING DWGS FOR HVAC, WIRING AND SPRINKLER DEMOLITION. LIGHT FIXTURES TO BE SALVAGED FOR OWNER.
- REMOVE EXISTING PLUMBING FIXTURES. REFER 4 > TO DESIGN BUILD PLUMBING DRAWINGS FOR PIPING DEMOLITION.
- REMOVE SECTION OF EXISTING INTERIOR WALL (5) TO EXTENT INDICATED. SHORE AS REQ'D PRIOR TO DEMOLITION.
- REMOVE EXISTING CEILING CURTAIN TRACK. 6 > SALVAGE FOR RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR.
- REMOVE EXISTING ACT SOFFIT.
- REMOVE EXISTING INTERIOR WINDOW.
- 9 REMOVE EXISTING TELEVISION AND MOUNTING BRACKET
- REMOVE EXISTING VIDEO CASSETTE RECORDER AND SHELF.
- IN THESE ROOMS, REMOVE EXISTING LIGHT (11) FIXTURES AND ACT CEILING. SALVAGE LIGHT FIXTURES FOR RE-USE BY OWNER.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE \$42 SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION BY CONTRACTOR.
- <13 > REMOVE EXISTING CASED OPENING FRAME.
- REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN.
- (15) REMOVE EXISTING LOCKERS.
- REMOVE EXISTING MARKER BOARD. PREPARE WALL FOR NEW FINISHES.
- REMOVE EXISTING TACK OR BULLETIN BOARD. SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION BY CONTRACTOR AT OWNER APPROVED LOCATIONS.
- 18 REMOVE EXISTING REUSE BY OWNER REMOVE EXISTING PASS-THRU, SALVAGE FOR
- REMOVE EXISTING CONCRETE BASE CURB. PREPARE FLOOR & WALL FOR NEW FINISHES
- IN THESE ROOMS, REMOVE EXISTING CHART RACK, SHARPS CONTAINER AND GLOVE BOXES. SALVAGE FOR RE-USE BY OWNER.
- 21 EXISTING CABINET OR SHELVING TO REMAIN.
- REMOVE EXISTING STAINLESS STEEL COUNTER, CABINETS AND SHELVING.
- REMOVE EXISTING CHARTING STATION.
- 23 SALVAGE FOR RE-INSTALLATION BY CONTRACTOR AT OWNER APPROVED LOCATION.
- REMOVE EXISTING VANITY LIGHT FIXTURE AND VANITY MIRROR, REFER TO DESIGN BUILD ELECTRICAL DRAWINGS FOR WIRING
- DEMOLITION. REMOVE EXISTING CERAMIC WALL TILE.
- 25 PREPARE EXISTING WALL TO RECEIVE NEW FINISHES.
- REMOVE EXISTING DISPLAY CASE, SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION
  BY CONTRACTOR AT OWNER APPROVED
- REMOVE EXIST APPLIANCES. SALVAGE FOR RE-USE BY OWNER AND RE-INSTALLATION BY CONTRACTOR, REFER TO DESIGN BUILD PLUMBING & ELECTRICAL DRAWINGS FOR PIPING & WIRING DEMOLITION.
- REMOVE EXISTING BEDPAN RACK, TOILET 27 PAPER DISPENSER, & GRAB BAR. PATCH/ REPAIR WALL & PREPARE FOR NEW FINISH.
- REMOVE EXISTING HD. WD. CRASH RAIL. SALVAGE FOR RE-INSTALLATION BY CONTRACTOR.
- REMOVE EXISTING SHELVING OR STORAGE. 29 SALVAGE FOR RE-USE BY OWNER OR RE-INSTALLATION BY CONTRACTOR.
- 30 IN THIS ROOM REMOVE ALL WALL MOUNTED ITEMS AND PREPARE WALL FOR NEW FINISHE ITEMS AND PREPARE WALL FOR NEW FINISHES.
- REMOVE EXISTING WALL MOUNTED CLOCK. SALVAGE FOR RE-USE BY OWNER.
- REMOVE EXISTING SURFACE MOUNTED LIGHT 32 FIXTURES. REFER TO ELEC. DRAWINGS FOR WIRING DEMOLITION.
- 33 REMOVE EXISTING CORNER GUARD



