

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Read
ation And
es, If Any,
ttached

BUILDING DEPARTMENT

PERMIT

Permit Number: 050844

I hereby certify that Back Bay Properties Llc / Stephen Sande

is requesting permission to Change of Use -3 unit building w/ 22'x additional hammer permit #041836

AT 166 Grant St 053 C042001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Notification of inspection must
given and when permission procured
before this building or part thereof
leased or occupied. Closed-in
HOUR NOTICE IS REQUIRED.

Apply to Public Works for street line and grade if nature of work requires such information.

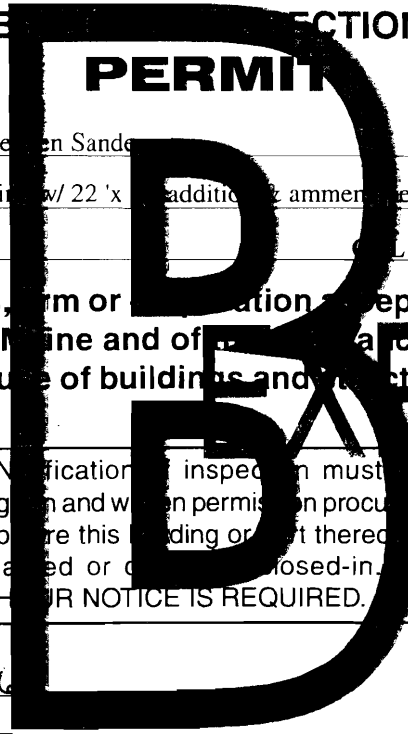
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass 3-2-06
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0844	Issue Date:	CBL: 053 C042001
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Location of Construction: 166 Grant St	Owner Name: Back Bay Properties Llc	Owner Address: 878 North Rd	Phone:
Business Name:	Contractor Name: Stephen Sanderson	Contractor Address: 878 North Rd North Yarmouth	Phone: 2077493998
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone: R6

Past Use: Single Family Home	Proposed Use: 3 unit building w/ 22' x 28' addition & ammend permit #041836	Permit Fee: \$816.00	Cost of Work: \$80,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>2-hour separation</i>	INSPECTION: Use Group: Type:	

Proposed Project Description:
Change of Use -3 unit building w/ 22' x 28' addition & ammend permit #041836

Signature: *Greg L...* Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: Date:

EXPIRED

Permit Taken By: ldobson	Date Applied For: 06/20/2005	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>HA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 Zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0106</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>with cond...</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0844	Date Applied For: 06/20/2005	CBL: 053 C042001
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Location of Construction: 166 Grant St	Owner Name: Back Bay Properties Llc	Owner Address: 878 North Rd	Phone:
Business Name:	Contractor Name: Stephen Sanderson	Contractor Address: 878 North Rd North Yarmouth	Phone: (207) 749-3998
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: 3 unit building w/ 22 'x 28' addition & ammend permit #041836	Proposed Project Description: Change of Use -3 unit building w/ 22 'x 28' addition & ammend permit #041836
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/23/2006

Note: 7/20/05 waiting for approved site plan from planning - initial review is ok - in my hold area **Ok to Issue:**
2/15/06 received approved site plan

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a three (3) family dwelling after the issuance of this permit and subsequent issuance of certificates of occupancy. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Anne Nugent **Approval Date:**
Note: **Ok to Issue:**

EXPIRED

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/02/2006

Note: **Ok to Issue:**

- 1) Separation of new apartment from other structure shall be 2 hours.

Dept: DRC **Status:** Approved **Reviewer:** Sebago Technic **Approval Date:** 11/10/2005

Note: **Ok to Issue:**

Dept: Planning **Status:** Approved **Reviewer:** Kandi Talbot **Approval Date:** 11/10/2005

Note: **Ok to Issue:**

Comments:

3/10/2006-mjn: Left Message with the owner to meet to go over the project, Still need Planning Approval.

12/7/2007-jmb: Application has been inactive for more than 180 days.

All Purpose Building Permit Application

Property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 166 Grant Street - 1

Total Square Footage of Proposed Structure <u>1232</u>	Square Footage of Lot <u>8592</u>
Tax Assessor's Chart, Block & Lot Chart# <u>53</u> Block# <u>C</u> Lot# <u>42</u>	Owner: <u>Stephen Samberson</u> <u>Back Bay Properties LLC</u>
Lessee/Buyer's Name (if applicable)	Telephone: <u>749-3898</u>
Applicant's name, address, telephone	Cost of Work: \$ <u>80,000</u> Fee: \$
Current use: <u>Single Family</u>	<div style="border: 2px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="font-size: 2em; font-weight: bold; text-align: center;">EXPIRED</p> <p style="text-align: center;">JUN 20 2005</p> <p style="font-weight: bold; text-align: center;">RECEIVED</p> </div>
If the location is currently vacant, what was prior use:	
Approximately how long has it been vacant:	
Proposed use: <u>Change of Use to 3unit, New 22x28'</u>	
Project description: <u>Addition with foundation.</u>	
Contractor's name, address & telephone: <u>Stephen Samberson, 378 Ashford Rd, Ashford, ME 04927</u>	
Who should we contact when the permit is ready: <u>Stephen Samberson</u>	
Mailing address: <u>749-3898</u>	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 749-3898	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/20/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Written Statement- 166 Grant Street

Back Bay Properties, LLC
Manager: Stephen Sanderson
878 North Road
North Yarmouth, ME 04097

EXPIRED

166 Grant Street is an existing single family residential building. Due to the dilapidated condition, there is significant cost to repair the structure. The proposed project consists of changing the use of the existing building from a single family residence to a three unit residence.

Currently the dwelling is a 1-3/4 story structure. The existing structure floor area is 2240 square feet.

The structure was built in 1920. The lot size is 8592 square feet, 120 feet length and 61.5 feet wide. Existing structure footprint is 1280 square feet. Proposed footprint is 1896 square feet. Property is referenced on map 53 C-42.

The proposed project would to convert the existing building into a 4 unit multifamily building. The structure would contain two 2 bedroom units and one 3 bedroom units. Unit 1 is 2 bedrooms with a gross living area of 1120 square feet, Unit 2 would have 2 bedrooms with a gross living area of 1120 square feet, and Unit 3 would have three bedrooms with a gross living area of 1232 square feet. Unit 3 is located on the new proposed building addition. Units 1 and 2 are in the existing footprint. The proposed two story structure is 23'-10" above the new foundation and have a total floor area is 3472 square feet. The existing foundation would be extended on the South side increasing the building footprint by 616 square feet.

The existing driveway would be extended approximately 10 feet to the South and new 31'-0" x 39'-0" parking area would be provided. The parking are would have a seven car capacity. The parking area is expected to meet the requirements of additional residences.

There are existing water, sewer and natural gas utilities within the existing building foundation. The utilities are adequate for the increased residences.

The existing surface drainage perks readily into the ground. The existing driveway is paved and storm water runoff is directed into Grant Street and collected by existing drains.

The proposed project is expected to take 6 months to complete at a cost of \$280,000.



EXPIRED

CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Stephen Sanderson, P.E.

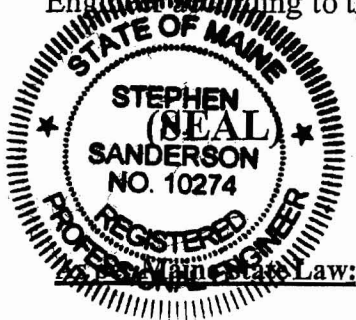
RE: Certificate of Design

DATE: 6/17/05

These plans and / or specifications covering construction work on:

166 Gant Street Project

Have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer according to the 2003 International Building Code and local amendments.



Signature: [Handwritten Signature]

Title: Engineer

Firm: Maine Development & Design

Address: 878 North Rd
North Yarmouth ME
04097

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

FROM DESIGNER: Stephen Sanderson P.E.

DATE: 6/17/05

Job Name: 466 Grant Street

Address of Construction: 466 Grant Street

EXPIRED
2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IRC Use Group Classification(s) Town house

Type of Construction Type VB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3)

Supervisory alarm system? NO Geotechnical/Soils report required? (See Section 1802.2) N/A

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members (108.1, 108.1.1)

N/A Live load reduction (1603.1.1, 1607.9, 1607.10)
N/A Roof live loads (1603.1.2, 1607.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Roof snow loads (7603.7.3, 1608)
50 Ground snow load, P_g (1608.2)

Floor Area Use Loads Shown
Attic Uninhabited 60 psf
all other areas 40 psf

38.5 If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
16/cab If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)

1 If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)

1/1 Roof thermal factor, C_t (Table 1608.3.2)

38.5 Sloped roof snowload, P_s (1608.4)

C Seismic design category (1616.3)

Wind loads (1603.1.4, 1609)

Yes Design option utilized (1609.1.1, 1609.6)

100 Basic wind speed (1809.3)

1 Building category and wind importance factor, I_w (Table 1604.5, 1609.5)

Exp B Wind exposure category (1609.4)

0.18 Internal pressure coefficient (ASCE 7)

33.5 Component and cladding pressures (1609.1.1, 1609.6.2.2)

19.9 Main force wind pressures (7603.1.1, 1609.6.2.1)

Basic seismic-force-resisting system (Table 1617.8.2)

Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.8.2)

Simplified Analysis procedure (1616.6, 1617.5)

Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.6, 1612)

Flood hazard area (1612.3)

Elevation of structure

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Earthquake design data (1603.1.5, 1614-1623)

Yes Design option utilized (1614.1)

C Seismic use group ("Category") (Table 1604.5, 1616.2)

N/A Spectral response coefficients, S_Ds & S_D1 (1615.1)

N/A Site class (1615.1.5)



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: Stephen Sanderson, P.E.
Address of Project: 166 Grant St
Nature of Project: 166 Grant St 3 unit
Conversion from 1 unit

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: [Handwritten Signature]
Title: Engineer
Firm: Maine Development & Design
Address: 878 North Rd
North Yarmouth, ME 04097
Phone: 207-749-3998

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.

Applicant: Stephen Sanderson

Date: 7/20/05 rechecked 2/23/06

Address: 166 Grant St

C-B-L: 053-C-042

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing Bldg

permit Application #05-0844

Zone Location - R-6

Interior or corner lot -

EXPIRED

Proposed Use/Work - change of use from 1 family to 3 family with 22' x 28' Addition on rear

Sewage Disposal - City

Lot Street Frontage - 50' min - 61.5' shown

Front Yard - existing - No change
96' scaled on approved site plan dated 2/15/06

Rear Yard - 20' min - 60.5' scale

Side Yard - 10' min - 10' & 10' shown at closest
14' & 12' →

Projections -

Width of Lot - 50' min - 60' shown

Height - 35' MAX - 32' to ridge

Lot Area - 4500 sq ft min - 8,580 sq ft max

Lot Coverage/Impervious Surface - 50% MAX or 4290 sq ft MAX

Area per Family - 2 New for each New DU } 5 req
1 for existing DU } 7 shown

Off-street Parking - →

Loading Bays - N/A

Site Plan - # 2005-0106

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

Apt #1 = (20 x 32) 2 = 1280 sq ft

Apt #2 = (20 x 32) 2 = 1280 sq ft

Apt #3 = (22 x 28) 2 = 1232 sq ft

No unit less than 1200 sq ft

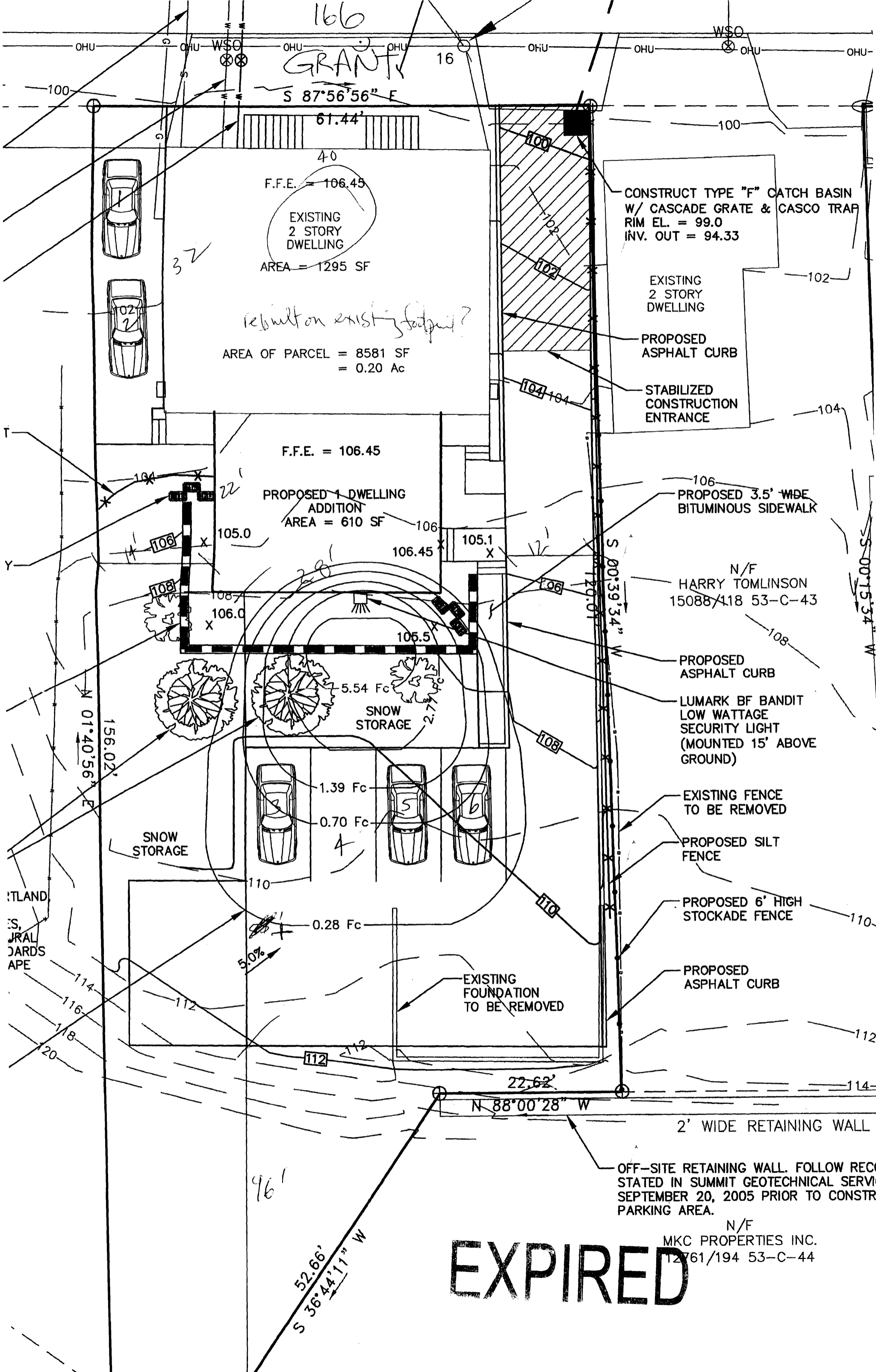
32 x 40 = 1280
22 x 28 = 616
1896 sq ft



EXPIRED

166
GRANT

S 87°56'56" E



CONSTRUCT TYPE "F" CATCH BASIN
W/ CASCADE GRATE & CASCO TRAP
RIM EL. = 99.0
INV. OUT = 94.33

AREA OF PARCEL = 8581 SF
= 0.20 Ac

F.F.E. = 106.45

PROPOSED 1 DWELLING
ADDITION
AREA = 610 SF

PROPOSED 3.5' WIDE
BITUMINOUS SIDEWALK

N/F
HARRY TOMLINSON
15088/118 53-C-43

SNOW STORAGE

PROPOSED ASPHALT CURB
LUMARK BF BANDIT
LOW WATTAGE
SECURITY LIGHT
(MOUNTED 15' ABOVE
GROUND)

EXISTING FENCE
TO BE REMOVED

PROPOSED SILT
FENCE

PROPOSED 6' HIGH
STOCKADE FENCE

PROPOSED
ASPHALT CURB

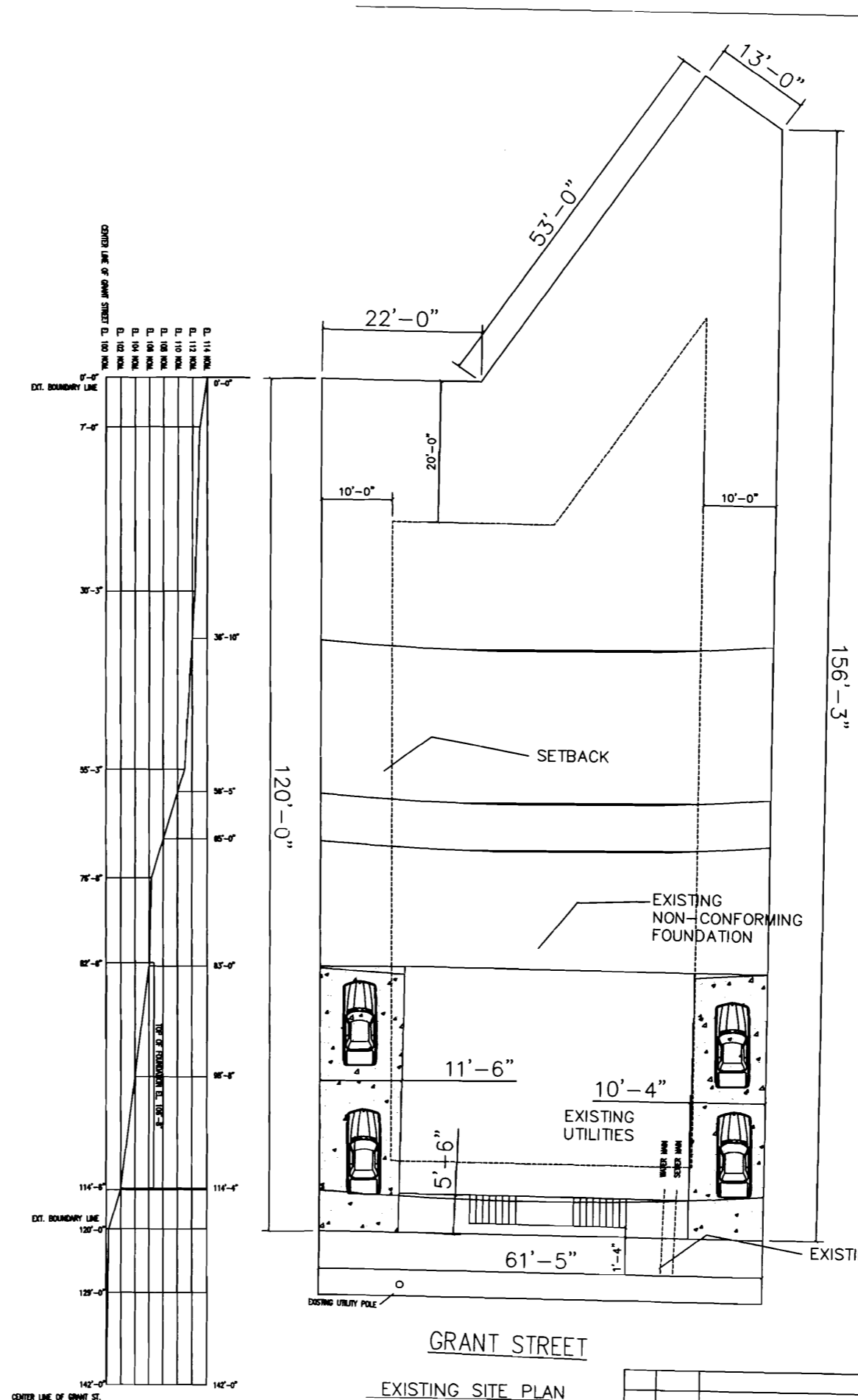
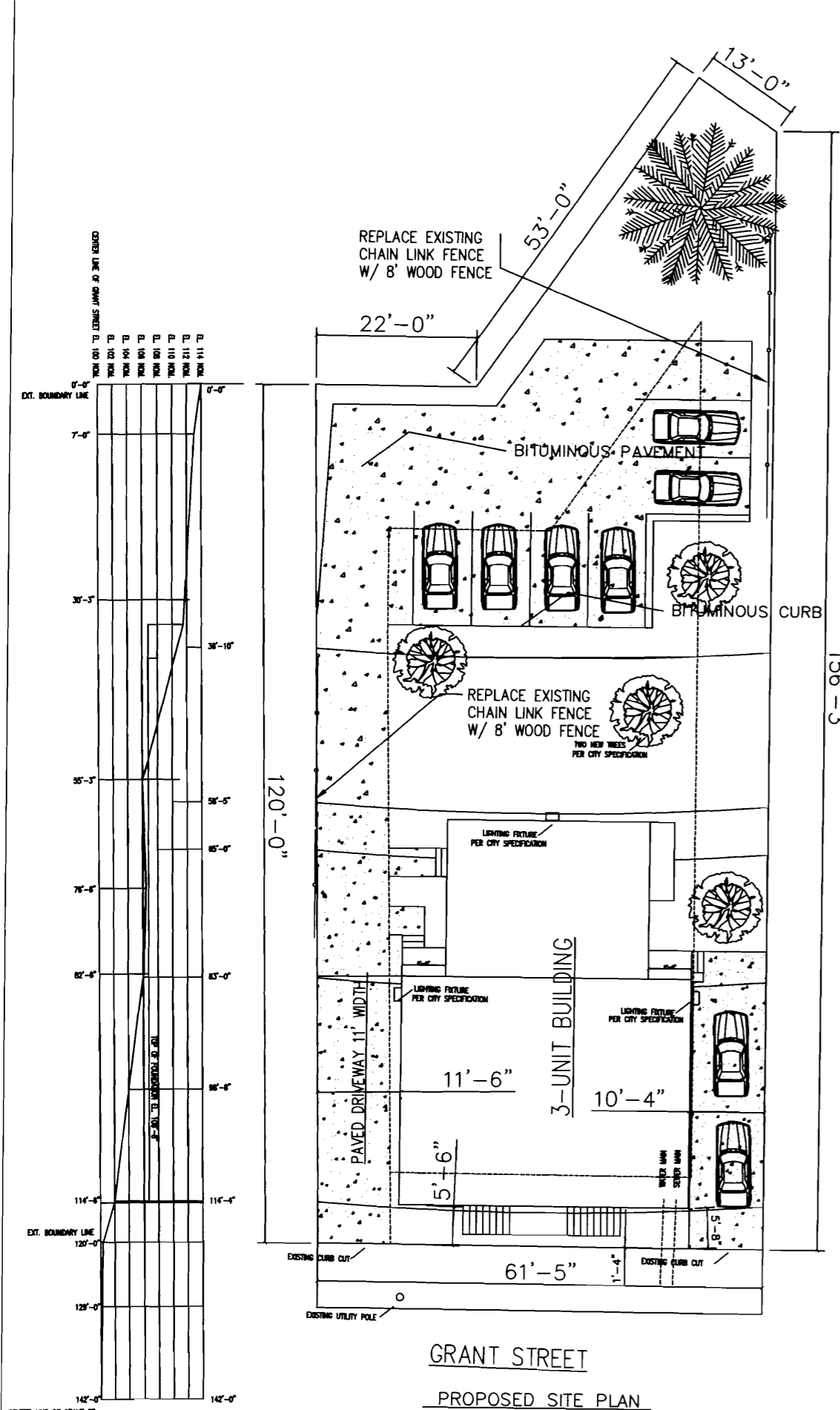
EXISTING
FOUNDATION
TO BE REMOVED

2' WIDE RETAINING WALL

OFF-SITE RETAINING WALL. FOLLOW RECC
STATED IN SUMMIT GEOTECHNICAL SERVIC
SEPTEMBER 20, 2005 PRIOR TO CONSTR
PARKING AREA.

N/F
MKC PROPERTIES INC.
12761/194 53-C-44

EXPIRED



GENERAL NOTES:

1. TOPOGRAPHY-EXISTING AND PROPOSED IS SHOWN IN 2 FEET INTERVALS.
2. DESIGN OF INGRESS AND EGRESS OF VEHICLES TO AND FROM SITE ONTO PUBLIC STREET IS EXISTING.
3. CURB AND SIDEWALK IS EXISTING
4. PUBLIC UTILITIES ARE EXISTING, WATER AND SEWER MAINS ARE EXISTING.
5. THERE ARE NO KNOWN STATE AND FEDERAL REGULATORY APPROVALS TO WHICH THIS PROJECT MAY BE SUBJECT TO.
6. THERE ARE NO KNOWN DRAINAGE PROBLEMS OR DEFECTS WITH TOPOGRAPHY

EXPIRED



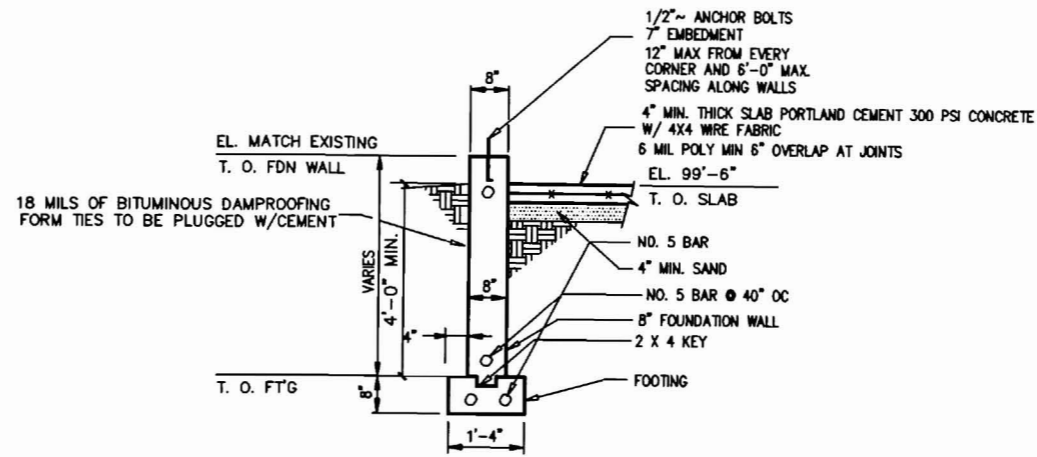
MAP AND LOT NO.
53-C-42

LOT SIZE = 8592 SF

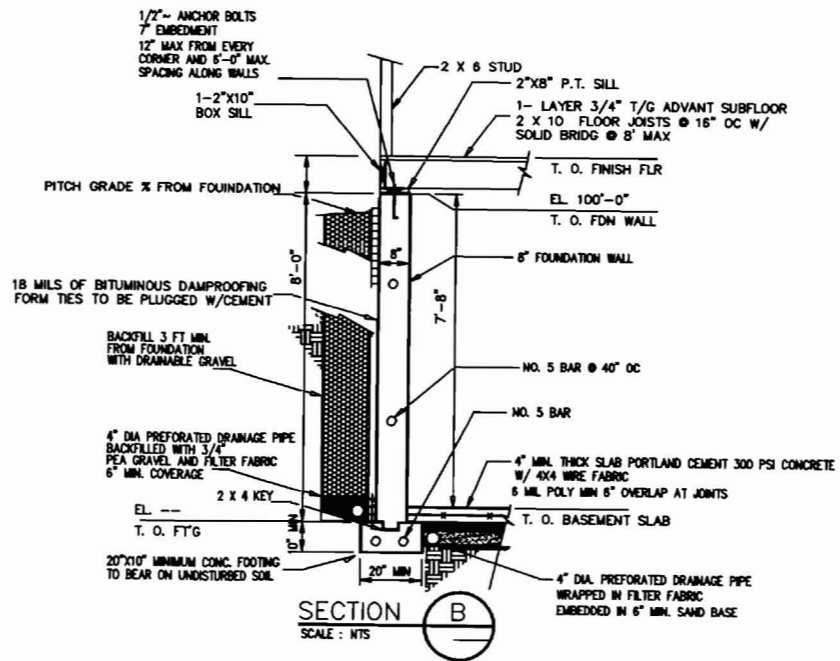
BACK BAY PROPERTIES, LLC
MANAGER: STEPHEN SANDERSON
878 NORTH ROAD
NORTH YARMOUTH
MAINE 04097

REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

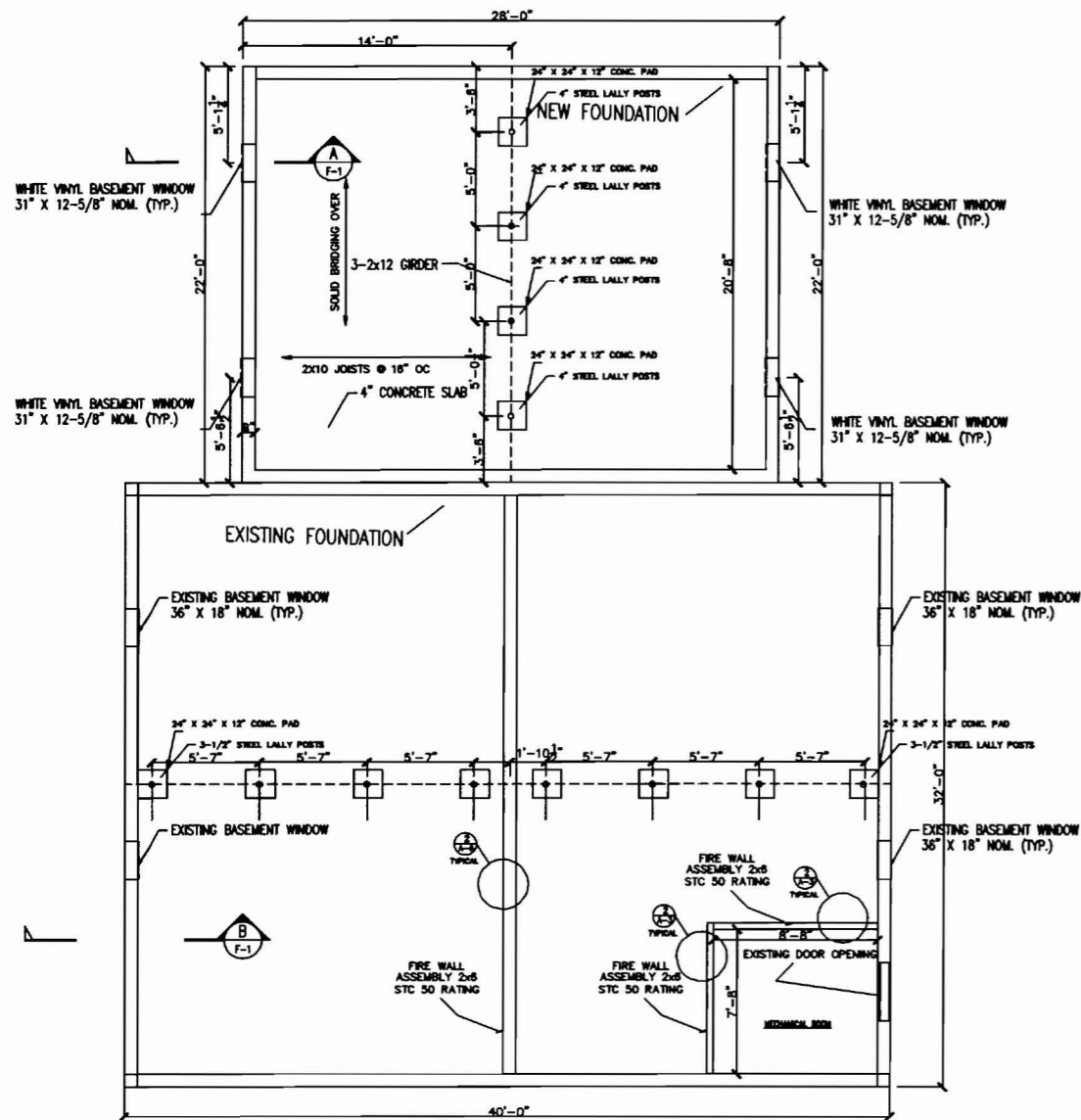
CLIENT		166 GRANT STREET PORTLAND, MAINE	
		SITE PLAN 3 UNIT	
DRAWN BY: SNS	SCALE: AS NOTED	DATE: 12-08-04	
DRAWING NUMBER		S-1	



SECTION A
SCALE: 1/2"=1'-0"

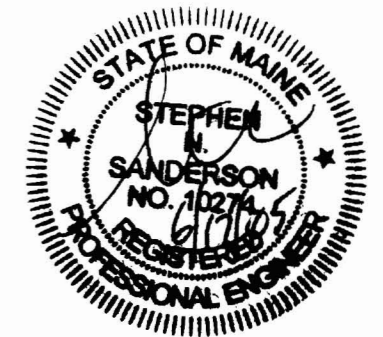


SECTION B
SCALE: NTS

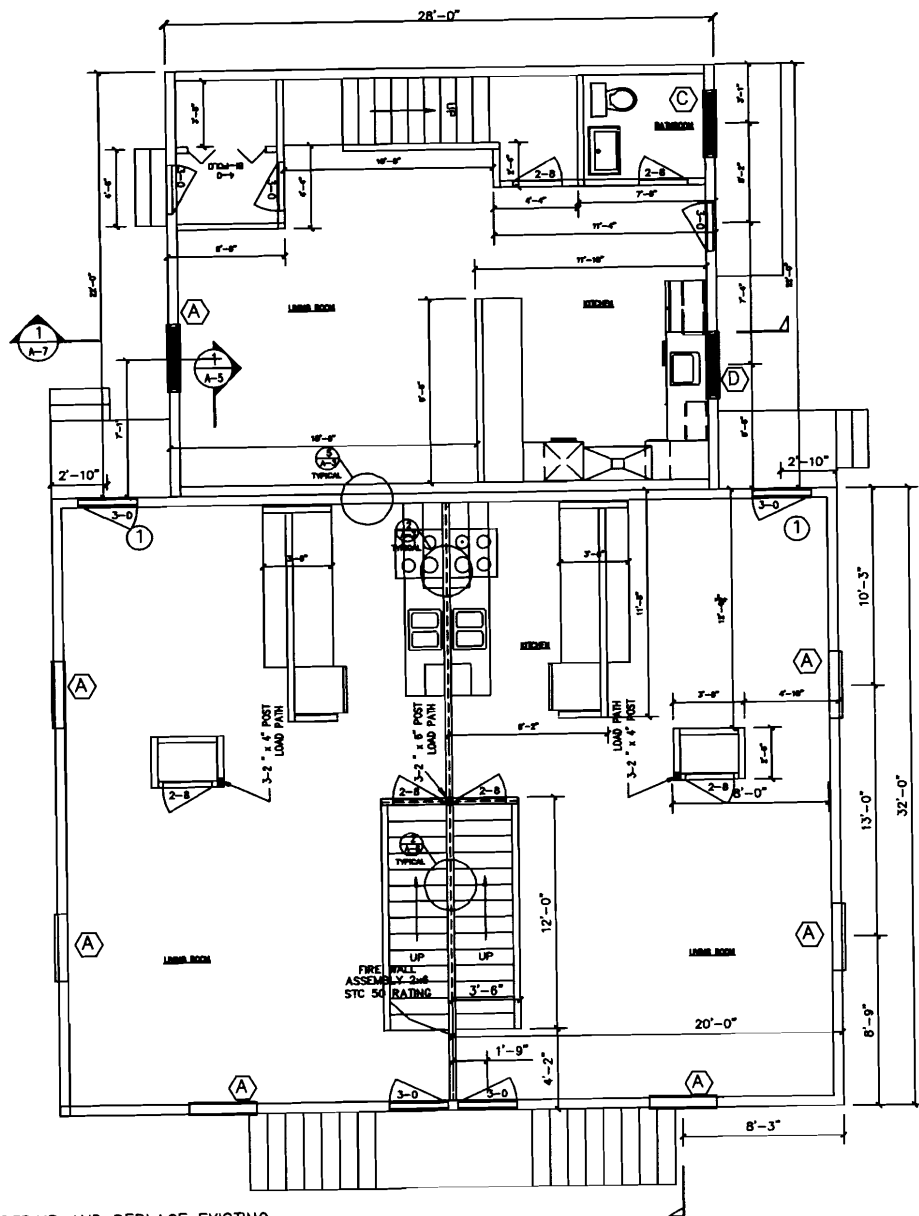


FOUNDATION PLAN
SCALE: 1/4"=1'-0"

EXPIRED

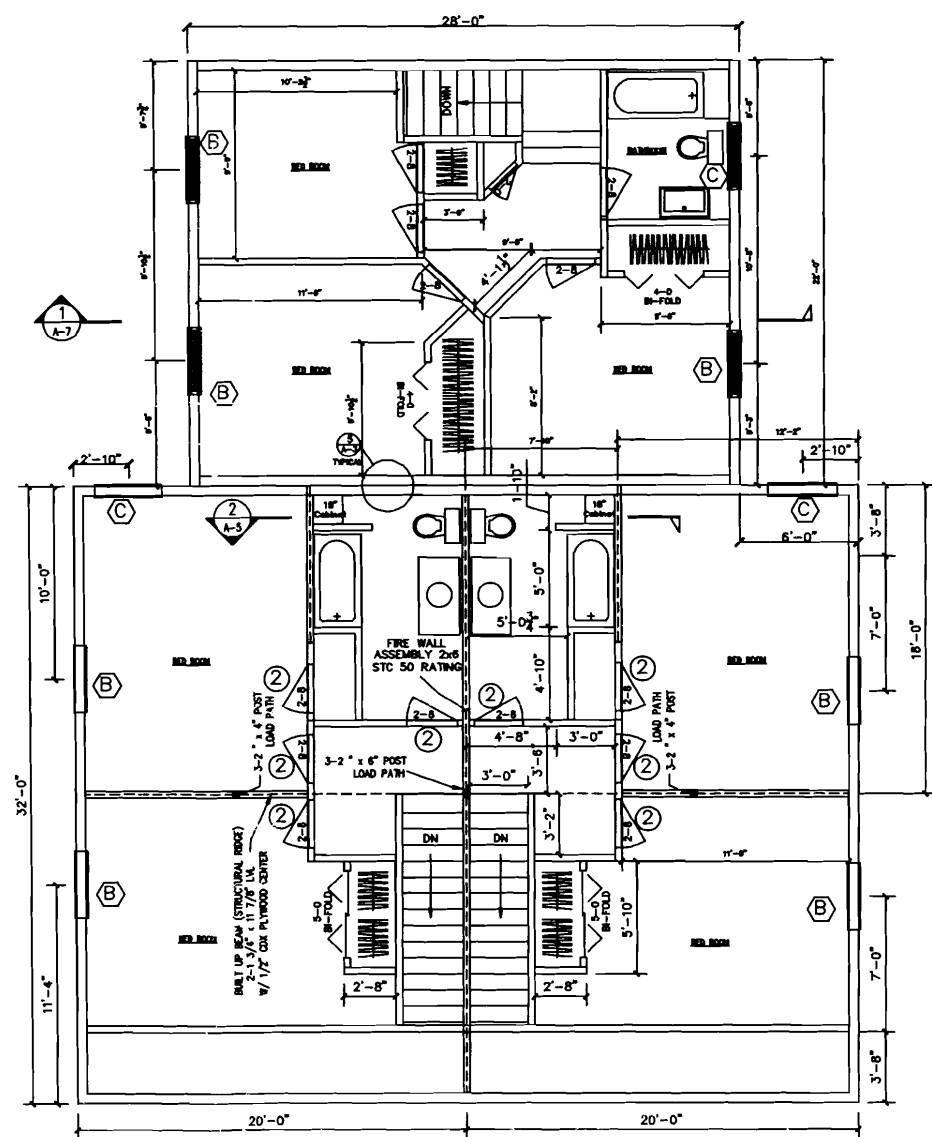


CLIENT		166 GRANT STREET PORTLAND, MAINE	
		FOUNDATION PLAN 3 UNIT	
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	12-08-04
DRAWING NUMBER		F-1	
REV.	DATE	DESCRIPTION	
A	4/18/05	FOR APPROVAL	



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

REPAIR AND REPLACE EXISTING ENTRY STAIRS AND AWNING IN KIND



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

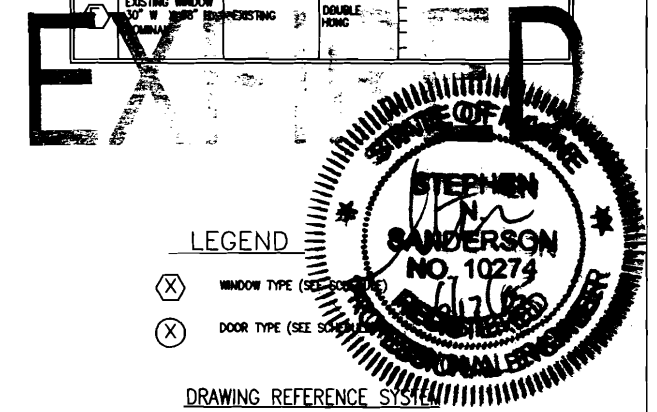
LEFT HAND SIDE IS MIRROR IMAGE OF RIGHT

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

DOOR SCHEDULE				
SYMB.	MODEL NUMBER	MANUFACTURER	NOMINAL SIZE	REMARKS
①	4LT	STANLEY	3'-0" x 8'-0"	EXTERIOR DOOR - STEEL & PANEL MOULDED
②	2'8" x 80"	MASONITE	2/8" x 80"	HOLLOW CORE INTERIOR CASED & PANEL
③	2'4" x 80"	MASONITE	2/4" x 80"	HOLLOW CORE INTERIOR CASED & PANEL
④	-	-	-	-
⑤	-	-	-	-

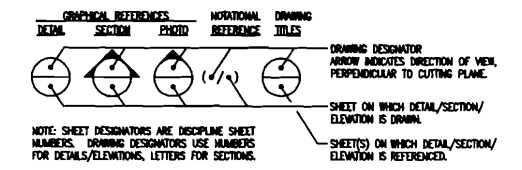
WINDOW SCHEDULE				
SYMB.	MODEL NUMBER	MANUFACTURER	STYLE	REMARKS
A	SERIES 1000 RO 46 1/4" x 69 1/4"	AMERICAN CRAFTSMAN	DOUBLE-HUNG	EGRESS CLEAR OPENING 8.78 FT ² 3/8 x 5/8 NOMINAL
B	SERIES 1000 RO 42 1/4" x 53 1/4"	AMERICAN CRAFTSMAN	DOUBLE-HUNG	EGRESS CLEAR OPENING 5.84 FT ² 3/4 x 4/2 NOMINAL
C	SERIES 1000 RO 38 1/4" x 53 1/4"	AMERICAN CRAFTSMAN	DOUBLE-HUNG	CLEAR OPENING 5.22 FT ² 3/8 x 4/2 NOMINAL
D	SERIES 2804 RO 84 1/2" x 47 1/2"	AMERICAN CRAFTSMAN	SLIDING WINDOW	CLEAR OPENING 4.73 FT ² 7/8 x 4/0 NOMINAL
E	SERIES 2802 RO 36 1/2" x 35 1/2"	AMERICAN CRAFTSMAN	SLIDING WINDOW	3/0 x 3/0 NOMINAL
F	EXISTING WINDOW	EXISTING	DOUBLE-HUNG	-



LEGEND

- ⊗ WINDOW TYPE (SEE SCHEDULE)
- ⊙ DOOR TYPE (SEE SCHEDULE)

DRAWING REFERENCE SYSTEM

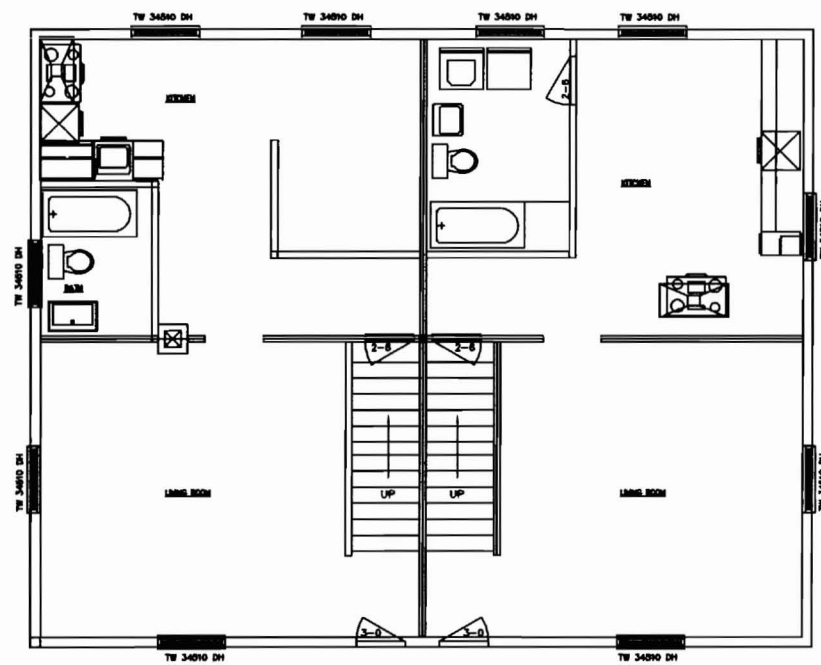


NOTE: SHEET DESIGNATORS ARE DISCIPLINE SHEET NUMBERS. DRAWING DESIGNATORS USE NUMBERS FOR DETAILS/ELEVATIONS, LETTERS FOR SECTIONS.

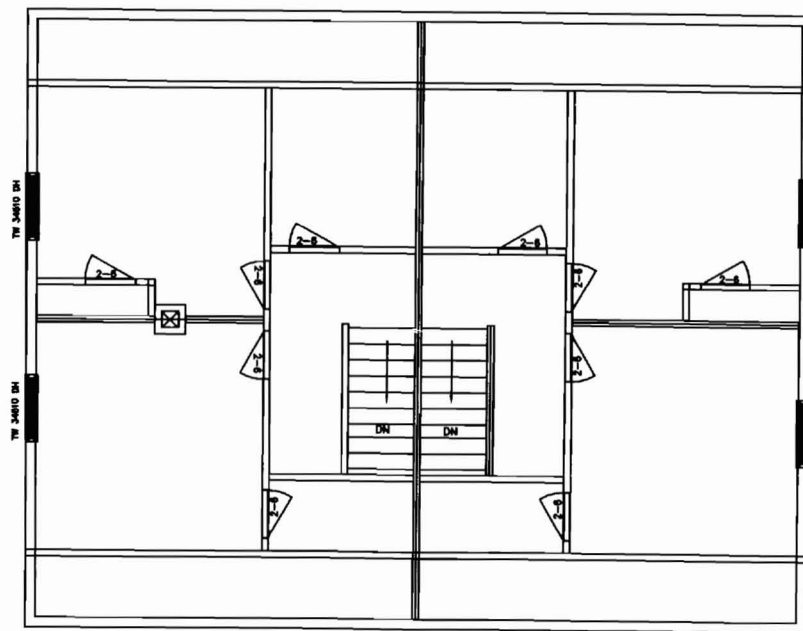
REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT	166 GRANT STREET PORTLAND, MAINE		
	RECONFIGURED FLOOR PLAN 3 UNIT		
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	12-08-04
	DRAWING NUMBER		A-1

EXPIRED



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



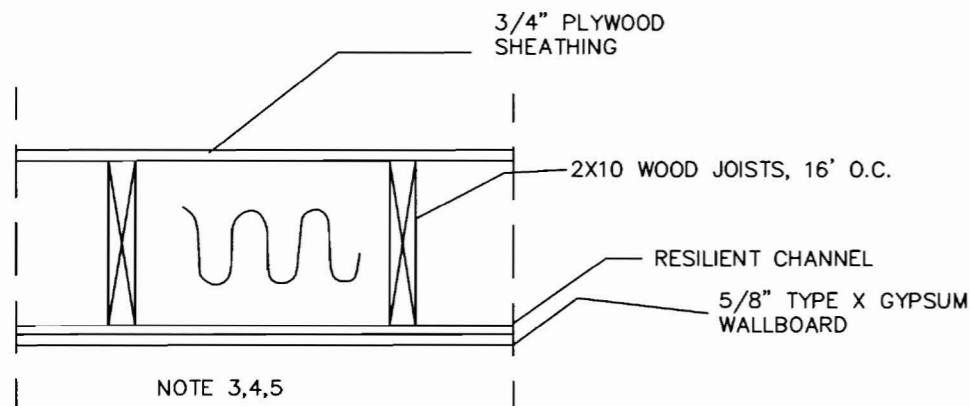
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV.	DATE	DESCRIPTION
-	---	---
A	4/18/05	FOR APPROVAL

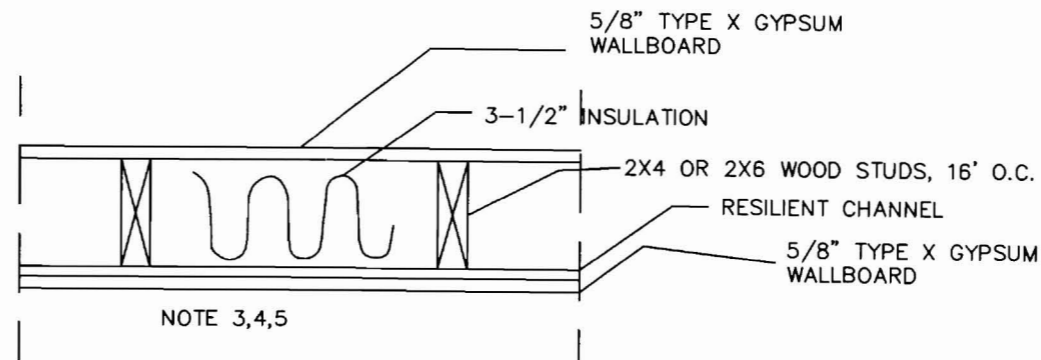
CLIENT			166 GRANT STREET PORTLAND, MAINE		
EXISTING FLOOR PLAN					
DRAWN BY: SNS		SCALE: AS NOTED		DATE: 12-08-04	
DRAWING NUMBER				A-2	
					REV.



DETAIL 1
SCALE: NTS
A-5

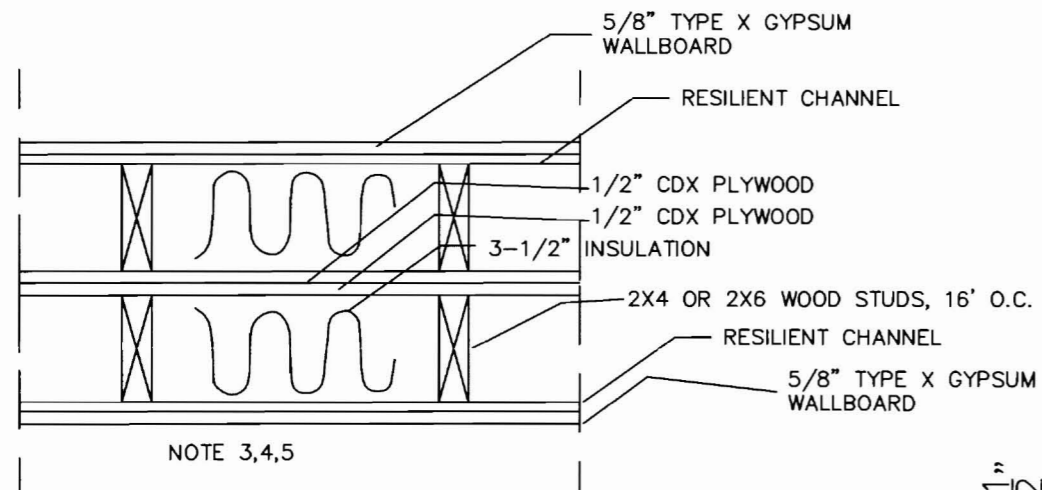
TYPICAL FLOOR-CEILING SYSTEM
1 HOUR FIRE AND STC 50 SOUND RATING
UL 263 RATING / UL DESIGN L522

1. UL 263 - FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS.
2. UL 723 - TESTS FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
3. UL 1479 - FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS.



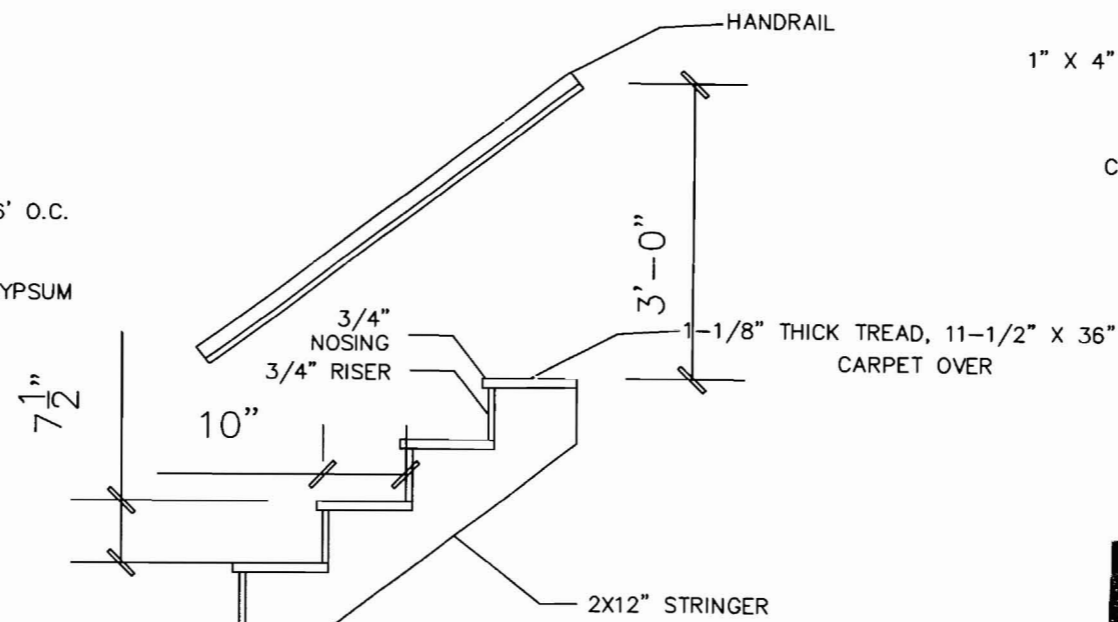
DETAIL 2
SCALE: NTS
A-1

TYPICAL FIREWALL SYSTEM
1 HOUR FIRE AND STC 50 SOUND RATING
UL 263 RATING / UL DESIGN L334
CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING



DETAIL 5
SCALE: NTS
A-1

TYPICAL FIREWALL SYSTEM
1 HOUR FIRE AND STC 50 SOUND RATING
UL 263 RATING / UL DESIGN U356
CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING

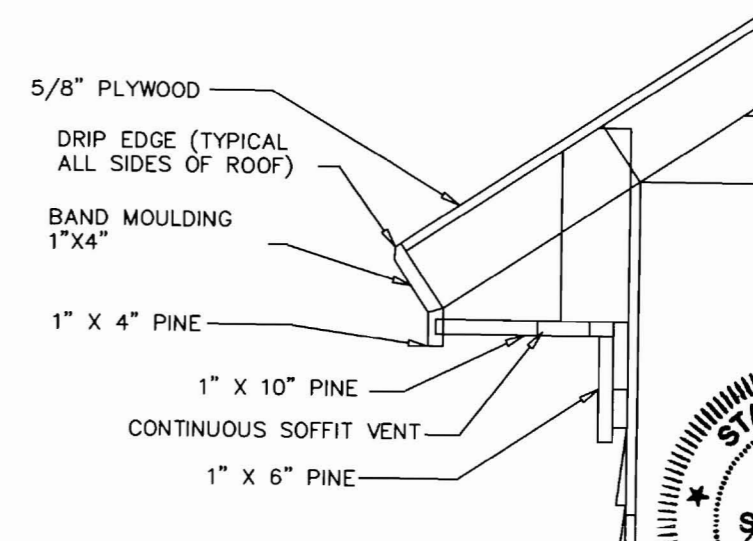


DETAIL 4
SCALE: NTS
A-5

TYPICAL STAIR

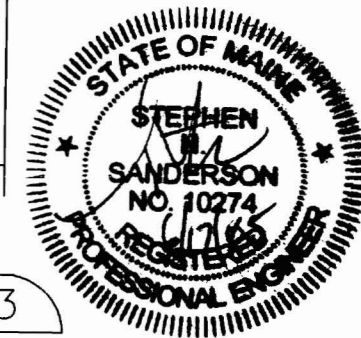
GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
3. ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 12" O.C.
4. RESILIENT FURRING CHANNELS APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS 16" O.C. WITH 6D COATED NAILS, 2" LONG, 0.113" SHANK, 17/64" HEAD.
5. CALC OPENINGS AROUND PIPES, FIXTURES, AND OTHER ITEMS PROJECTING THROUGH FIRE RATED GYPSUM ASSEMBLYS FIRE TYPE F FIRE RATED CALC. UL 1479 LISTED.



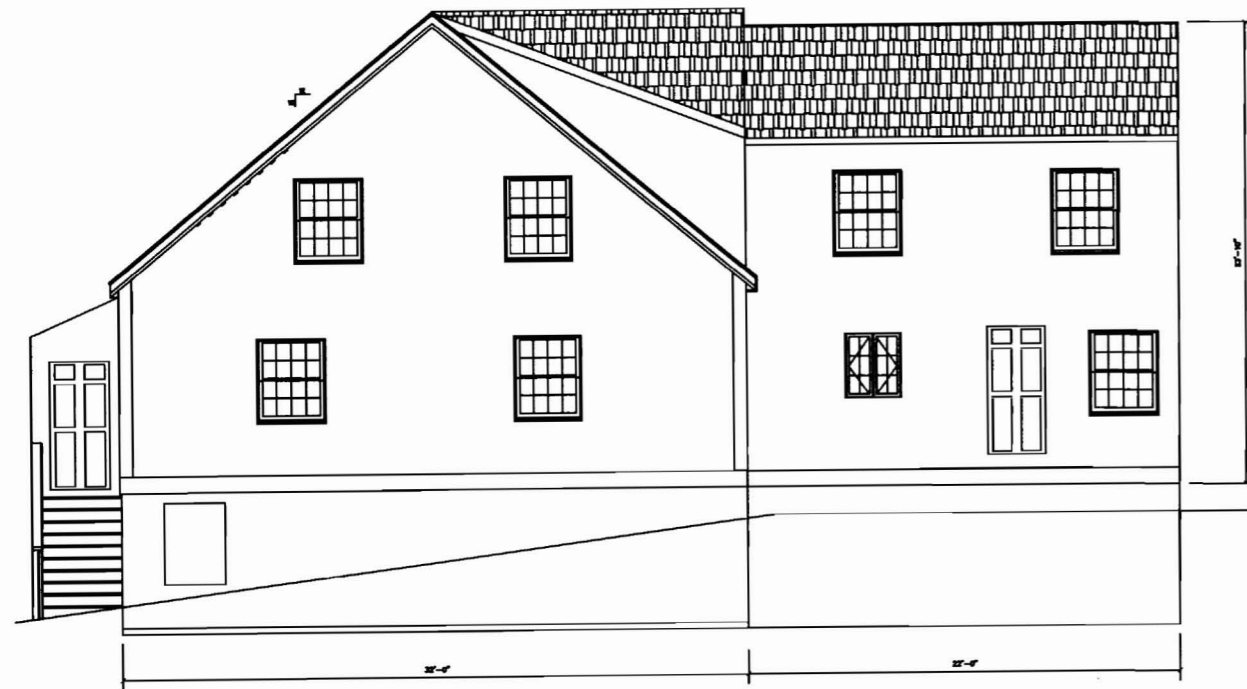
DETAIL 3
SCALE: 3/4" = 1'-0"
A-5

TYPICAL OVERHANG & FASCIA DETAIL
EXPIRED



REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

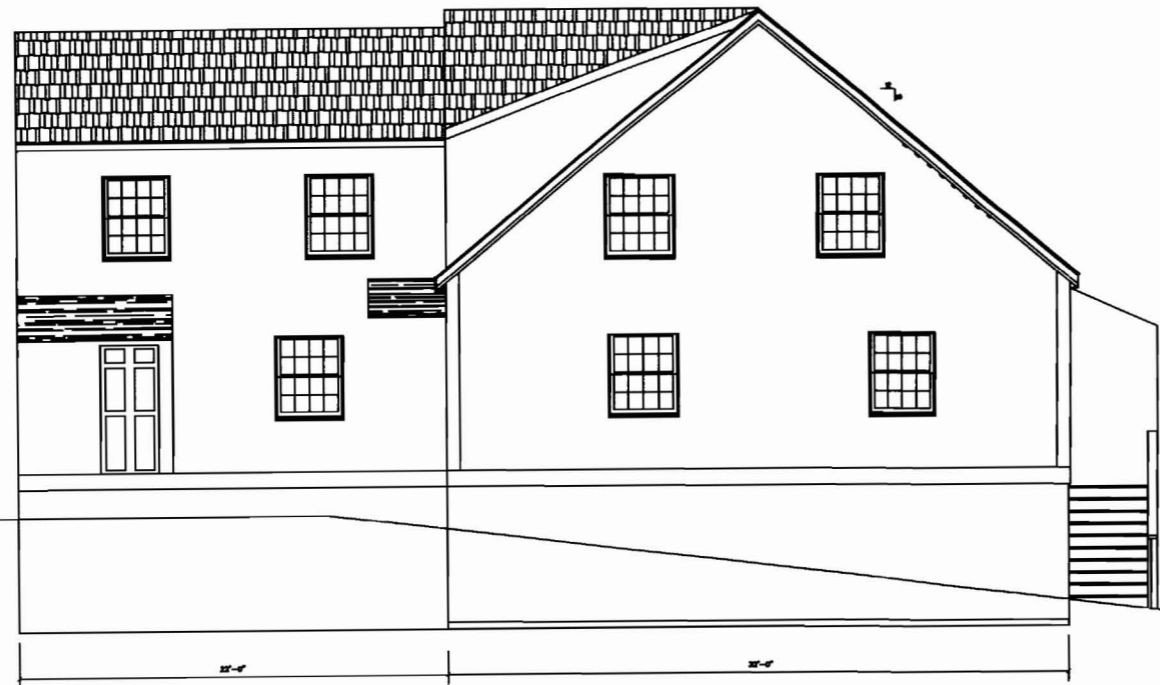
CLIENT		166 GRANT STREET PORTLAND, MAINE	
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DRAWN BY: SNS	SCALE: AS NOTED	DATE: 12-06-04	
DRAWING NUMBER		A-3	



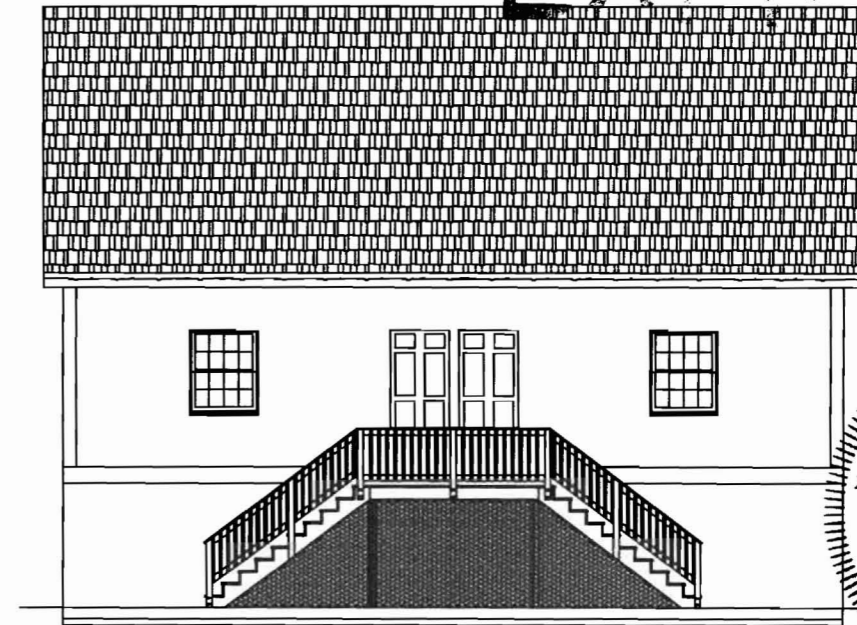
SIDE ELEVATION
SCALE: 1/4"=1'-0"



BACK ELEVATION
SCALE: 1/4"=1'-0"

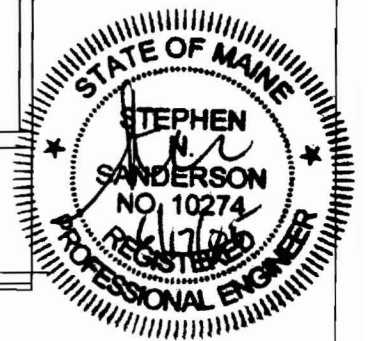


SIDE ELEVATION
SCALE: 1/4"=1'-0"



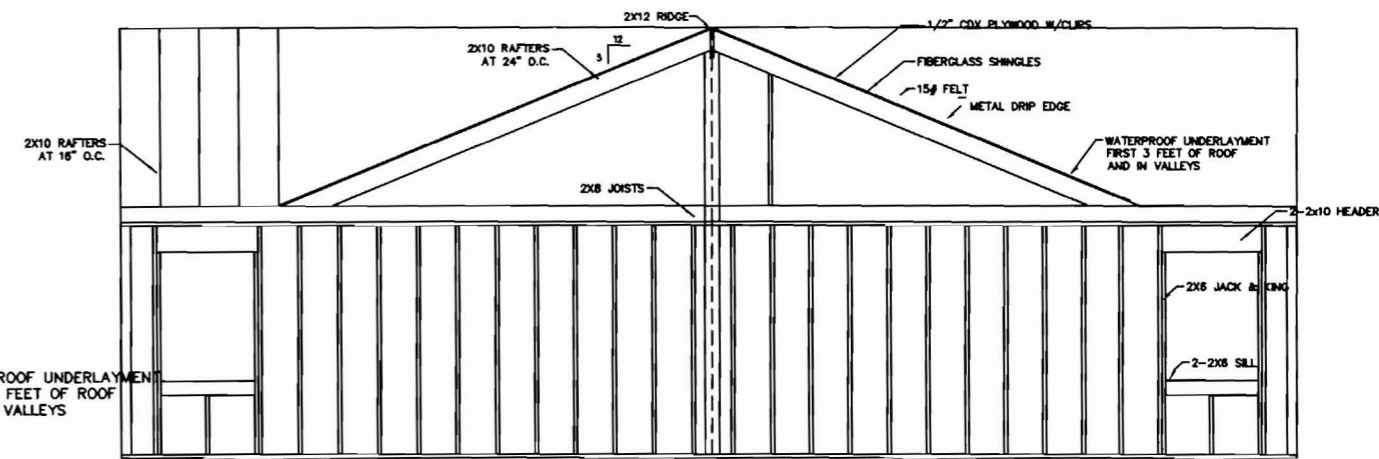
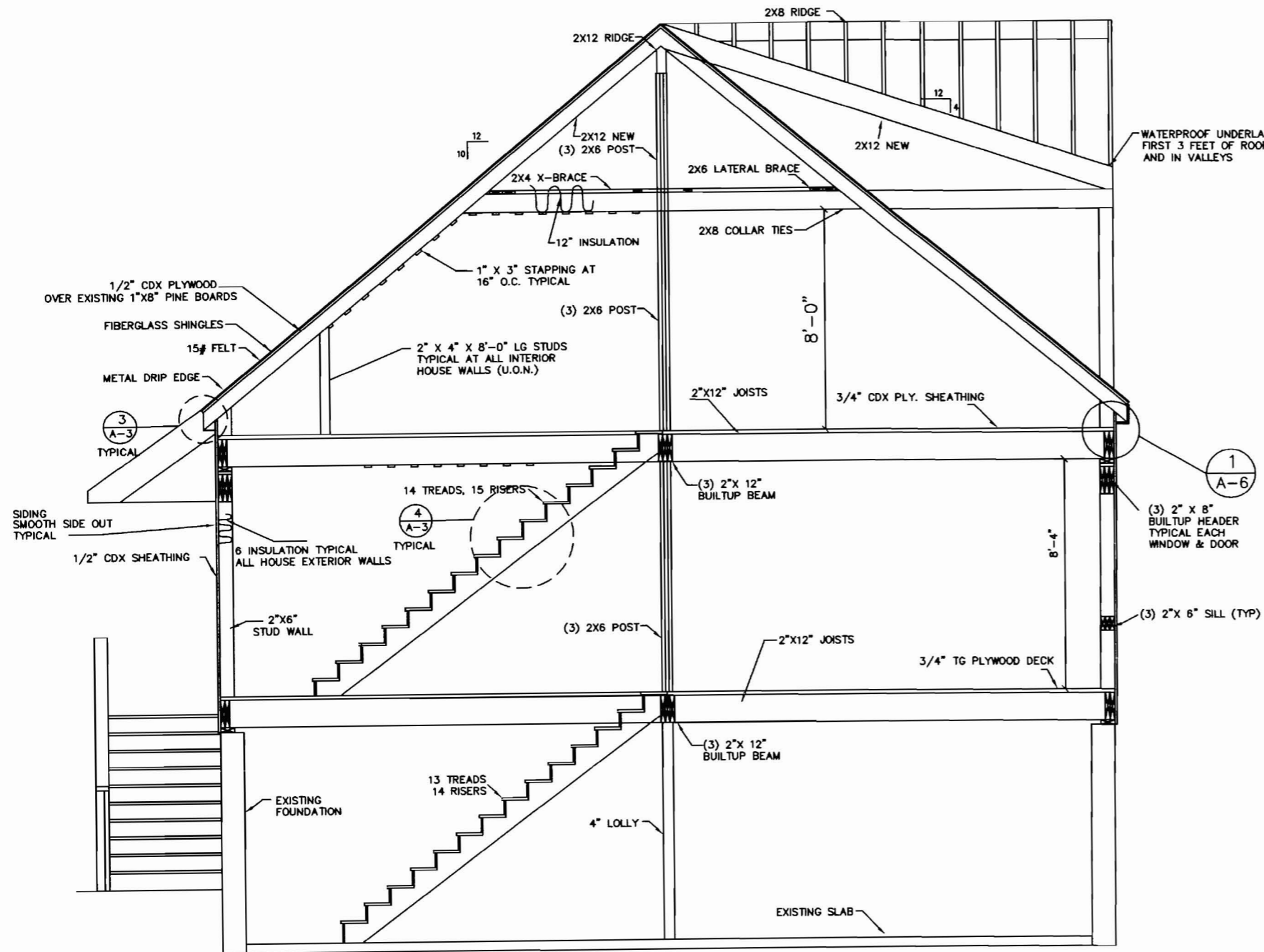
FRONT ELEVATION
SCALE: 1/4"=1'-0"

EXCISED



REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT		166 GRANT STREET PORTLAND, MAINE	
		ELEVATIONS 3 UNIT	
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	12-06-02
DRAWING NUMBER		A-4	
		REV.	



DETAIL 2
SCALE : 3/8" = 1'-0" A-1

DORMER ELEVATION

EXPIRED



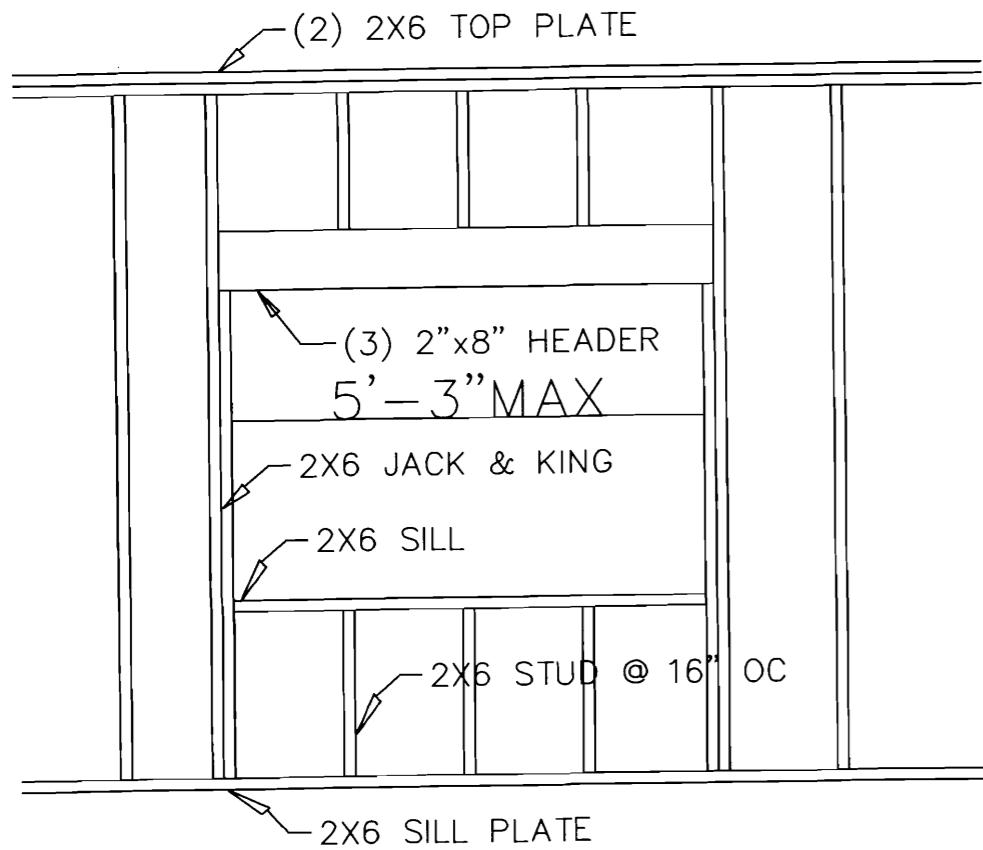
SECTION A
SCALE : 1/2" = 1'-0"

GENERAL NOTES:
1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

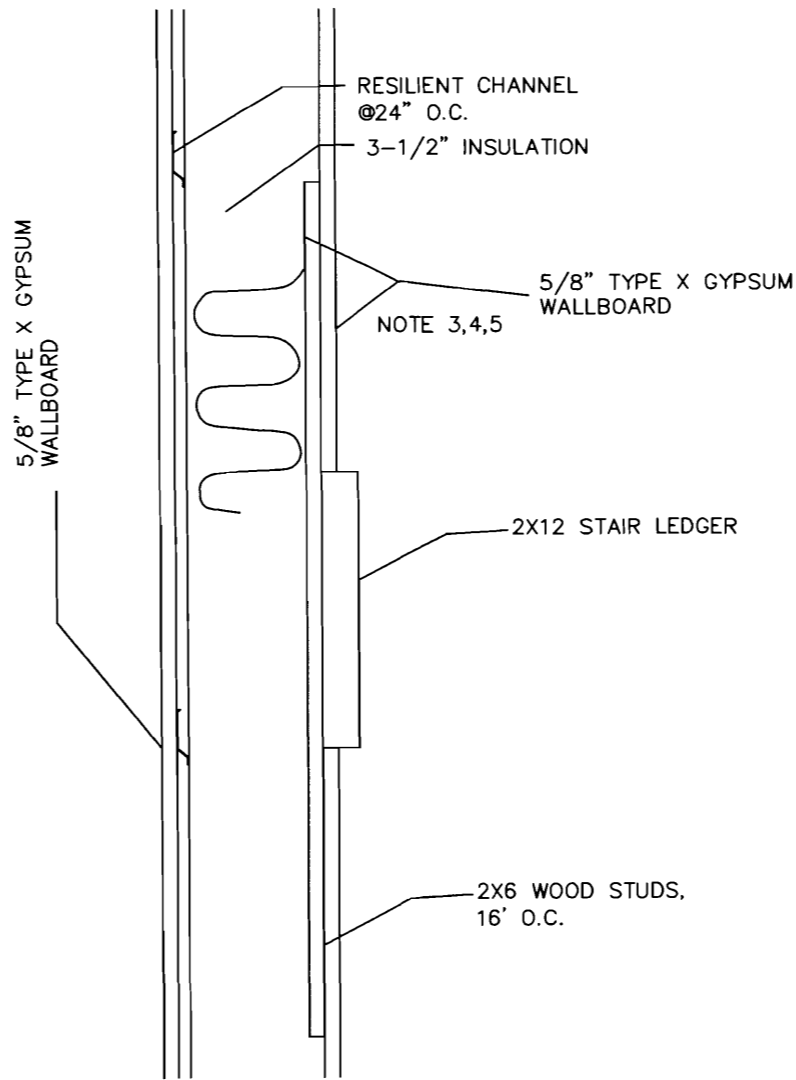
REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT	166 GRANT STREET PORTLAND, MAINE		
	SECTIONS AND DETAILS 3 UNIT		
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	12-08-02
DRAWING NUMBER		A-5	





DETAIL 1
SCALE : NTS
A5
TYPICAL STUDS & HEADER
AROUND WALL OPENINGS

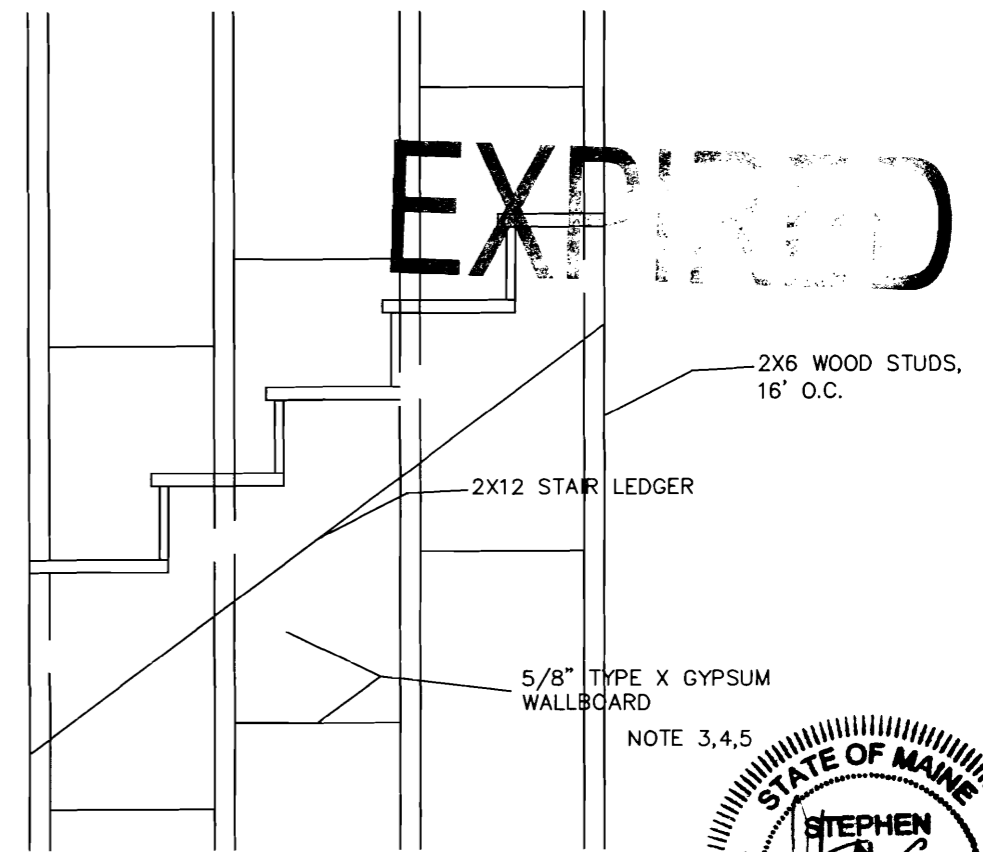


DETAIL 2
SCALE : NTS
A-1
TYPICAL STAIR ELEVATION FIREWALL SYSTEM
1 HOUR FIRE AND STC 50 SOUND RATING
UL 263 RATING / UL DESIGN U334

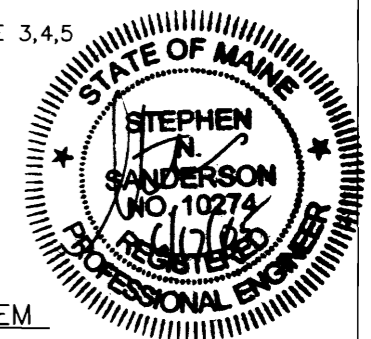
1. UL 263 - FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS.
2. UL 723 - TESTS FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
3. UL 1479 - FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS.

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
3. ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 12" O.C.
4. RESILIENT FURRING CHANNELS APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS 16" O.C. WITH 6D COATED NAILS, 2" LONG, 0.113" SHANK, 17/64" HEAD.
5. CALK OPENINGS AROUND PIPES, FIXTURES, AND OTHER ITEMS PROJECTING THROUGH FIRE RATED GYPSUM ASSEMBLYS FIRE TYPE F FIRE RATED CALK. UL 1479 LISTED.

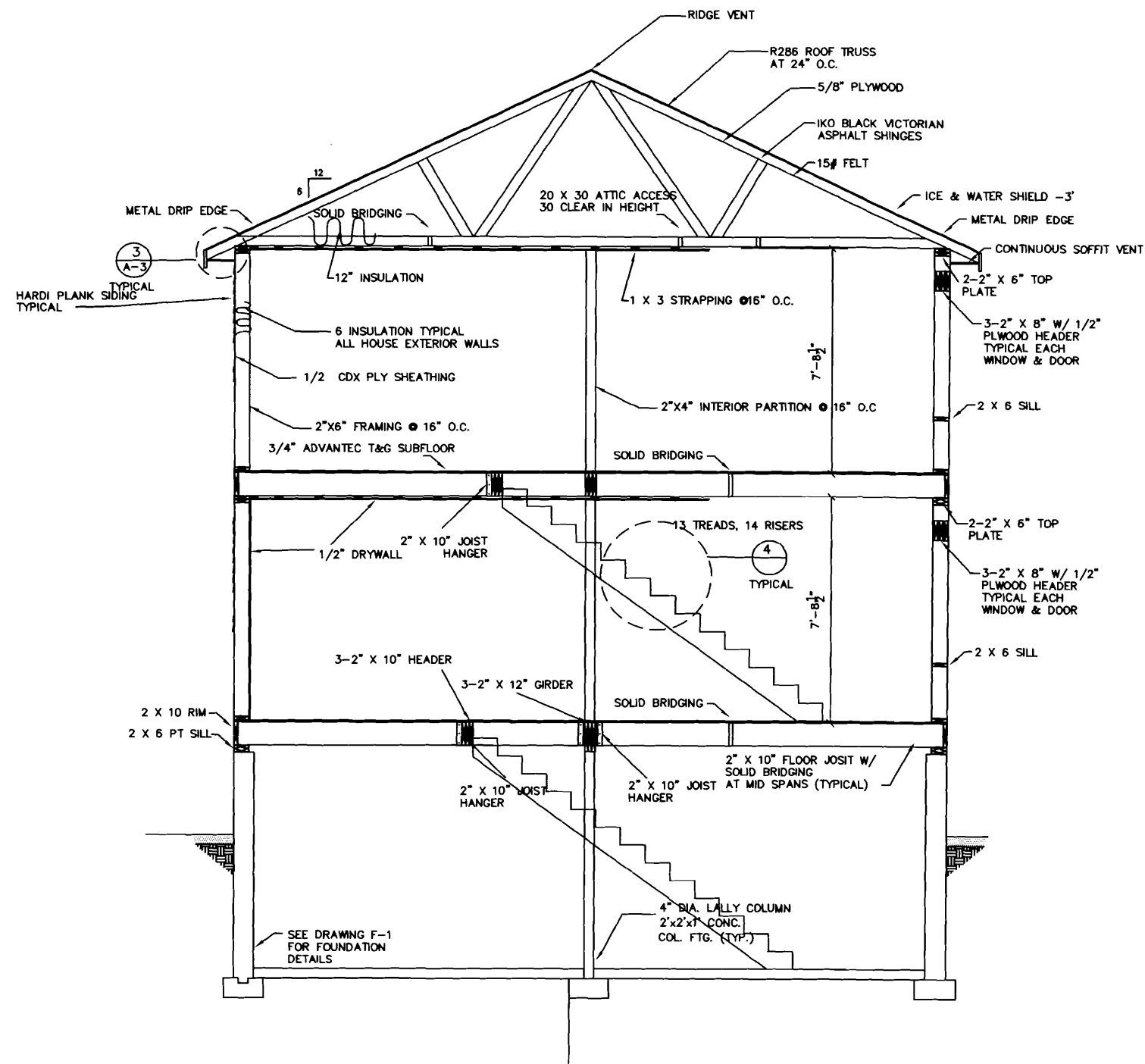


DETAIL 3
SCALE : NTS
A-6
TYPICAL STAIR ELEVATION FIREWALL SYSTEM
1 HOUR FIRE AND STC 50 SOUND RATING
UL 263 RATING / UL DESIGN U334



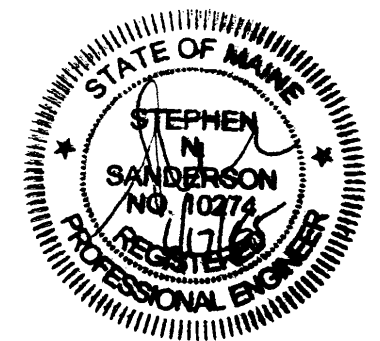
REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT		166 GRANT STREET PORTLAND, MAINE	
MISC. DETAILS 3 UNIT			
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	12-06-04
DRAWING NUMBER		A-6	
			REV.



SECTION 1
SCALE: 1/2" = 1'-0"

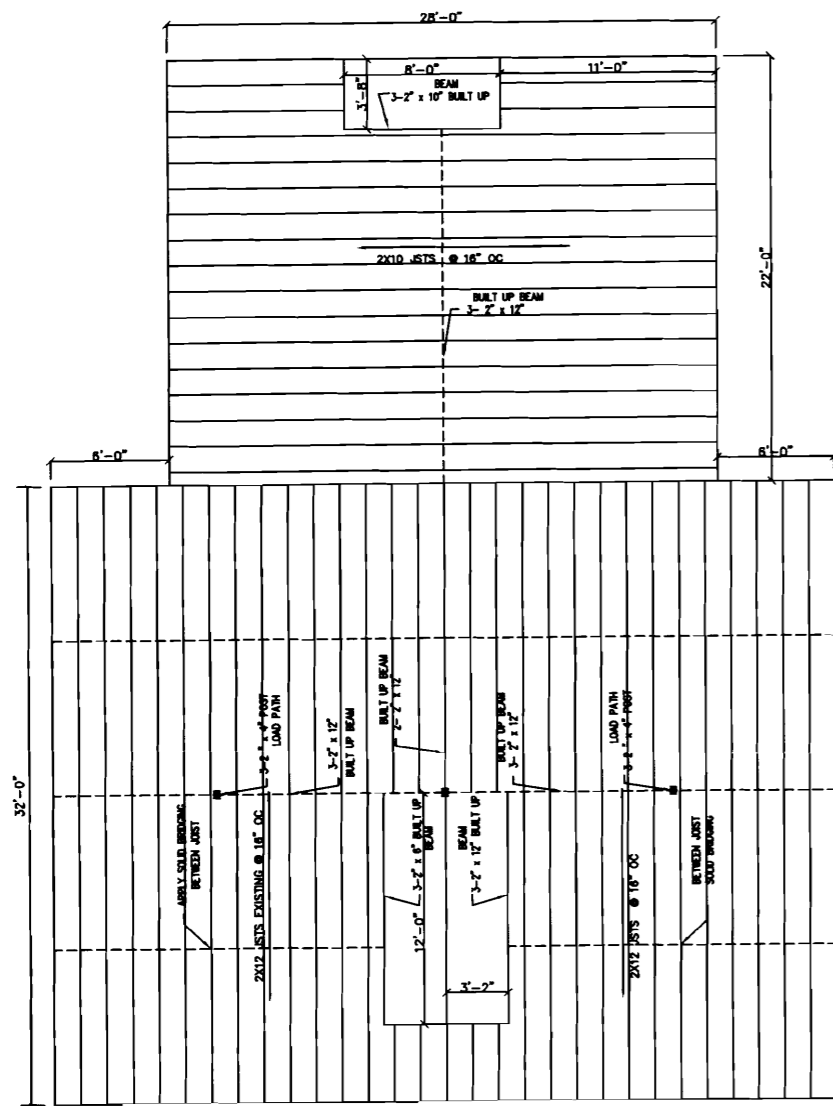
EXHIBIT



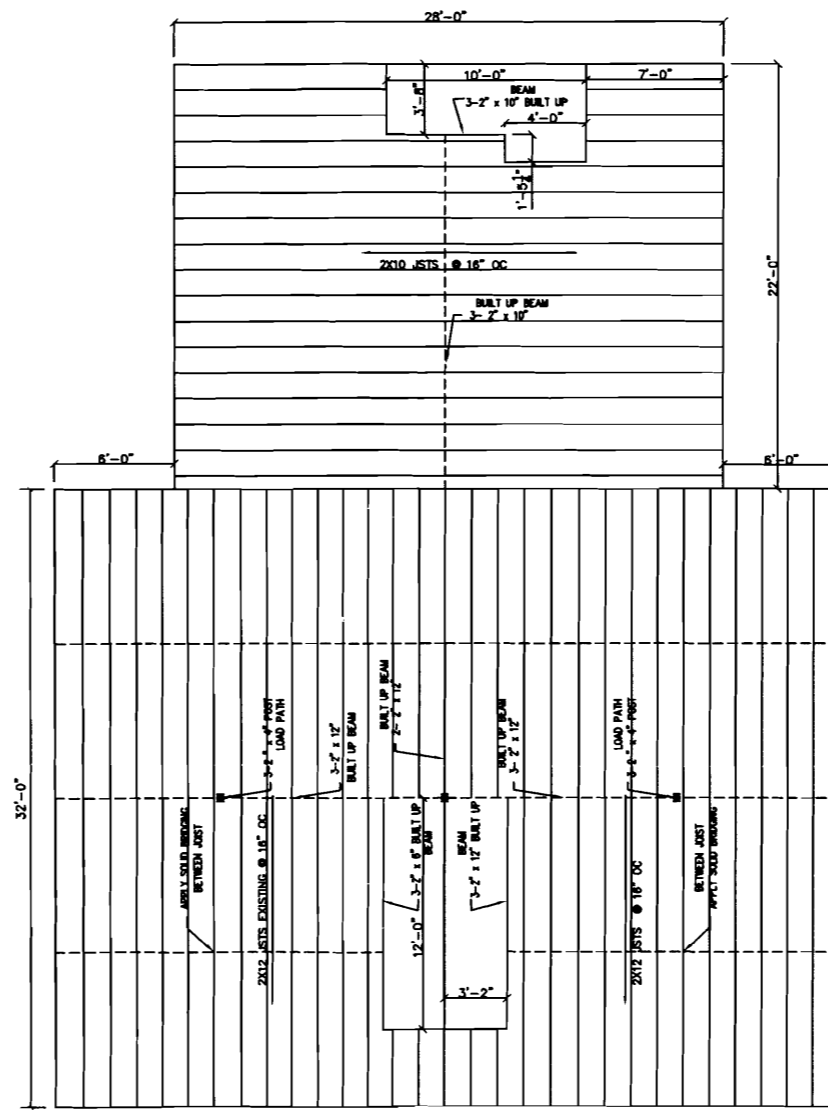
- GENERAL NOTES:
- SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
 - CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT			166 GRANT STREET PORTLAND, MAINE		
SECTIONS AND DETAILS 3 UNIT					
DRAWN BY: SNS		SCALE: AS NOTED		DATE: 12-08-02	
DRAWING NUMBER			A-7		
					REV.

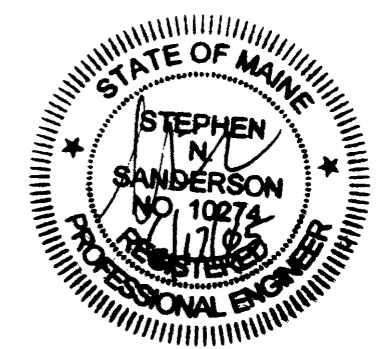


FIRST FLOOR FRAMING
SCALE: 1/4"=1'-0"



SECOND FLOOR FRAMING
SCALE: 1/4"=1'-0"

EXHIBIT



GENERAL NOTES:
1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV.	DATE	DESCRIPTION
A	4/18/05	FOR APPROVAL

CLIENT		166 GRANT STREET PORTLAND, MAINE	
FLOOR FRAMING PLAN 3 UNIT			
DRAWN BY: SNS	SCALE: AS NOTED	DATE: 12-06-02	
DRAWING NUMBER		A-8	REV.

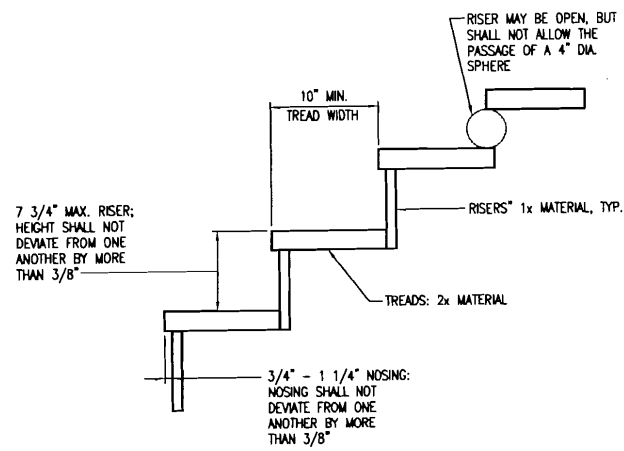


FIGURE 16: TREAD AND RISER DETAIL
SCALE: 1 1/2"=1'-0"

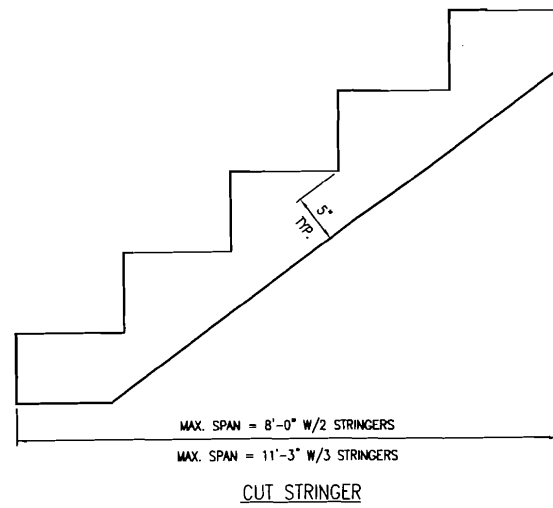
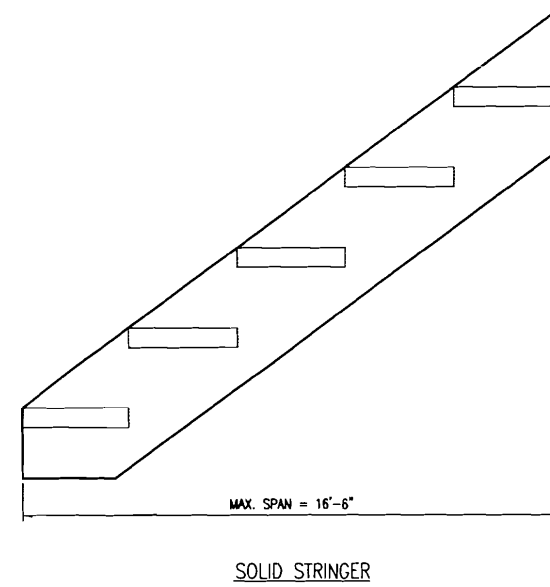


FIGURE 17: STAIR STRINGER REQUIREMENTS
SCALE: 1 1/2"=1'-0"



EXPIRED

FIGURE 18: TREAD CONNECTION REQUIREMENTS
SCALE: 1 1/2"=1'-0"

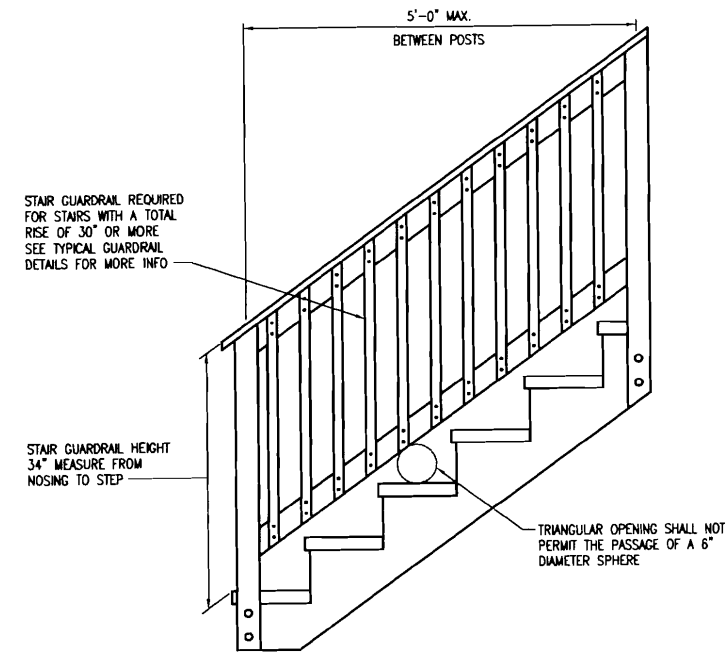


FIGURE 19: STAIR GUARD REQUIREMENTS
SCALE: 1"=1'-0"

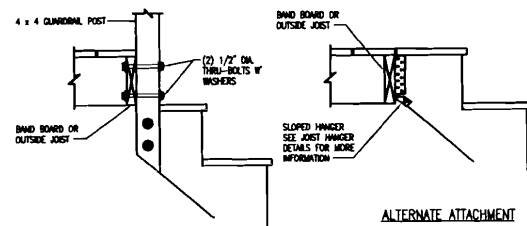


FIGURE 20: STAIR STRINGER CONNECTION DETAIL
SCALE: 1"=1'-0"

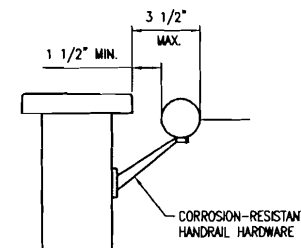


FIGURE 21: HANDRAIL REQUIREMENTS
SCALE: 1"=1'

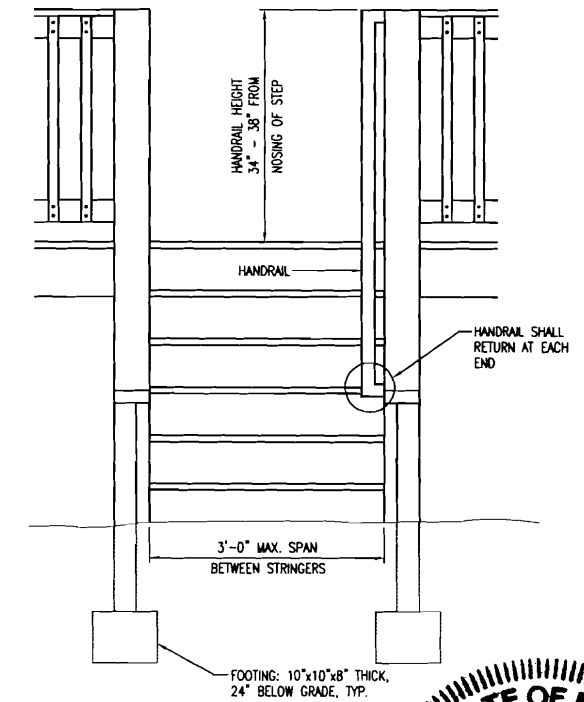
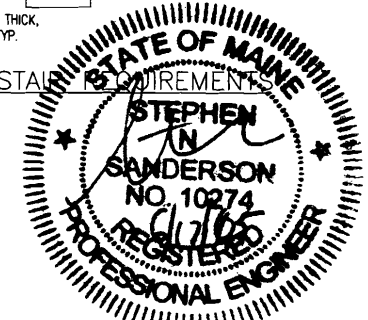


FIGURE 22: MISCELLANEOUS STAIR REQUIREMENTS
SCALE: 1 1/2"=1'-0"



CLIENT		166 GRANT STREET PORTLAND, MAINE	
TYPICAL DECK DETAILS			
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	06-30-04
DRAWING NUMBER		A-9	
REV.	DATE	DESCRIPTION	REV.
A	6/17/05	FOR APPROVAL	

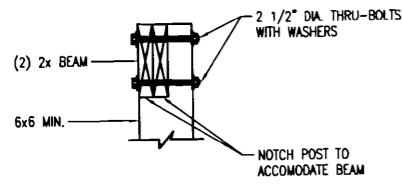


FIGURE 9: POST-TO-BEAM REQUIREMENTS
SCALE: 1 1/2"=1'-0"

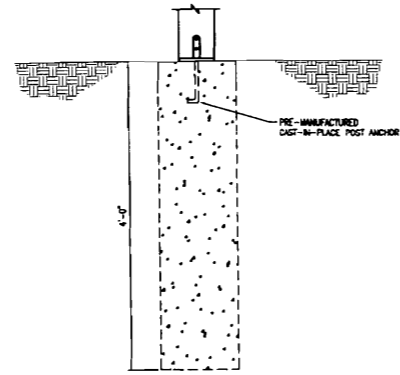


FIGURE 10: TYPICAL FOOTING DETAILS
SCALE: 1 1/2"=1'-0"

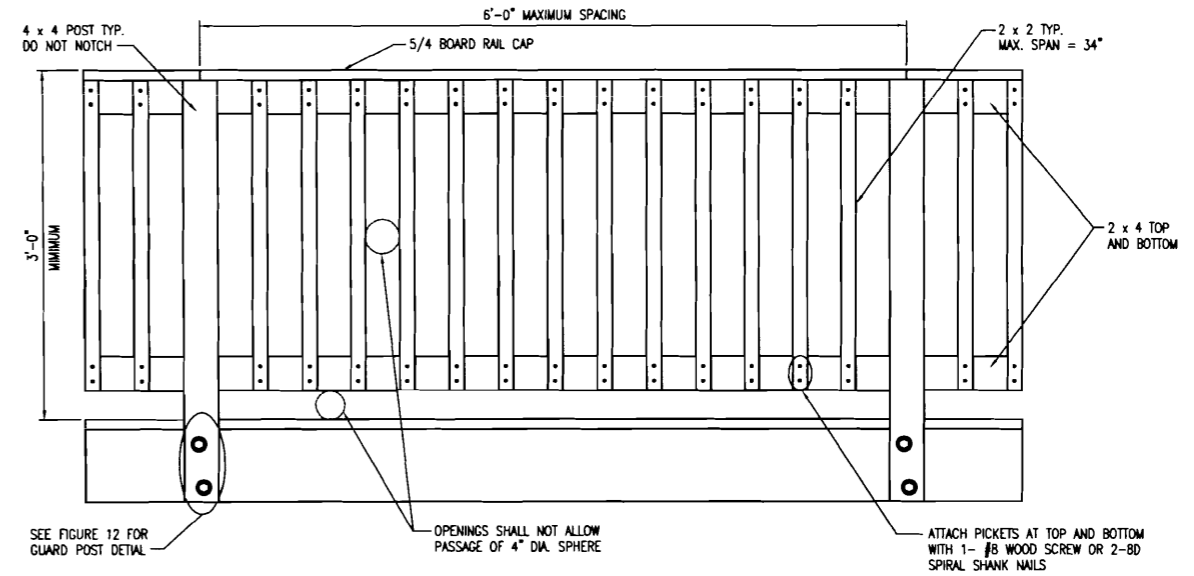


FIGURE 11: TYPICAL RAILING DETAIL
SCALE: 1 1/2"=1'-0"

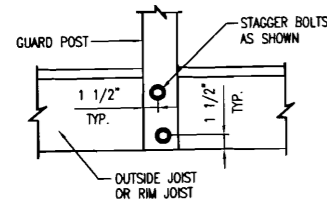


FIGURE 12: GUARD POST ATTACHMENT DETAIL
SCALE: 1 1/2"=1'-0"

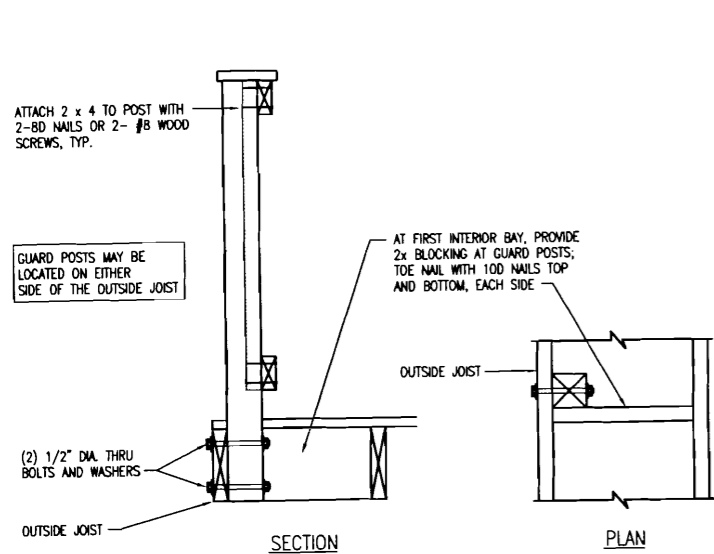


FIGURE 13: GUARD POST TO OUTSIDE JOIST DETAIL
SCALE: 1 1/2"=1'-0"

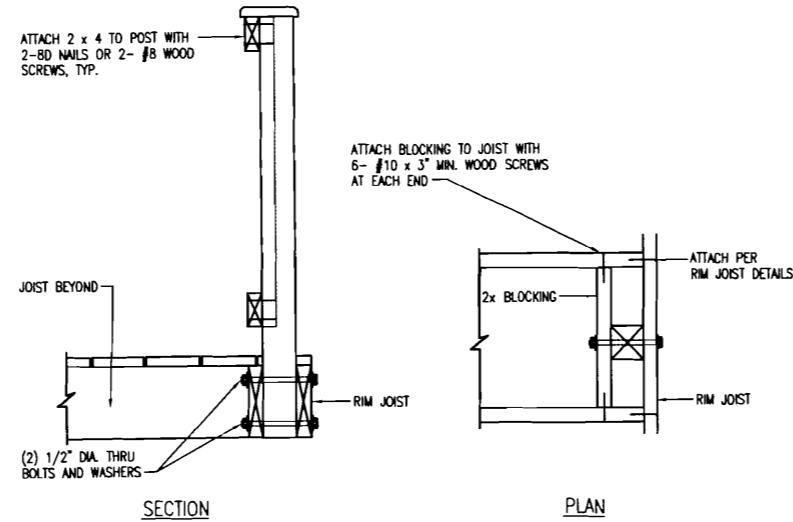


FIGURE 14: GUARD POST TO RIM JOIST DETAIL - OPTION 1
SCALE: 1 1/2"=1'-0"

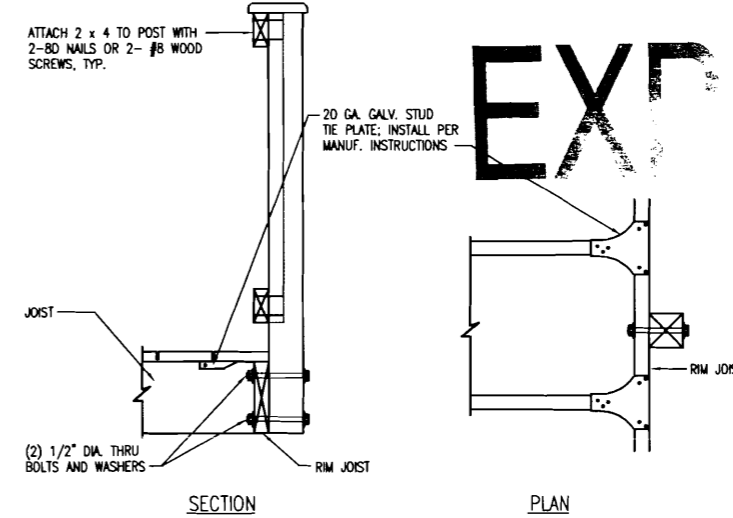
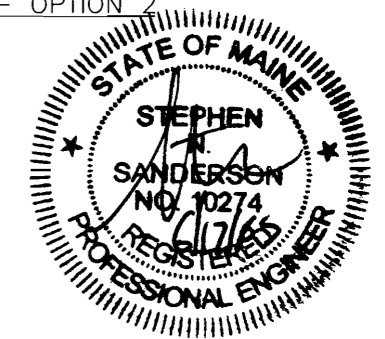


FIGURE 15: GUARD POST TO RIM JOIST DETAIL - OPTION 2
SCALE: 1 1/2"=1'-0"

EXPLODED



REV.	DATE	DESCRIPTION
-	-	-
A	6/17/05	FOR APPROVAL

CLIENT	166 GRANT STREET PORTLAND, MAINE		
TYPICAL DECK DETAILS			
DRAWN BY: SNS	SCALE: AS NOTED	DATE: 05-15-04	
DRAWING NUMBER A-10			REV.

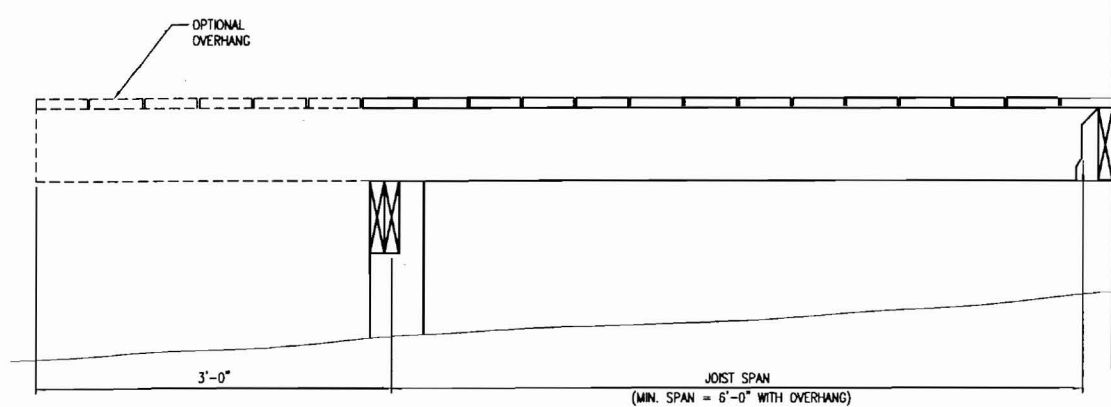


FIGURE 1: JOIST SPAN - DECK ATTACHED AT HOUSE
SCALE: 1 1/2"=1'-0"

TABLE 1: MAXIMUM JOIST SPANS

JOIST SIZE	JOIST SPACING ON CENTER	JOIST SPAN* (DOES NOT INCLUDE OVERHANG)
2x6	16"	9'-4"
2x6	24"	7'-10"
2x8	16"	12'-2"
2x8	24"	10'-1"
2x10	16"	15'-9"
2x10	24"	13'-1"
2x12	16"	18'-9"
2x12	24"	15'-4"

* SPANS BASED ON 40 PSF LVE LOAD, 10 PSF DEAD LOAD, SOUTHERN PINE #2, NORMAL LOADING DURATION, WET SERVICE CONDITIONS.

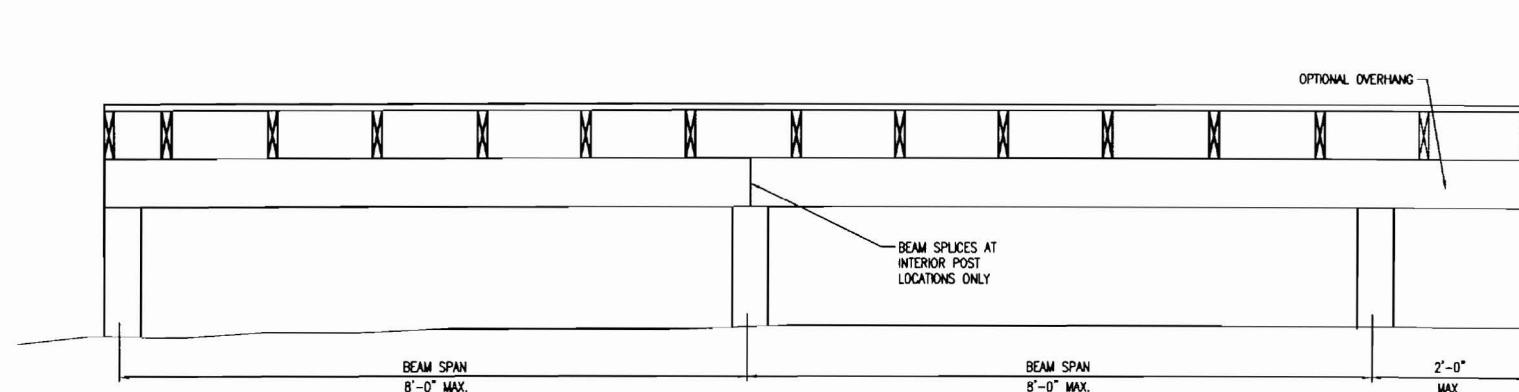


FIGURE 2: BEAM SPAN TYPES
SCALE: 1"=1'-0"

TABLE 2: MAXIMUM BEAM SIZE FOR JOISTS WITH NO OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-8"	(2) 2x6*
6'-8" - 11'-2"	(2) 2x8*
11'-2" - 15'-9"	(2) 2x10*
15'-9" - 18'-9"	(2) 2x12

* YOU MAY SUBSTITUTE A LARGER BEAM SIZE FOR THE ONE SHOWN IN THE TABLE. FOR INSTANCE, IF THE TABLE REQUIRES (2) 2x8, YOU MAY SUBSTITUTE A (2) 2x10 OR (2) 2x12.

TABLE 3: MINIMUM BEAM SIZE FOR JOISTS WITH OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-0"	(2) 2x6*
6'-0" - 12'-8"	(2) 2x10*
12'-8" - 18'-9"	(2) 2x12*

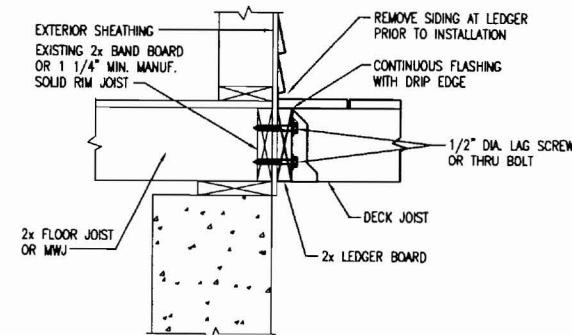


FIGURE 3: ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD
SCALE: 1 1/2"=1'-0"

GENERAL NOTES

- ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACQ OR CH-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS FOR GROUND CONTACT.
- ALL NAILS SHALL BE SPIRAL OR ANNULAR.
- ALL SCREWS AND NAIL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL HARDWARE (JOIST HANGER, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
- DECKS CONSTRUCTED ACCORDING TO THESE DRAWINGS ARE NOT APPROVED FOR FUTURE HOT TUB INSTALLATIONS.
- DECKS SHALL NOT BE ATTACHED TO HOUSE OVERHANGS, BAT WINDOWS, BRICK VENEERS, OR CHIMNEYS.
- ALL DECKING MATERIAL SHALL BE COMPOSED OF 2x6 OR 5/4 (TWO-QUARTER) BOARD. ATTACH DECKING TO EACH JOIST WITH 3-8D NAILS OR 2-#8 SCREWS. DECKING MAY BE PLACED FROM AN ANGLE PERPENDICULAR TO THE JOISTS TO AN ANGLE OF 45 DEGREES TO THE JOISTS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF 4 JOISTS.
- SIDING OR THE EXTERIOR FINISH SYSTEM MUST BE REMOVED PRIOR TO THE INSTALLATION OF THE LEDGER BOARD. FLASHING IS REQUIRED AT ANY LEDGER BOARD CONNECTION TO A WALL OF WOOD FRAMED CONSTRUCTION AND SHALL BE COMPOSED OF COPPER (ATTACHED USING COPPER NAILS), STAINLESS STEEL, LV RESISTANT PLASTIC OR GALVANIZED STEEL COATED WITH 1.85 OZ/SF OF ZINC (G-185 COATING).
- LAG SCREWS SHALL HAVE A MINIMUM DIAMETER OF 1/2" AND SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. EACH LAG SCREW SHALL HAVE LEAD (PILOT) HOLES DRILLED AS FOLLOWS:
 - DRILL A 1/2" DIAMETER HOLE IN THE LEDGER BOARD.
 - DRILL A 5/16" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL OF THE EXISTING HOUSE. DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL.

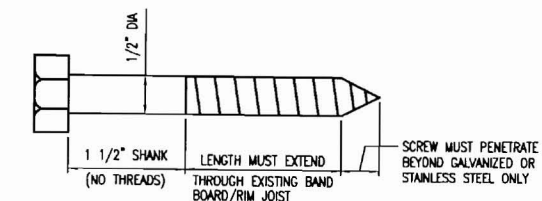


FIGURE 5: LAG SCREW REQUIREMENTS
SCALE: 1" = 1"

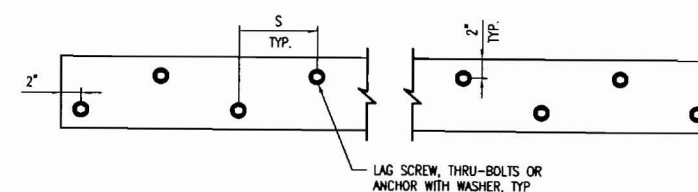


FIGURE 4: LEDGER BOARD FASTENER SPACING AND CLEARANCES
SCALE: 1 1/2"=1'-0"

JOIST SPAN	S (SPACING), ON CENTER
0 - 8'	10"
8' - 10'	8"
10' - 14'	6"
14' - 18'	5"
GREATER THAN 18'	4"

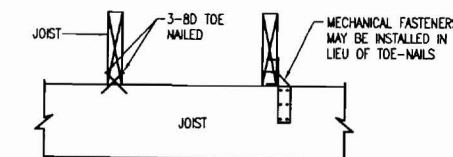
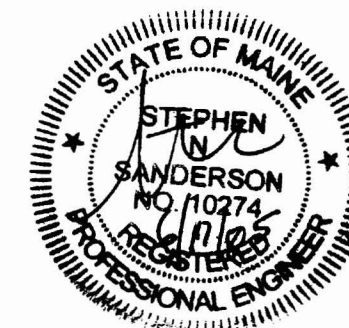


FIGURE 6: JOIST-TO-BEAM DETAIL
SCALE: 1 1/2" = 1'-0"



EXPIRED

REV.	DATE	DESCRIPTION
A	6/17/05	FOR APPROVAL

CLIENT 166 GRANT STREET PORTLAND, MAINE		
TYPICAL DECK DETAILS		
DRAWN BY: SNS	SCALE: AS NOTED	DATE: 06-30-04
DRAWING NUMBER A-11		REV.

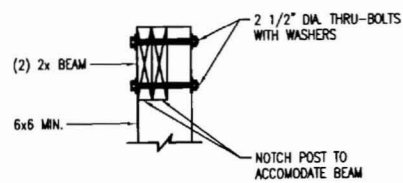


FIGURE 9: POST-TO-BEAM REQUIREMENTS
SCALE: 1 1/2"=1'-0"

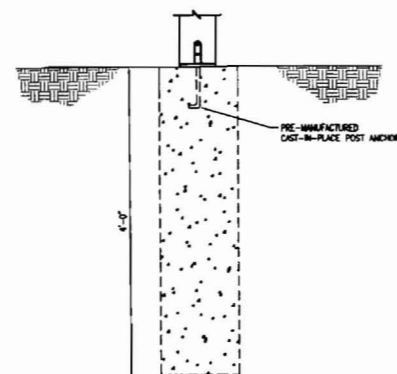


FIGURE 10: TYPICAL FOOTING DETAILS
SCALE: 1 1/2"=1'-0"

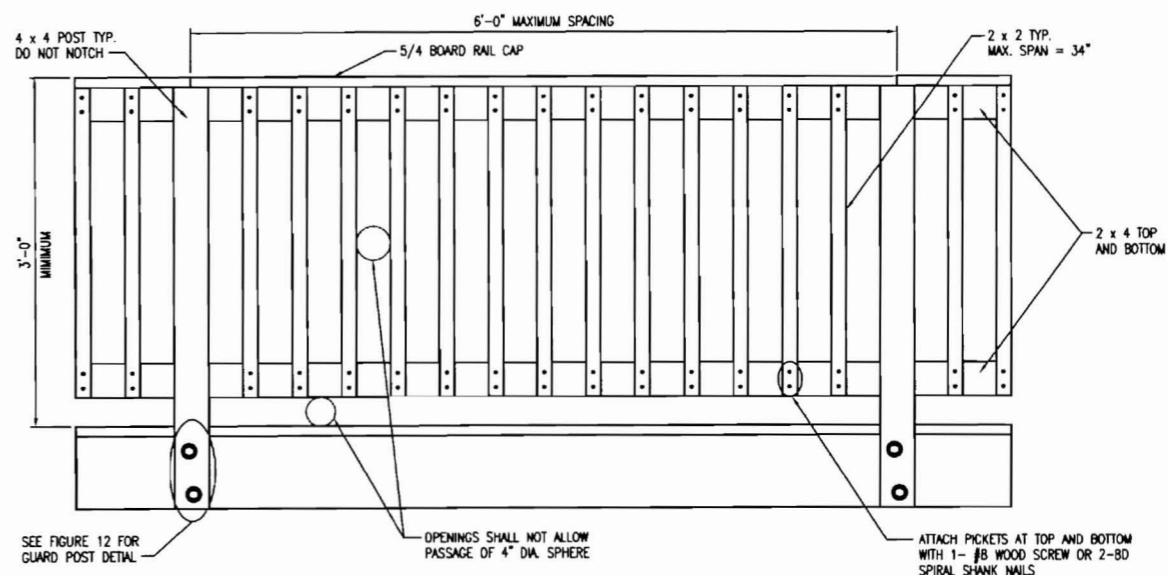


FIGURE 11: TYPICAL RAILING DETAIL
SCALE: 1 1/2"=1'-0"

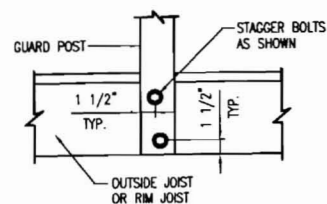


FIGURE 12: GUARD POST ATTACHMENT DETAIL
SCALE: 1 1/2"=1'-0"

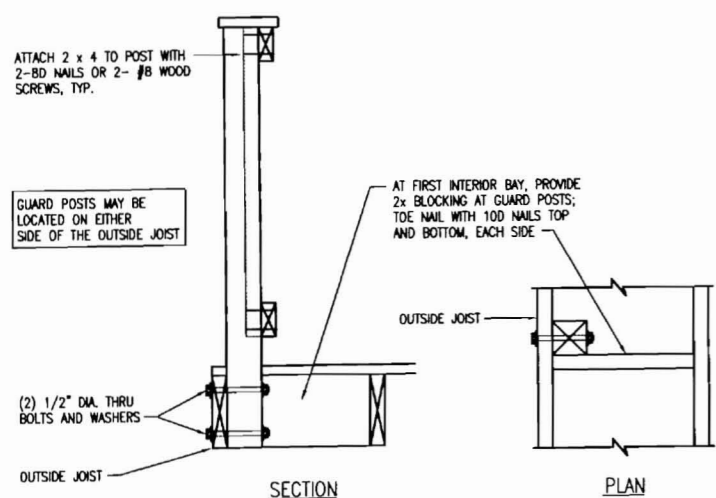


FIGURE 13: GUARD POST TO OUTSIDE JOIST DETAIL
SCALE: 1 1/2"=1'-0"

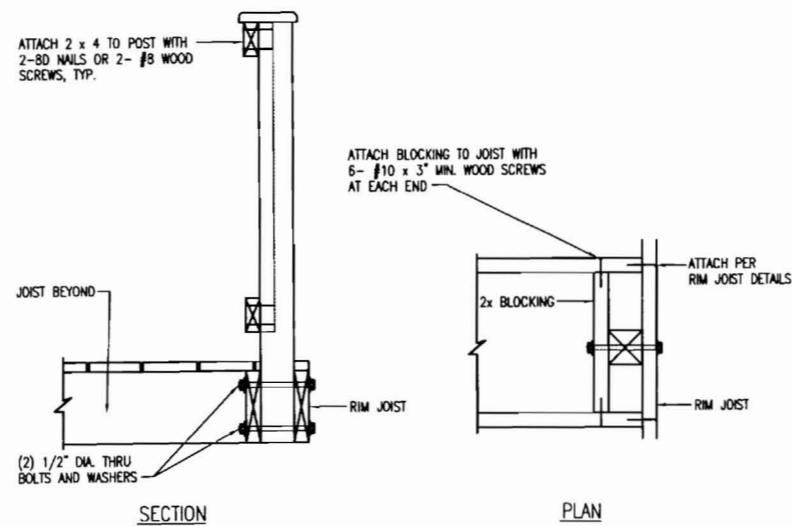


FIGURE 14: GUARD POST TO RIM JOIST DETAIL - OPTION 1
SCALE: 1 1/2"=1'-0"

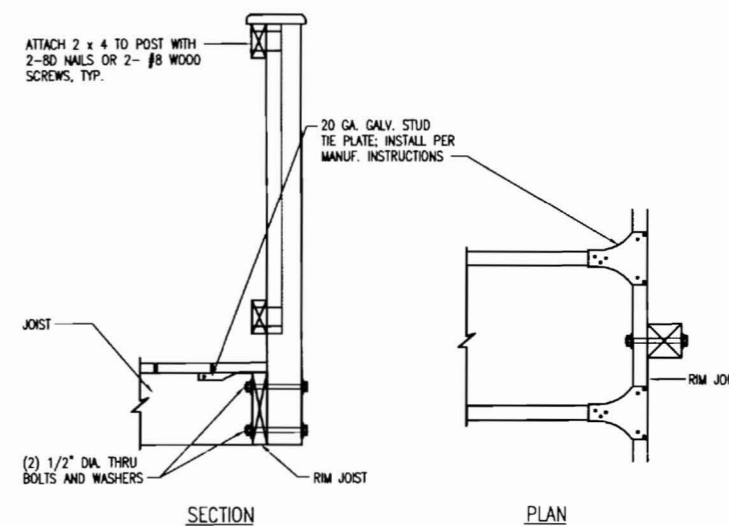


FIGURE 15: GUARD POST TO RIM JOIST DETAIL - OPTION 2
SCALE: 1 1/2"=1'-0"

EXPIRED



REV.	DATE	DESCRIPTION
A	6/17/05	FOR APPROVAL

CLIENT			166 GRANT STREET PORTLAND, MAINE		
TYPICAL DECK DETAILS					
DRAWN BY: SNS		SCALE: AS NOTED		DATE: 05-15-04	
DRAWING NUMBER				A-10	
					REV.

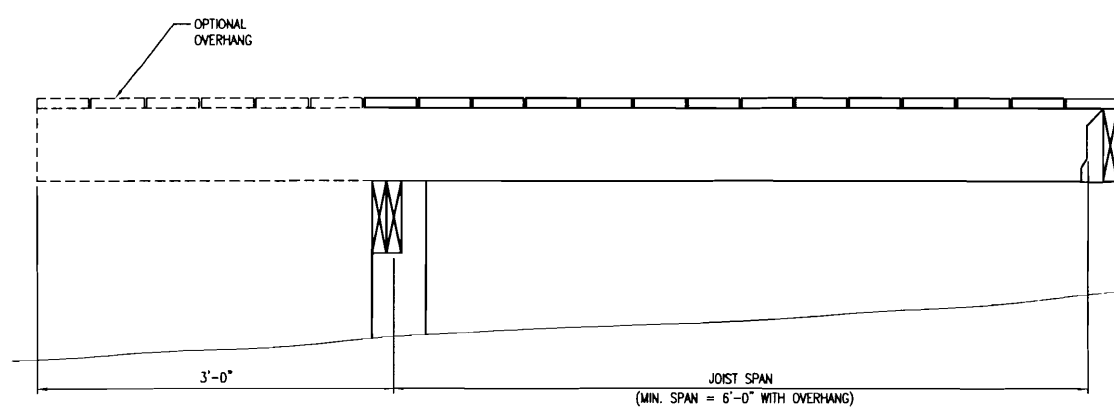


FIGURE 1: JOIST SPAN - DECK ATTACHED AT HOUSE
SCALE: 1 1/2"=1'-0"

TABLE 1: MAXIMUM JOIST SPANS

JOIST SIZE	JOIST SPACING ON CENTER	JOIST SPAN* (DOES NOT INCLUDE OVERHANG)
2x6	16"	9'-4"
2x6	24"	7'-10"
2x8	16"	12'-2"
2x8	24"	10'-1"
2x10	16"	15'-9"
2x10	24"	13'-1"
2x12	16"	18'-9"
2x12	24"	15'-4"

* SPANS BASED ON 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, SOUTHERN PINE #2, NORMAL LOADING DURATION, WET SERVICE CONDITIONS.

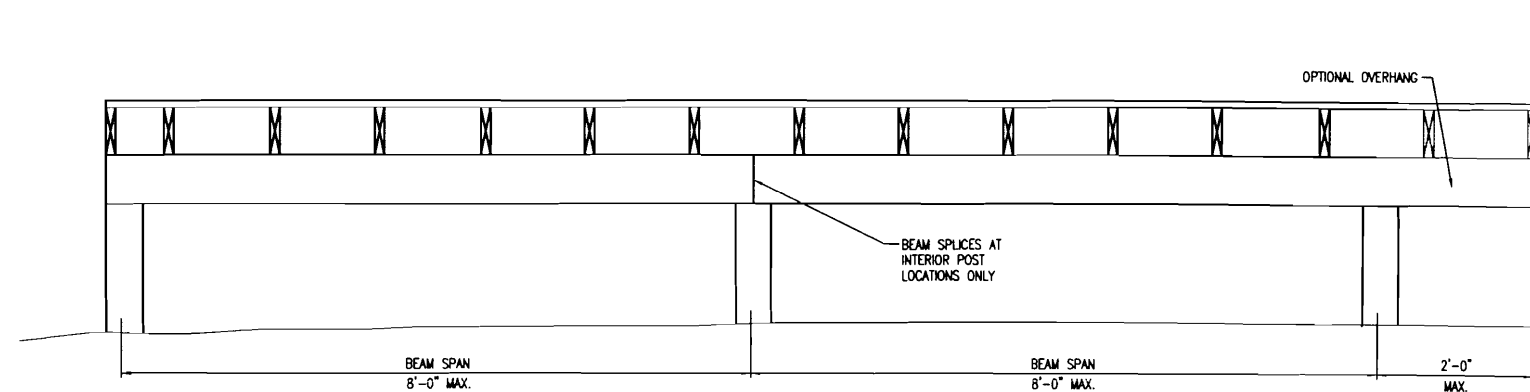


FIGURE 2: BEAM SPAN TYPES
SCALE: 1"=1'-0"

TABLE 2: MAXIMUM BEAM SIZE FOR JOISTS WITH NO OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-8"	(2) 2x6*
6'-8" - 11'-2"	(2) 2x8*
11'-2" - 15'-9"	(2) 2x10*
15'-9" - 18'-9"	(2) 2x12

* YOU MAY SUBSTITUTE A LARGER BEAM SIZE FOR THE ONE SHOWN IN THE TABLE. FOR INSTANCE, IF THE TABLE REQUIRES (2) 2x8, YOU MAY SUBSTITUTE A (2) 2x10 OR (2) 2x12.

TABLE 3: MINIMUM BEAM SIZE FOR JOISTS WITH OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-0"	(2) 2x6*
6'-0" - 12'-8"	(2) 2x10*
12'-8" - 18'-9"	(2) 2x12*

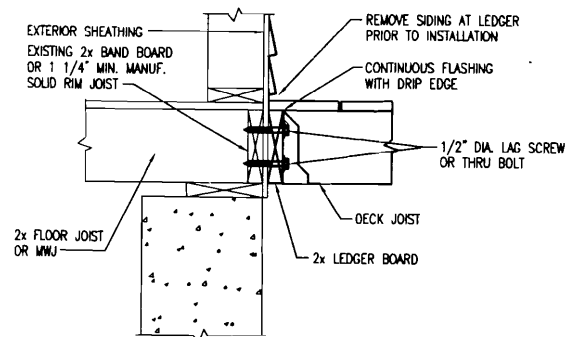


FIGURE 3: ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD
SCALE: 1 1/2"=1'-0"

GENERAL NOTES

- ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACC OR CH-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS FOR GROUND CONTACT.
- ALL NAILS SHALL BE SPIRAL OR ANNULAR.
- ALL SCREWS AND NAIL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL HARDWARE (JOIST HANGER, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
- DECKS CONSTRUCTED ACCORDING TO THESE DRAWING ARE NOT APPROVED FOR FUTURE HOT TUB INSTALLATIONS.
- DECK SHALL NOT BE ATTACHED TO HOUSE OVERHANGS, BAT WINDOWS, BRICK VENEERS, OR CHIMNEYS.
- ALL DECKING MATERIAL SHALL BE COMPOSED OF 2x6 OR 5/4 (FIVE-QUARTER) BOARD. ATTACH DECKING TO EACH JOIST WITH 2-8D NAILS OR 2-#8 SCREWS. DECKING MAY BE PLACED FROM AN ANGLE PERPENDICULAR TO THE JOISTS TO AN ANGLE OF 45 DEGREES TO THE JOISTS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF 4 JOISTS.
- SIDING OR THE EXTERIOR FINISH SYSTEM MUST BE REMOVED PRIOR TO THE INSTALLATION OF THE LEDGER BOARD. FLASHING IS REQUIRED AT ANY LEDGER BOARD CONNECTION TO A WALL OF WOOD FRAMED CONSTRUCTION AND SHALL BE COMPOSED OF COPPER (ATTACHED USING COPPER NAILS), STAINLESS STEEL, UV RESISTANT PLASTIC OR GALVANIZED STEEL COATED WITH 1.85 OZ/SF OF ZINC (G-185 COATING).
- LAG SCREWS SHALL HAVE A MINIMUM DIAMETER OF 1/2" AND SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. EACH LAG SCREW SHALL HAVE LEAD (PILOT) HOLES DRILLED AS FOLLOWS:
 - DRILL A 1/2" DIAMETER HOLE INTO THE LEDGER BOARD.
 - DRILL A 5/16" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL OF THE EXISTING HOUSE. DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL.

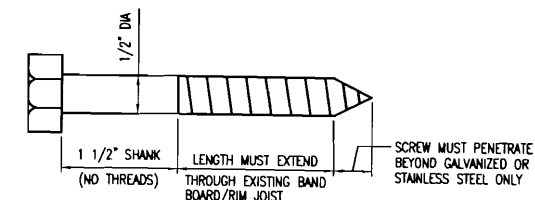


FIGURE 5: LAG SCREW REQUIREMENTS
SCALE: 1" = 1"

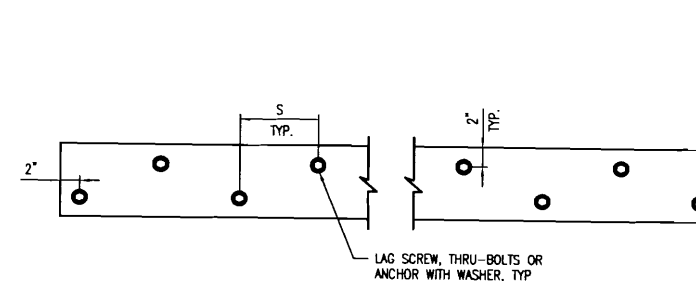


FIGURE 4: LEDGER BOARD FASTENER SPACING AND CLEARANCES
SCALE: 1 1/2"=1'-0"

JOIST SPAN	S (SPACING), ON CENTER
0 - 8'	10"
8' - 10'	8"
10' - 14'	6"
14' - 18'	5"
GREATER THAN 18'	4"

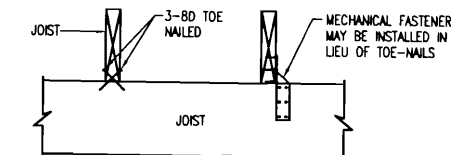
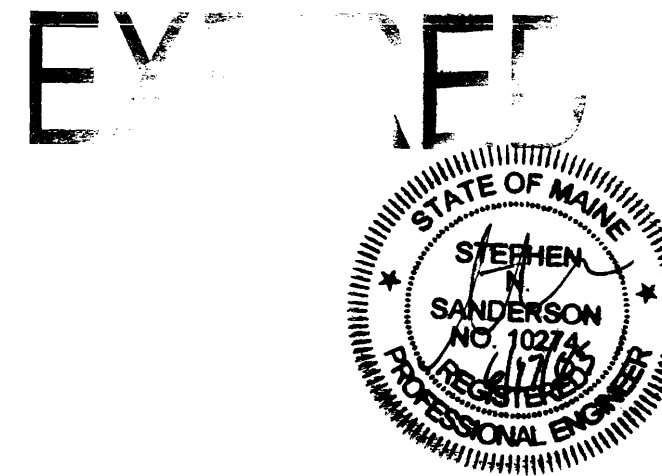


FIGURE 6: JOIST-TO-BEAM DETAIL
SCALE: 1 1/2" = 1'-0"



CLIENT	166 GRANT STREET PORTLAND, MAINE		
TYPICAL DECK DETAILS			
DRAWN BY:	SNS	SCALE:	AS NOTED
		DATE:	06-30-04
DRAWING NUMBER		A-11	
REV.	DATE	DESCRIPTION	
A	6/17/05	FOR APPROVAL	

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 053 C042001
Location 166 GRANT ST
Land Use ~~TWO FAMILY~~ *7me Shows 1DY*
Owner Address BACK BAY PROPERTIES LLC
 878 NORTH RD
 NORTH YARMOUTH ME 04096
Book/Page 21956/138
Legal 53-C-42
 GRANT ST 164-166
 8592 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$52,410	\$74,150	\$126,560

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$71,000	\$98,450	\$169,450

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1920	Style Duplex	Story Height 1.5	Sq. Ft. 2240	Total Acres 0.197		
Bedrooms 4	Full Baths 4	Half Baths	Total Rooms 8	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date 11/01/2004	Type LAND + BLDING	Price \$139,000	Book/Page 21956-138
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Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2005-0106
Application I. D. Number
5/18/2005
Application Date
3 Unit
Project Name/Description

Stephen Sanderson
Applicant
878 North Road, N. Yarmouth, ME 04097
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 749-3998 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

166 - 166 Grant St, Portland, Maine
Address of Proposed Site
053 C042001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3,472 s.f.
Proposed Building square Feet or # of Units Acreage of Site **R6**
Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **5/20/2005**

Zoning Approval Status:

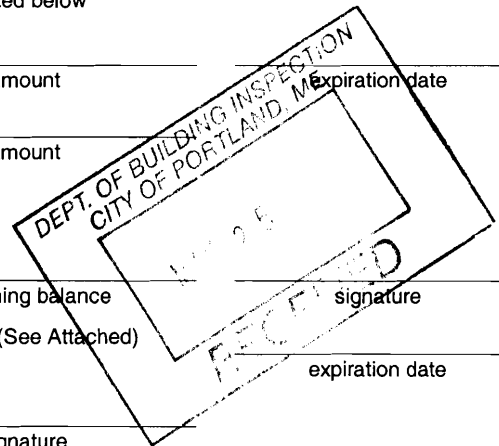
Reviewer **Mouge - Insp.**
 Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |



From: Sarah Hopkins
To: Marge Schmuckal
Date: Thu, Jul 21, 2005 8:41 AM
Subject: Re: 166 Grant St

Kandi is working on this one. It is very close, if not yet approved.
Also, I signed off on 158 Grant last week.

>>> Marge Schmuckal 07/20/2005 5:40:14 PM >>>
sarah,
Is 166 Grant Street approved for site plan review? #2005-0106 ?
I am ready with the zoning side of what I last saw that they were doing.
Marge

CC: Kandi Talbot

EXPIRED

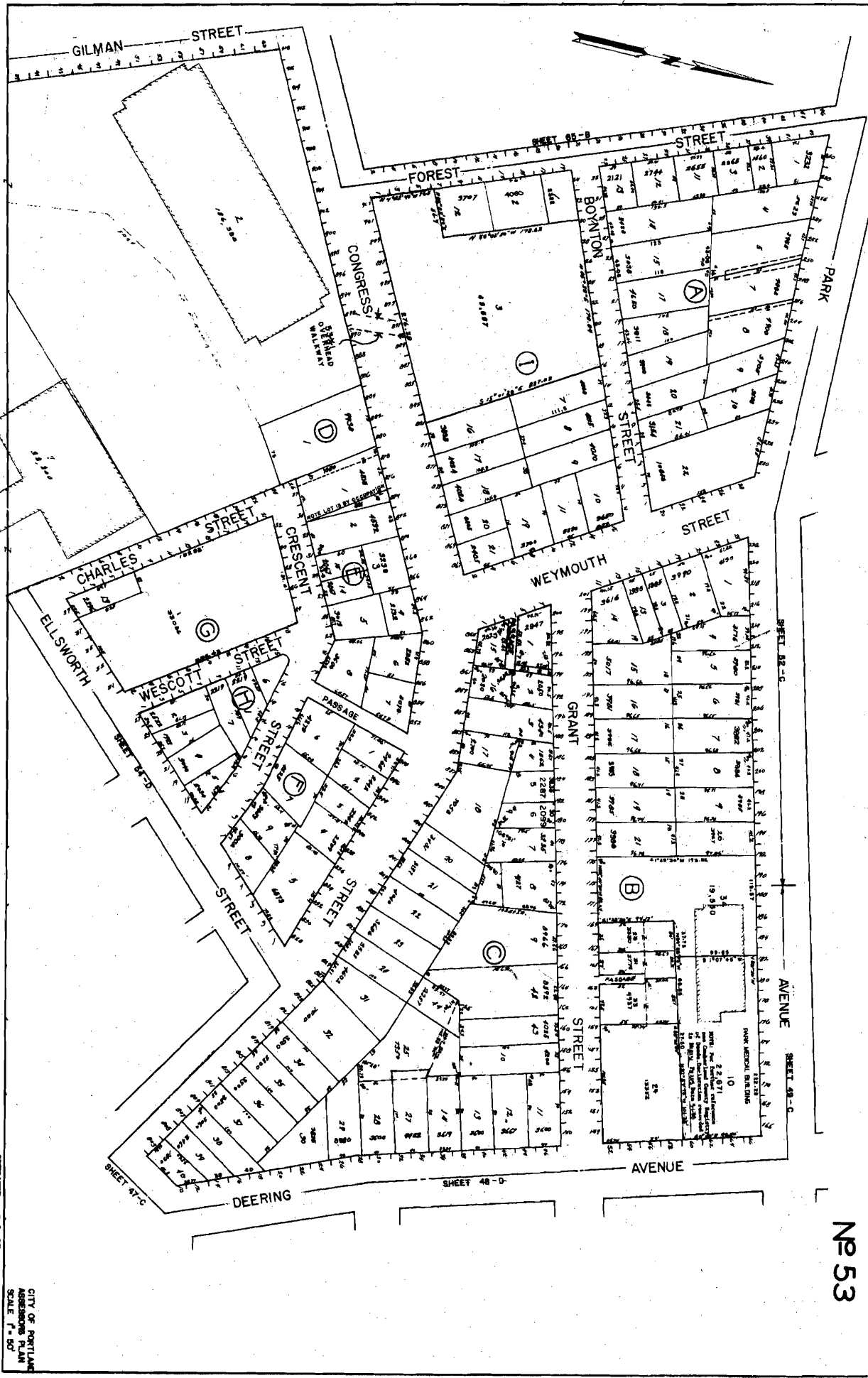
From: Mike Nugent
To: Marge Schmuckal
Date: 2/14/2006 1:37:44 PM
Subject: 166 Grant St. permit #050844

Mr sanders says he got planning approval.

From: Marge Schmuckal
To: Kandi Talbot
Date: 2/14/2006 3:54:30 PM
Subject: Fwd: 166 Grant St. permit #050844

Kandi,
Can I get a stamped approved site plan for 166 Grant Street?
Marge

CC: Mike Nugent



№ 53

RETAINED 3-8-87
 CITY OF PORTLAND
 ASSESSORS PLAN
 SCALE 1" = 50'