

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080464
PERMIT ISSUED

This is to certify that KURAN BARBARA LYNN Myman Builders LLC

has permission to Remove existing 6'x15 deck and replace with a 8'x15 Deck

AT 11 BOYNTON ST

053 A020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Carrie Bank 5/13/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

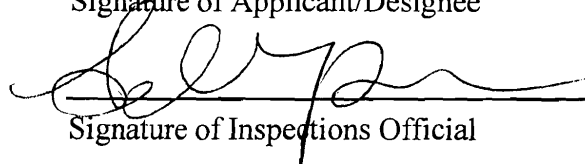
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



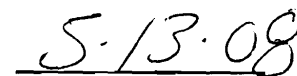
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0464	Date Applied For: 05/02/2008	CBL: 053 A020001
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Location of Construction: 11 BOYNTON ST	Owner Name: KURAN BARBARA LYNN	Owner Address: 11 BOYNTON ST	Phone: () 899-9343
Business Name:	Contractor Name: Lyman Builders LLC	Contractor Address: 172 Wodleigh Pond Rd Lyman	Phone: (207) 247-2400
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home -Remove existing 6'x15 deck and replace with a 8'x15' Deck	Proposed Project Description: Remove existing 6'x15 deck and replace with a 8'x15' Deck
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/13/2008
Note: 5/12/08 Lannie routed to Jeanie from Ann M.			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) With the 25 SF addition to the existing side deck, the lot coverage is 46 % of 50% allowed 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/13/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Using existing footings and concrete filled lally columns for support. 2) Inspector, see plan for detail on footing spacing and cantilever span allowance. 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			

Comments:
5/12/2008-jmb: Owners friend came in to help as the insurance company will not continue coverage until the entry deck is rebuilt. I did a preliminary review at the counter and gave him a list of item required.
5/13/2008-jmb: Leon came back in with details that he added to the original plan.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

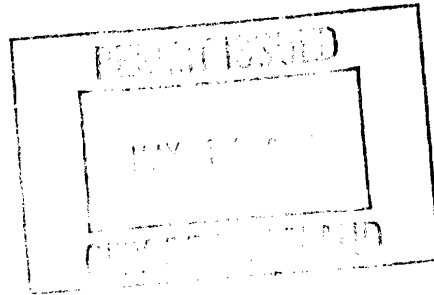
Permit No: 08-0464	Issue Date:	CBL: 053 A020001
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Location of Construction: 11 BOYNTON ST	Owner Name: KURAN BARBARA LYNN	Owner Address: 11 BOYNTON ST	Phone: 899-9343
Business Name:	Contractor Name: Lyman Builders LLC	Contractor Address: 172 Wodleigh Pond Rd Lyman	Phone: 2072472400
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home -Remove existing 6'x15 deck and replace with a 8'x15' Deck	Permit Fee: \$60.00	Cost of Work: \$3,125.00	CEO District: 2
Proposed Project Description: Remove existing 6'x15 deck and replace with a 8'x15' Deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC-2003 Signature: JMB 5/13/08	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 05/02/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 5/13/08	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB

Approved Lot coverage given 40%

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Boylston St Portland, ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>15' x 8'</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>53 A 020</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Barbara Sirovick</u> Address <u>11 Boylston St</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>207-899-4343</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>3125</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description:		
Contractor's name: <u>Lymen Builders LLC</u>		<u>LEON</u>
Address: _____		<u>329-8322</u>
City, State & Zip: <u>Lymen ME</u>		Telephone: <u>207-247-2402</u>
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		<u>BUILDER</u>

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 4/28/08

This is not a permit; you may not commence ANY work until the permit is issued

9100

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	053 A020001
Location	11 BOYNTON ST
Land Use	SINGLE FAMILY
Owner Address	KURAN BARBARA LYNN 11 BOYNTON ST PORTLAND ME 04102

Book/Page	17477/348
Legal	53-A-20 BOYNTON ST 11 3443 SF

Current Assessed Valuation

Land	Building	Total
\$64,100	\$106,400	\$170,500

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1874	Old Style	2	1440	0.079	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2	1	8	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1900	27X18	D	P

Sales Information

Date	Type	Price	Book/Page
03/01/2002	LAND + BLDING	\$133,000	17477-348
06/01/1997	LAND + BLDING	\$74,500	13163-139

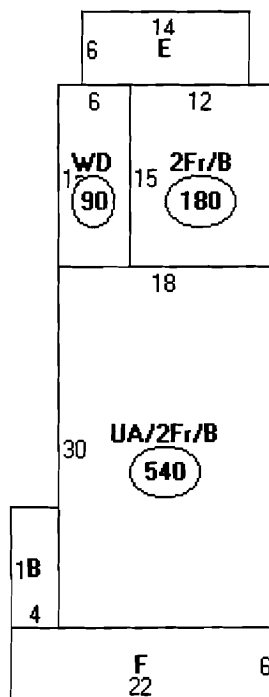
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



- Descriptor/Area
- A: UA/2Fr/B
540 sqft
 - B: OP/OP
40 sqft
 - C: WD
90 sqft
 - D: 2Fr/B
180 sqft
 - E: FUB/FUB
84 sqft
 - F: OFP
132 sqft

1066

Garage + 486

1552 SF
+ 25 SF
1577 SF

OK

Lot 3443

x 90%
1721 SF



BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- Diameter of concrete filled tube or pre cast concrete pier size
- depth below grade (minimum 4'-0" below grade)
- anchorage of column to footing
- spacing and location of tubes/piers

} USING EXISTING
6" STEEL COLUMNS
EXISTING (SCALE FROM
DRAWINGS)

3. Framing Members

- N/A
- Columns – wood size and location (members supporting framing of floor system)
 - Ledger size attached to building
 - Fastener size and spacing attaching ledger
 - Girder Size and spans carrying floor system
 - Joist size, span, and spacing
 - Joist hangers or ledger

4. Guardrails & Handrail Details

- Guardrail height
- Baluster spacing
- Handrail height

5. Stair Details

- Tread depth (measured nosing to nosing)
- Riser height
- Nosing on tread
- Width of stairs

**HOME CONSTRUCTION CONTRACT
AGREEMENT BETWEEN LYMAN BUILDERS, LLC
AND Barbara Snowden**

Index of Sections:

Check when signed and/or approved and made a part of the Agreement.

- | | | |
|----|--|-------------------|
| 1. | Reference Page | <u>✓</u> |
| 2. | Home Construction Contract
Standard Provisions | <u> </u> |
| 3. | Schedule of Payment | <u>✓</u> |
| 4. | Allowances | <u> </u> |
| 5. | Plans | <u> </u> |
| 6. | Specifications | <u>✓</u> |
| 7. | Assumptions and Contingencies | <u>✓</u> |
| 8. | Residential Insulation Disclosure
Required by 10 M.R.S.A. §1481 | <u> </u> |

Note: Any Change Order(s) will be signed and added later.

**HOME CONSTRUCTION CONTRACT
REFERENCE PAGE**

The following are identified terms to the Home Construction Contract between the parties hereto:

Name of Builder: Lyman Builders LLC
_____ (hereinafter "Builder")

Tele: (207) 247-2400
Fax: (207) 247-2400

Name of Owner: Barbara Snowden
_____ (hereinafter "Owner")

Tele: (207) 899-9343
Fax: _____

Note: In this Agreement, all persons noted above as an Owner are collectively referred to in the singular as Owner; such reference shall mean each owner jointly and severally.

Contract Date: April 8, 2008

Commencement Date: May 1, 2008

Completion Date: June 1, 2008

Total Contact Price: \$3,125

Construction Site: 11 Boynton Street Portland, ME 04102

The Work: Replacement deck 8 x 15

Fire, Casualty and
Builder's, All Risk
Insurance _____

Public Liability Insurance _____

Builder's Initials: 

Owner's Initials: 

HOME CONSTRUCTION CONTRACT

This agreement is made by and between the Builder and the Owner on the Contract Date.

1. Recitals:

- (a) The Owner owns the Construction Site and desires that the Builder perform the Work.
- (b) The Builder is willing to perform the Work on the terms and provisions set forth in this agreement.
- (c) This agreement shall consist of the Reference Page, Schedule of Payments, Plans, Specifications, Assumptions and Contingencies, Residential Insulation Disclosure required by 10 M.R.S.A. § 1481, et seq., Allowances and Standard Provisions, any Change Order(s) and any subsequent writings between the parties (the "Agreement").
- (d) For valuable consideration received by both parties, including the mutual promises and undertakings set forth herein, the Owner and Builder agree as follows:

Standard Provisions

- 1. Construction of The Work:** The Builder agrees to perform the Work on the Construction Site.
- 2. Contract Price:** The sum which Owner shall pay to Builder for the Work shall be the Total Contract Price, adjusted by (a) any amount by which any applicable allowance is exceeded or not exceeded, as the case may be, and (b) any amount specified in a Change Order. References to the adjusted Total Contract Price shall mean the Total Contract Price noted on the Reference Page as adjusted by allowance overages or underages and Change Order adjustments.
- 3. Method of Payment:**
 - (a) Owner shall pay to Builder the Total Contract Price at the times set forth in the Schedule of Payments. When a portion of the Work described in the Schedule of Payments is substantially completed in accordance with the requirements of the Agreement, Builder shall notify Owner of that

occurrence and Owner shall pay Builder the amount specified in the Schedule of Payments within seven (7) days of the mailing of the notification.

- (b) In the event that an allowance is exceeded, Builder shall notify Owner when the portion of the Work relating to the allowance is substantially completed and shall provide a statement setting forth the actual cost of the labor and materials for the portion of the Work relating to the allowance. In calculating the amount by which an allowance is exceeded, Builder shall multiply by 10% the actual cost of the labor and materials for the portion of the Work relating to the allowance. If so completed, Owner shall pay said sum within seven (7) days of the mailing of the notification.
- (c) Builder shall notify Owner when any work covered by a Change Order is substantially completed and, if so completed, Owner shall pay the sum agreed upon in the Change Order within seven (7) days of the mailing of the notification.

4. Construction Schedule: The Builder agrees to begin the Work within seven (7) days after the Commencement Date and to substantially complete the Work on or before the Completion Date. Once started, Builder shall proceed diligently and shall work constantly on the Work. The Completion Date shall be extended by the time which construction is delayed by strikes, lockouts, military operations, civil disorder, inability of Builder to obtain materials from its usual sources or reasonable alternative sources, and adverse weather conditions which, in the sole judgment of Builder, would make it difficult to perform the Work in a good and workmanlike fashion.

5. Construction Methods:

- (a) The Builder shall erect and complete the Work in accordance with the standards of the applicable building code of the municipality where the Construction Site is located and in accordance with sound construction practice. The Builder agrees that it shall obtain at its expense all necessary building or construction permits and shall deliver a certificate of occupancy to the Owner upon completion of the Work if such is necessary.
- (b) Owner shall be responsible for providing to Builder sufficient reliable survey information to enable Builder to locate the structure within the setback requirements of the local zoning ordinance.

6. **Risk of Loss and Insurance Coverage:** During the period of construction, the risk of loss or damage to the Work shall lie with the Owner. Owner agrees to procure and maintain Fire, Casualty and Builder's All Risk insurance and Public Liability insurance in the amounts specified in the Reference Page covering Owner and Builder and his employees as their interest may appear. Owner shall provide evidence of such insurance within five (5) days prior to the Commencement Date. Such insurance shall be obtained from one or more insurance companies which shall be licensed to do business in the State of Maine and which are approved in advance by Builder, which approval shall not be unreasonably withheld.
7. **Site Visitation:** Owner shall indemnify and hold harmless Builder from any liability arising from an injury incurred by the Owner or any persons who are not an employee of Builder or a subcontractor or materials supplier authorized by Builder to be present at the Construction Site, provided, however, that Builder shall exercise due care in maintaining a safe work site.
8. **Evidence of Financial Ability:** Prior to the commencement of construction, Owner shall provide to Builder written evidence of Owner's ability to pay the amounts required under the terms of this Agreement either in the form of bank account information, a commitment letter from a bank or such other assurance as Builder may require.
9. **Warranty:** A. In addition to any additional warranties agreed to by the parties, the Builder warrants that the Work will be free from faulty materials; constructed according to the standards of the building code applicable for this location; constructed in a skillful manner and fit for habitation. The warranty rights and remedies set forth in the Maine Uniform Commercial Code apply to this Agreement. The above language is required by the provision of 10 M.R.S.A. § 1486, et seq. and the parties agree that the effect thereof shall be limited to that required under 10 M.R.S.A. § 1487. Any notice of warranty claim must be presented to Builder in writing within one year of completion of construction.

B. The Builder shall transfer, set over and arising all warranties on materials, appliances and products incorporated into the Work which may have been given to Builder by any manufacturer or supplier.
10. **Resolution of Disputes:** If a dispute arises concerning the provisions of this Agreement or the performance by the parties, then the parties agree to settle this dispute by jointly paying for one of the following (check only one and initial):

- (1) Binding arbitration as regulated by the Maine Uniform Arbitration Act, with the parties agreeing to accept as final the arbitrator's decision (_____);
- (2) Nonbinding arbitration, with the parties free to not accept the arbitrator's decision and to seek satisfaction through other means, including a lawsuit (BB Ne); or
- (3) Mediation, with the parties agreeing to enter into good faith negotiations through a neutral mediator in order to attempt to resolve their differences (_____);

NOTWITHSTANDING THE PROVISIONS ABOVE, BUILDER SHALL BE ENTITLED TO FILE AND PERFECT A MATERIALMANS' OR MECHANIC'S LIEN PURSUANT TO THE PROVISIONS OF MAINE LAW IN THE EVENT OWNER SHALL FAIL TO PROVIDE ADEQUATE SECURITY FOR THE PAYMENT OF THE SUMS CONSIDERED DUE UNDER THIS CONTRACT.

11. **Default:** In the event that Owner shall default in the performance of any obligation specified in this Agreement, or fail to make any payment specified in this Agreement, Builder, in addition to any other remedies provided by law or in equity, may cure said default and Owner shall pay the cost thereof within ten (10) days of mailing of notice thereof and/or Builder may cease performing the Work and may terminate this Agreement by written notice to Owner. In the event that Builder terminates this Agreement, Owner shall forthwith pay to Builder (a) the portion of the adjusted Total Contract Price which is due under this Agreement for the Work performed to the date of termination; (b) any sums for which Builder is liable to third parties for contract cancellation damages (e.g., deposits, materials ordered which may not be returned under the terms of said contracts) and (c) a sum equivalent to 10% of the adjusted Total Contract Price attributable to uncompleted Work.
12. **Energy Standards:** 10 M.R.S.A. § 1411 et seq. establishes minimum energy efficiency standards for new residential construction. It is warranted that the Work will meet or exceed those standards.
13. **Change Orders:** Any alteration or deviation from the contractual specifications described in the Work that results in a revision of the contract price specified in the Total Contract Price, as adjusted by the provisions herein relating to the exceeding of allowances, will be executed only upon the parties entering into a written change order. For the

convenience of the parties, it is agreed that a Change Order signed by any person who is one of the Owners shall bind all Owners as if it was signed by all of the Owners.

14. **Ledge:** Ledge is not anticipated, and the contract price assumes that it will not be encountered. The parties agree that if ledge is encountered, the Owners shall have two days to agree to pay the cost of removal of the ledge or to pay the cost of relocating the building. The Builder will provide the Owners with the estimated costs of relocation or removal of the ledge at the time the foundation and utility lines are being excavated, and if the Owners decide to remove the ledge, then they must demonstrate to Builder they have the ability to pay the costs of the same.
15. **Entire Contract:** This Agreement states the entire agreement between the parties, and the Builder is not and shall not be bound by any stipulations, representations, agreements, promises, or otherwise, not printed or inserted in this Agreement.
16. **Binding Effect:** This Agreement is binding upon the heirs, personal representatives, administrators and successors of the respective parties and shall be construed in accordance with the laws of the State of Maine and the liability of Owner shall be joint and several.

IN WITNESS WHEREOF, the parties have hereunto interchangeably set their hands and seals all the day and date first above written.

**SIGNED, SEALED AND DELIVERED
IN PRESENCE OF:**

LYMAN BUILDERS, LLC

By: Norman W. Lobban
Its Member, duly authorized

BSu _____, Owner

_____, Owner

HOME CONSTRUCTION CONTRACT SCHEDULE OF PAYMENTS

(A) The sum of \$1,040 shall be due upon the signing of this Agreement (this sum can be no more than 1/3 of the Total Contract Price);

(B) The remaining amounts due shall be paid in accordance with the provisions of this Agreement upon the submission of invoices.

Due at commencement of work	\$1,040
Balance due at completion	\$1,045

Builder's Initials:
Owner's Initials:

The image shows two handwritten signatures on horizontal lines. The top signature is for the Builder and the bottom signature is for the Owner.

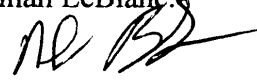
General Specifications of Snowden Project

Lyman Builders LLC

Clients Name: Barbara Snowden

Date: April 8, 2008

By: Norman LeBlanc



New Deck

Replace the existing 6 x 15 deck with an 8 x 15 deck

- All material for the project will be pressure treated lumber.
- Deck boards will be screwed down with deck screws.
- Railing will be made up of balusters and a top and bottom rail
- 3' wide stairway

Roof

Repair the torn shingle on the roof above the back deck.

Siding


Repair the 2 loose shingles on the back of the house.

Assumptions and Contingencies

Lyman Builders LLC

Clients Name: Barbara Snowden
Date: April 8, 2008
Note: In case of a conflict, these Assumptions override any stipulations in the plans and specifications.
By: Norman LeBlanc.

Builder's Initials:
Owner's Initials:

Handwritten initials of the builder and owner, with the builder's initials 'NL' and the owner's initials 'BS' written over horizontal lines.

Regarding Building Permit

The client will supply a plot plan of the property. The builder will supply the drawings required for the permit. The client will obtain the building permit from the city of Portland.

If the client wants the builder to obtain the permit, there will be an additional charge of \$120 plus the permit fee.

Regarding attachment to the house

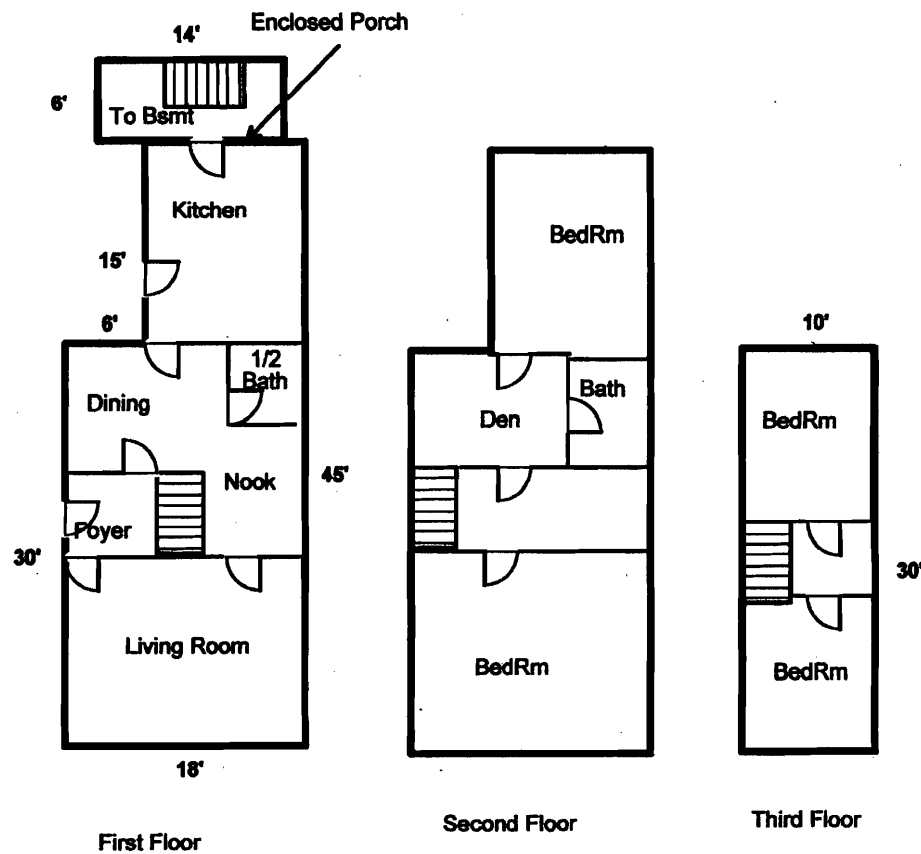
If rotten boards are found when attaching the ledger to the house, there will be an additional cost for repair. The charge for repair will be materials plus \$40 per hour for labor. The builder will give the client an estimate for the repair before the work is done,

Exhibit A - Deed

A certain lot or parcel of land, with the buildings thereon situated on the northerly side of Boynton Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on said Street at the southwest corner of land formerly of J.A. Deane; thence running westerly on said Street, thirty-eight and one-half (38 1/2) feet to land formerly of E. Banks; thence northwesterly by said Banks land, eighty (80) feet, more or less, to land formerly of M. Burns; thence easterly by said Burns and, forty (40) feet, more or less, to said Deane land; thence southeasterly by said Deane land; seventy-two (72) feet, more or less, to the point of beginning on said Street.

Reference is hereby made to a deed from dated to Gary C. Coccaluto and Amy S. Coccoluto and recorded in the Cumberland County Registry of Deeds in Book 13163, Page 139



SUMMARY	SQ FT AREA	PERIMETER	AREA CALCULATION DETAILS		
Living Area			First Floor		
First Floor	720	128	12.0 X 45.0 =	540.0	
Second Floor	720	128	6.0 X 30.0 =	180.0	
Third Floor	300	80	Total	720.0	
Total	1740	332	Second Floor		
Porches/Patios			12.0 X 45.0 =	540.0	
Enclosed Porch	84	40	6.0 X 30.0 =	180.0	
			Total	720.0	
			Third Floor		
			10.0 X 30.0 =	300.0	

JORDAN BAY APPRAISAL CO., INC.

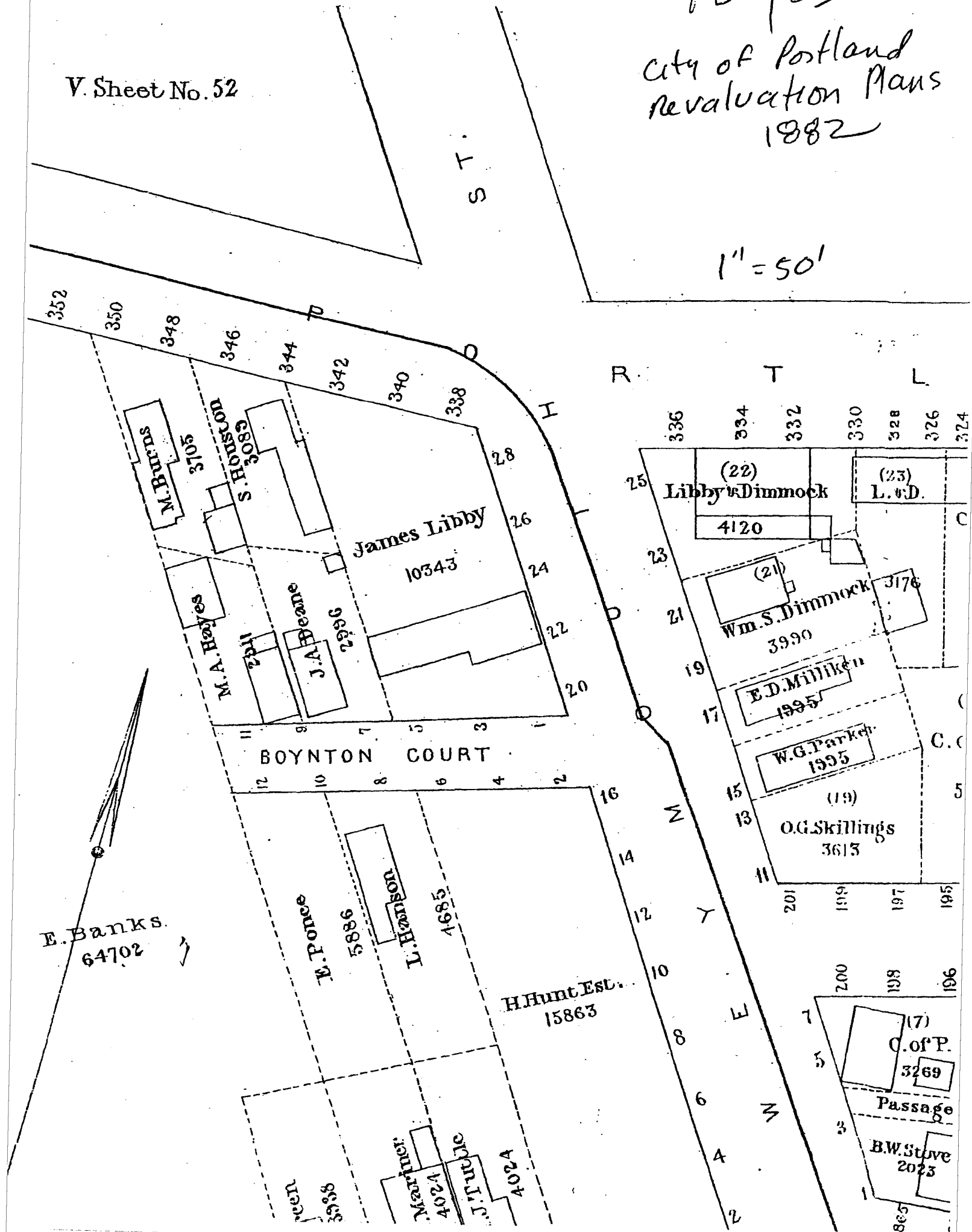
Bonnie Pierpont

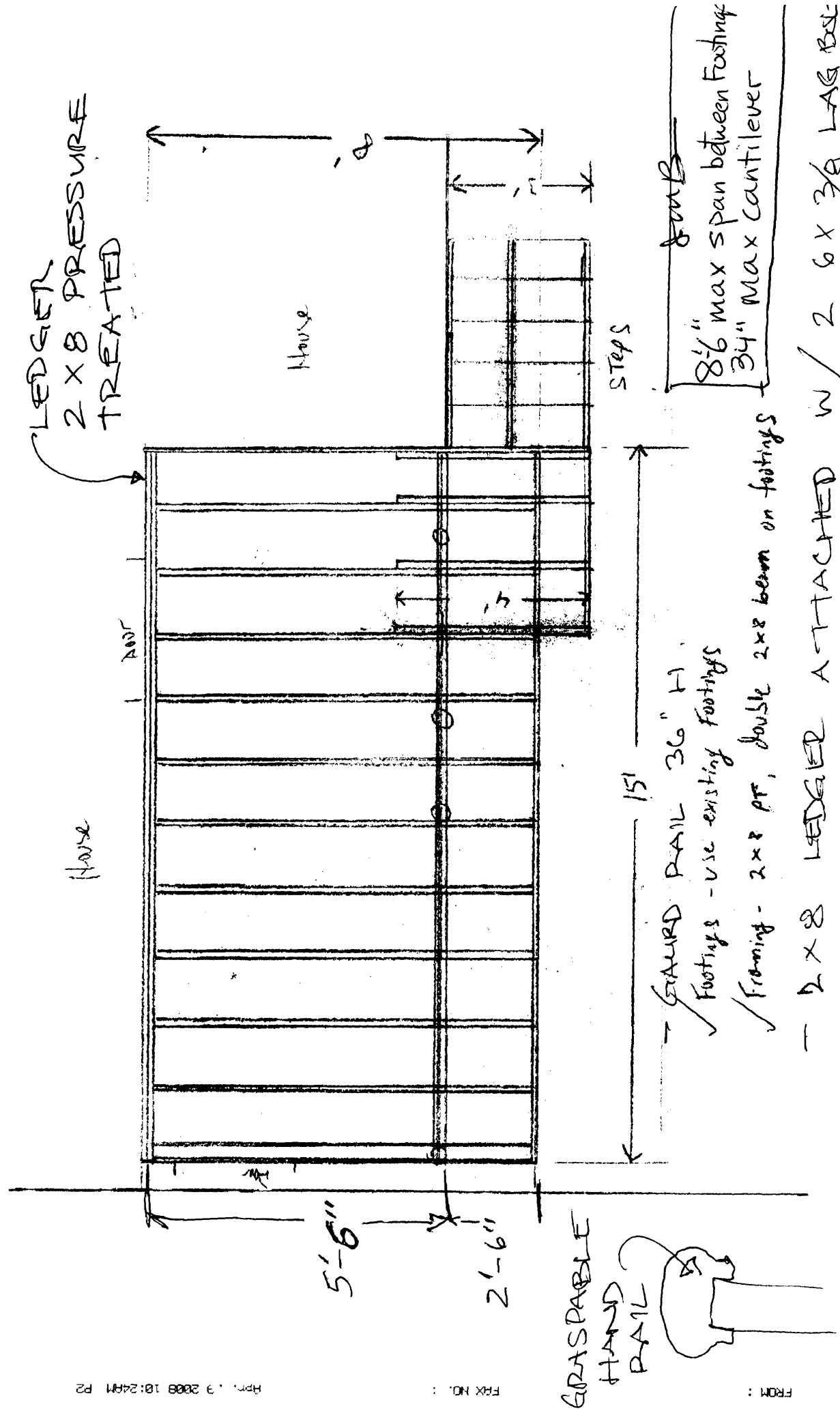
REAL EASY SKETCHES 1-803-667-2633

V. Sheet No. 52

PBS/SS
City of Portland
Revaluation Plans
1982

1" = 50'





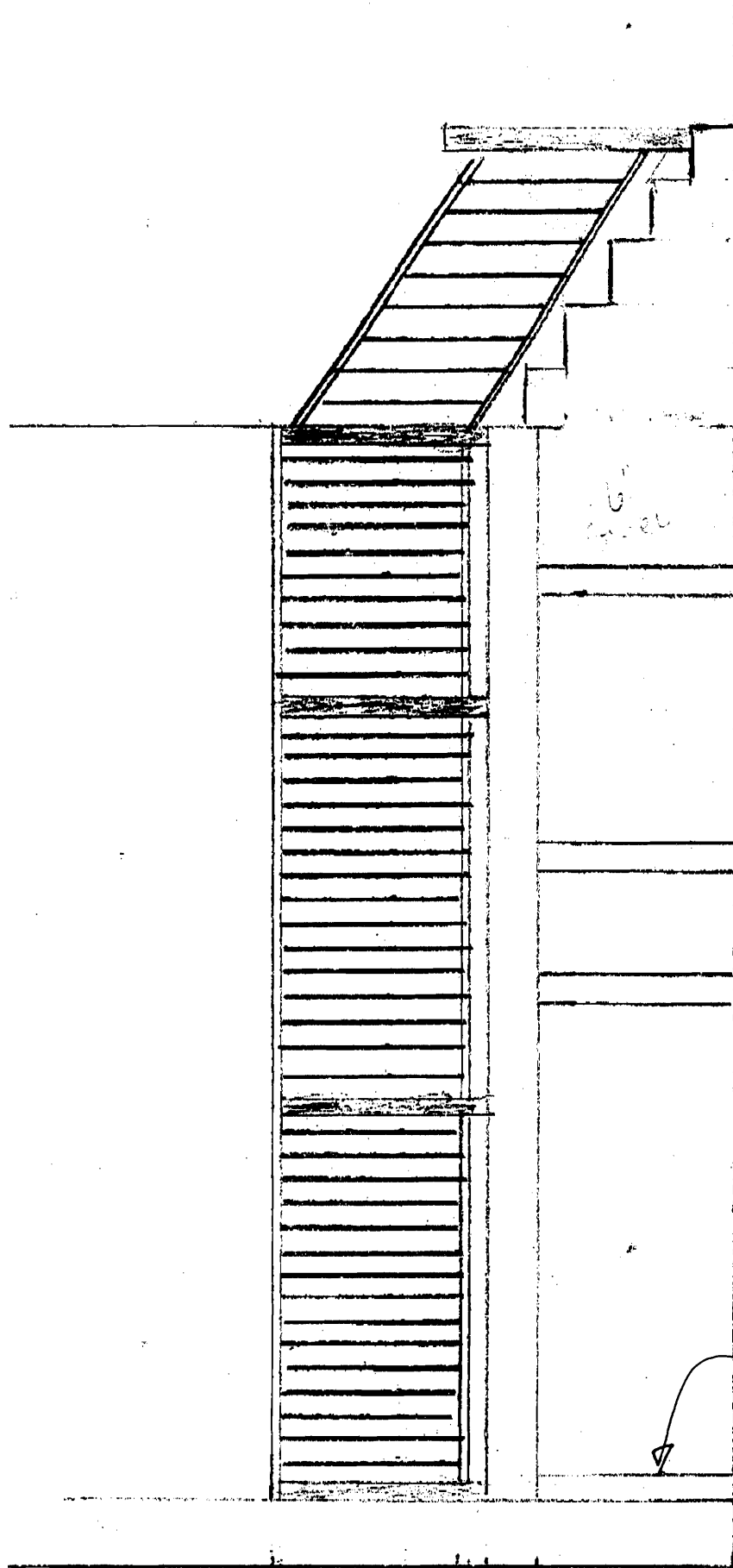
- GUARD RAIL 36" H.
✓ Footings - use existing footings

✓ Framing - 2x8 pf, double 2x8 beam on footings

- 2x8 LEDGER ATTACHED W/ 2 6x3/8 LAG BOLTS

- JOISTS ATTACHED TO LEDGER WITH GALVANIZED JOIST HANGERS EVERY 32"

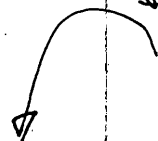
- NET TREAD ON STAIRS = 10"



Rise 7 1/2"
Run 10"

6"
steel

EXISTING
6" STEEL
SUPPORTS

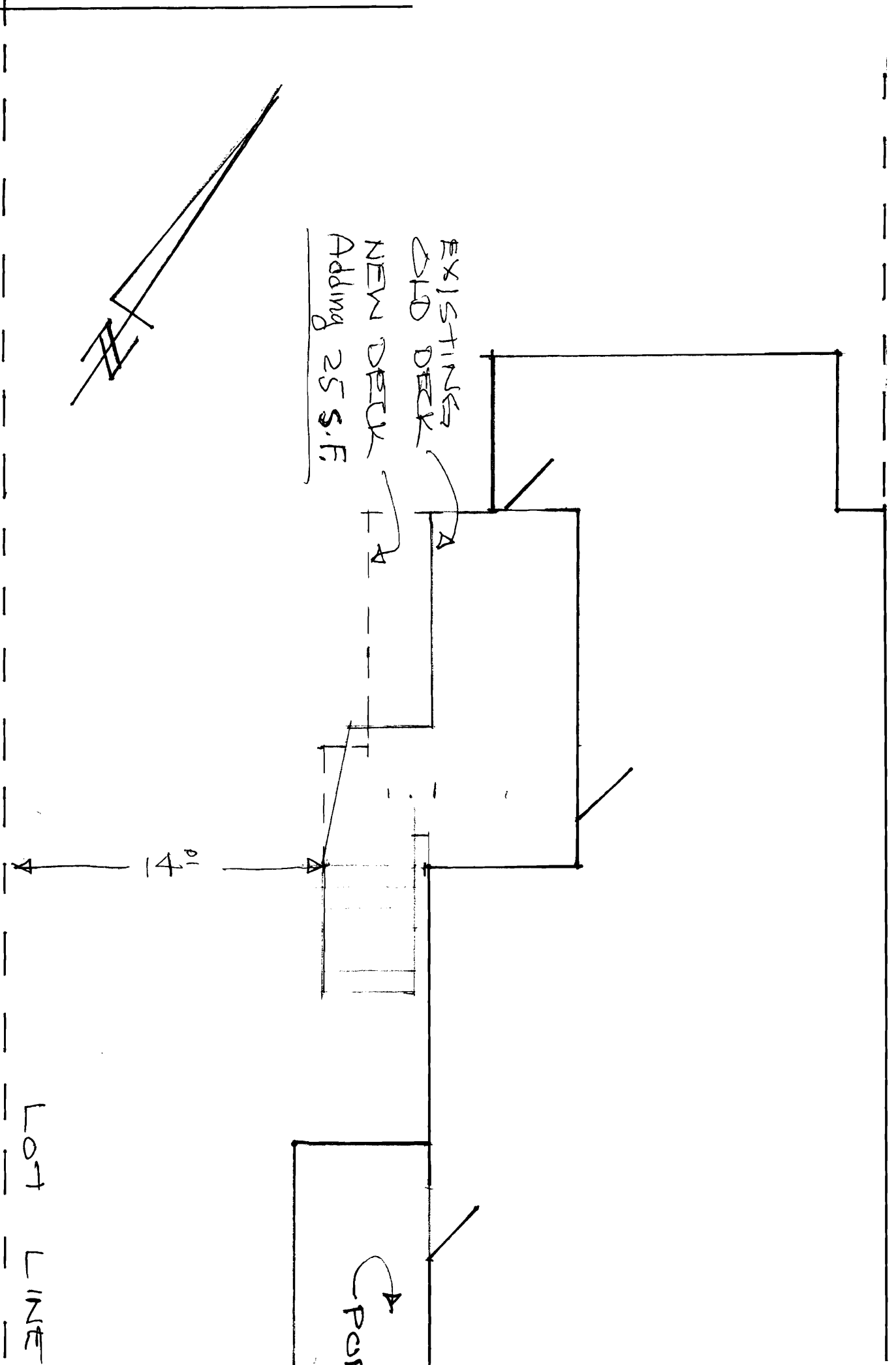


5/12/08
Gave to
friend to give
to contractor

✓ Size of New carry beam
✓ Size of joists
✓ HT of Guardrail / opening dimensions
✓ Graspable Handrail Detail
Height of ↑
✓ Fastening Specs
Connectors?

OK JMB 5/13/08

R10-
Side yard req 10' shown 14'



BARBARA SNOWDEN RESIDENCE
11 BOYNTON ST, PORTLAND, ME
PLOT PLAN / AS BUILT SCALE: 3/16" = 1'

LOT LINE