. ALL DEMOLITION OPERATIONS MUST BE COORDINATED WITH OWNER & PROJECT

- ALL DEMOLITION WORK SHALL CONFORM TO ALL APLICABLE LOCAL, STATE, AND NATIONAL SAFETY CODES.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE RATEDASSEMBLIES TO REMAIN. PATCH/REPAIR ALL DAMAGED
- ASSEMBLIES TO MATCH EXISITING. PROTECT ALL EXISTING FINISHES. MILLWORK ANDCONSTRUCTION TO
- BEFORE STARTING WORK, THE CONTRACTOR SHALLVERIFY EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL PREPARE A LIST OF EXISTING DAMAGED AREAS, DOCUMENTED BY DATED PHOTOGRAPHS AND SIGNED BY THE PERSON CONDUCTING THE INVESTIGATION, PRESENT TO OWNER FOR VERIFICATION PRIOR TO STARTING
- . CONTRACTOR SHALL COORDINATE DEMOLITION OPERATIONS WITH THE OWNER, AND PROCURE PRIOR APPROVAL FOR ALL DEMOLITION PROCEDURES, INCLUDING USE OF BUILDING FACILITIES, PLACEMENT OF DUMPSTERS, REFUSE REMOVAL, AND

DEMOLITION.

- CONTRACTOR SHALL COORDINATE REMOVAL AND STORAGE OF ALL SALVAGED ITEMS WITH THE OWNER.
- . PROTECT AND MAINTAIN THE OPERATION OF ANY EXISTING SYSTEMS TO REMAIN FUNCTIONAL DURING THE PROJECT. PROCURE PRIOR APPROVAL FROM THE OWNER FOR ANY SHUTDOWNS REQUIRED.
- CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS BEFORE DEMOLITION BEGINS, PROVIDE TEMPORARY OR PERMANENT STRUCTURE AS REQUIRED.
- MISC. EQUIPMENT OR FURNISHINGS SHALL BE STORED OR REMOVED AT THE DISCRETION OF THE OWNER.
- REPAIR & PREPARE EXISTING WALLS, FLOORS AND CEILINGS TO RECEIVE NEW FINISHES AS INDICATED. WHERE PLUMBING FIXTURES ARE
- REMOVED, EXISTING PIPING SHALL BE CAPPED OR REMOVED. REFER TO PLUMBING DRAWINGS FOR DEMO OF
- M. WHERE ELECTRICAL FIXTURES ARE REMOVED, EXISTING WIRING SHALL BE REMOVED BACK TO ELECT. BOX. REFER TO ELECTRICAL DRAWINGS FOR DEMO OF WIRING/FIXTURES.
- I, ITEMS TO BE SALVAGED FOR RE-USE

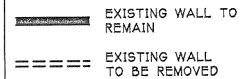
BY OWNER:

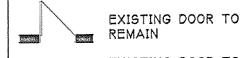
CABINETS & COUNTERS SHELVING & STANDARDS SLIDING PANELS & FRAMES DOORS, FRAMES & DOOR HARDWARE WALL COVERINGS ROLLING FILES CEILING GRID & TILES LIGHTING EMERGENCY LIGHTING FIRE EXTINGUISHERS

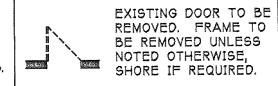
SMOKE DETECTORS

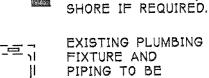
- ). CONTRACTOR TO REMOVE AND SAVE ALL WALL COVERINGS FROM EXISTING PARTITION TO REMAIN AND EXISTING PARTITIONS TO BE REMOVED FOR RE-USE ON NEW & EXISTING PARTITIONS
- CONTRACTOR TO PROTECT AREAS TO REMAIN OPERATIONAL FROM DUST AND DEBRIS. CONTRACTOR RESPONSIBLE FOR MAINTAINING AND CLEANING ANY AREAS EXPOSED TO DUST OR DEBRIS FROM DEMOLITION ACTIVITIES.

## LEGEND





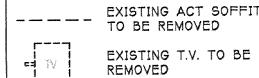




REMOVED



EXISTING PLUMBING FIXTURE TO REMAIN



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EXISTING CEILING

CURTAIN TRACK TO BE REMOVED

Renovations to

A.C.E. Unit

ARCHITECTS

INTERIORS

PLANNERS

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26006 MMC Project No. 1/4" = 1'-0" Scale: 04-P174 Project Number: 12/11/06 Date:

PERMIT SET

Revisions: