

53-A-11

2007-0150

31 Forest St.

Parkview Condos.

Stephen Mardigan

on Spreadsheet

53-A-11

2007-0150

31 Forest St.

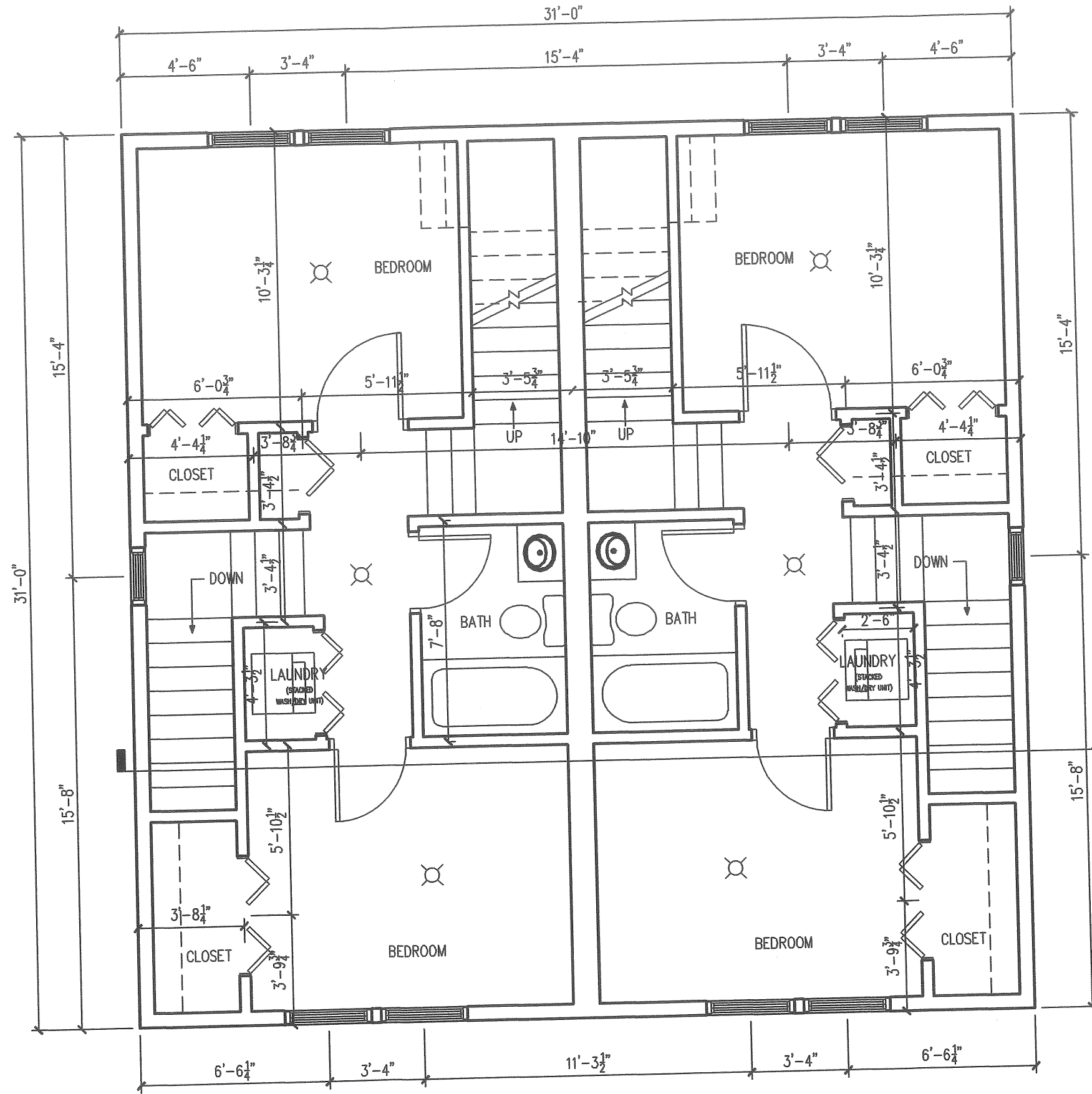
Parkview Condos.

Stephen Mardigan

on Spreadsheet



1. SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 24.3.4.1
2. AREAS OUTSIDE OF SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 24.3.4.1
3. EACH LEVEL TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 24.3.4.1
4. GARAGE LEVEL TO HAVE AN APPROVED SMOKE DETECTOR IN ACCORDANCE WITH NFPA 24.3.4.1
5. SLEEPING AREAS TO HAVE SECONDARY MEANS OF EGRESS VIA APPROVED EGRESS WINDOW IN ACCORDANCE WITH NFPA 24.2.2.3.3
6. EGRESS WINDOWS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH NFPA 24.2.2.3.3 (2)
7. GARAGE LEVEL AND LIVING SPACE ABOVE IS TO BE SEPARATED BY A MINIMUM OF 1-HOUR CONSTRUCTION
8. THE TWO UNITS ARE SEPARATED BY FIRE RATED CONSTRUCTION USING UL ASSEMBLY 336



**31 FOREST STREET**  
 CITY OF PORTLAND REVIEW  
 REVISIONS AND ADDITIONS

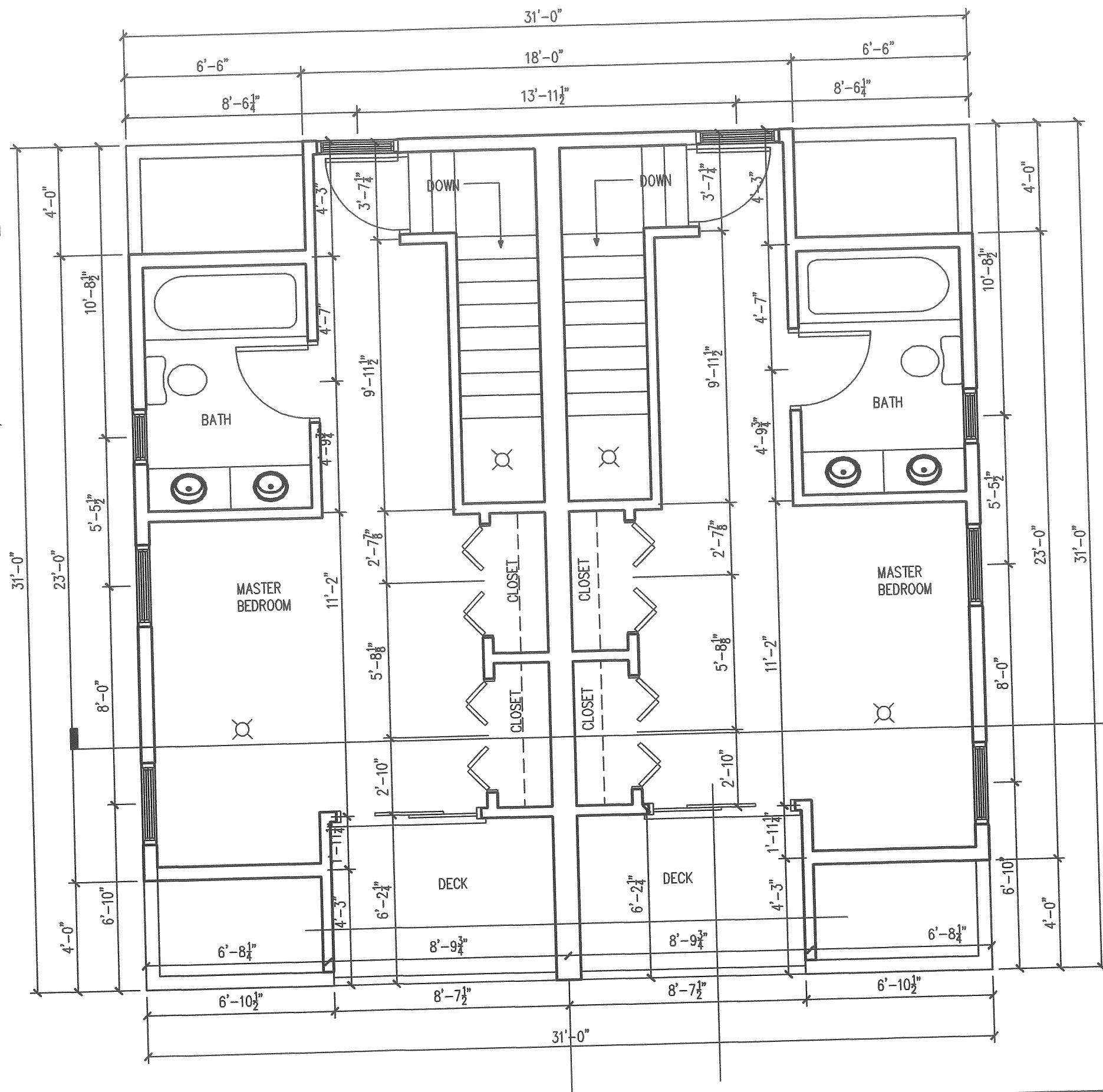
NO	REMARKS	DATE	ISSUED FOR CITY REVIEW
A		08-12-08	

BY: \_\_\_\_\_

CODE: IRC 2008  
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 DATE: 08-12-08  
 SCALE: AS NOTED  
 DRAWN: JJO  
 TITLE:  
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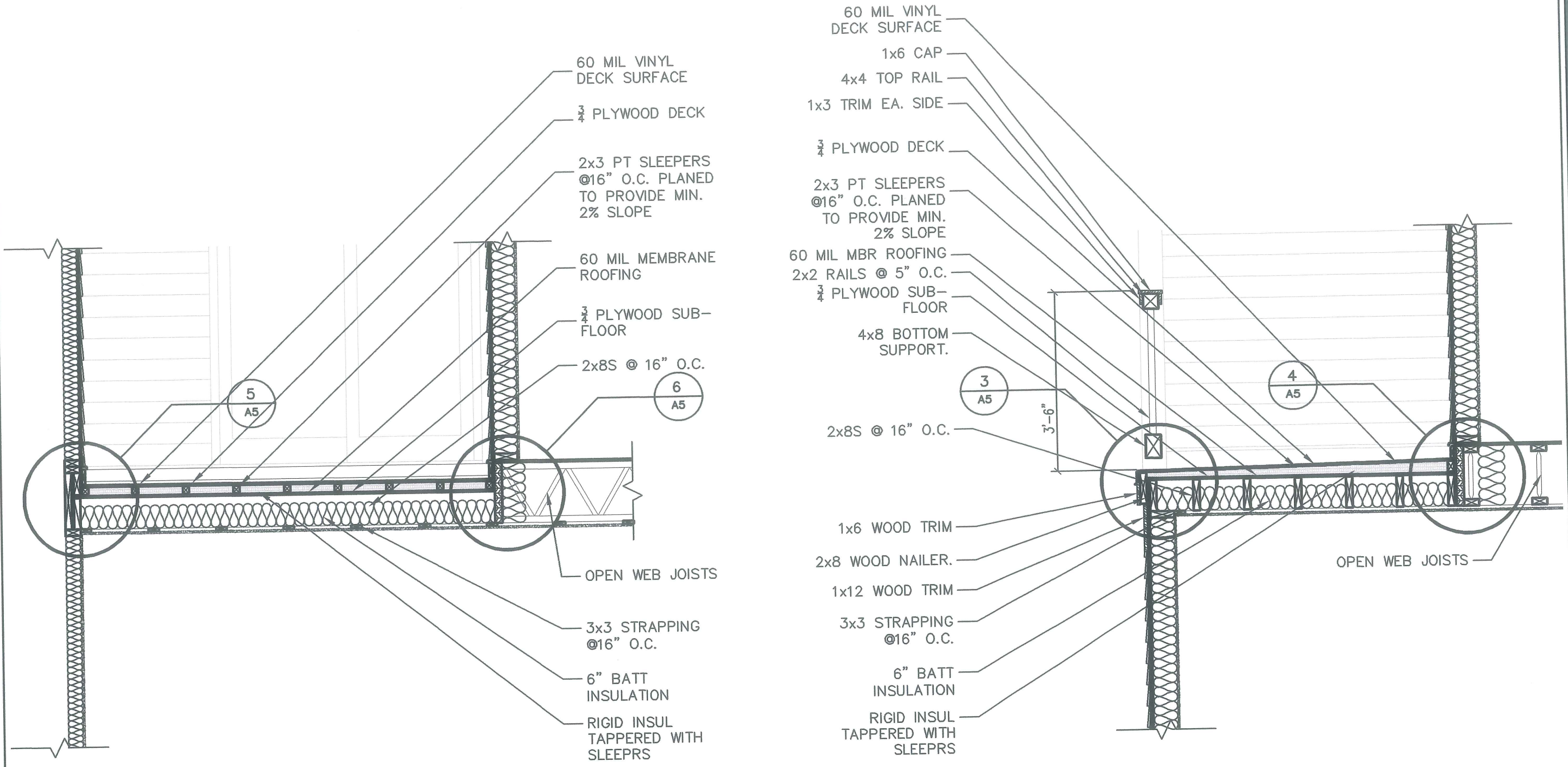
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 CITY OF PORTLAND REVIEW  
 REVISIONS AND ADDITIONS

NO	REMARKS	DATE	CODE	TOWN	DATE	SCALE	DRAWN	TITLE	FILE	SHEET
1	ISSUED FOR CITY REVIEW	08-12-08	IRC 2008	PORTLAND	08-12-08	AS NOTED	JJO	THIRD FLOOR		

**31 FOREST STREET**  
 CITY OF PORTLAND REVIEW  
 REVISIONS AND ADDITIONS



**NOTE:**

THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF CDT ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS CDT WILL BE HELD HARMLESS CDT ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will Comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

BY	NO	REMARKS
	A	ISSUED FOR CITY REVIEW
DATE	08-12-08	
CODE: IRC 2003		
TOWN: PORTLAND		
DATE: 08-12-08		
SCALE: AS NOTED		
DRAWN: JJO		
TITLE: DECK DETAILS		
FILE:		
SHEET:		







# PARKVIEW TERRACE

31 FOREST STREET  
PORTLAND, ME



## ABBREVIATIONS

ALUM	ALUMINUM	FE	FIRE EXTINGUISHER	QT	QUARRY TILE
AC P	ACOUSTIC PANEL	FFE	FINISH FLOOR ELEVATION	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	FIN	FINISH	R	RADIUS
ACOUS	ACOUSTICAL	FLG	FLASHING	RD	ROOF DRAIN
CLG	CEILING	FND	FOUNDATION	SIM	SIMILAR
CLOS	CLOSET	FIB	FIBER	STL	STEEL
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	STOR	STORAGE
COL	COLUMN	GL	GLASS	STRUC	STRUCTURAL
COMP	COMPOSITION	GWB	GYPSUM WALLBOARD	SUSP	SUSPENDED
CONC	CONCRETE	HD	HAND	SYST	SYSTEM
CONF	CONFERENCE	HDRL	HANDRAIL	STD	STANDARD
CONSULT	CONSULTANT	HM	HOLLOW METAL	SHT	SHEET
CONT	CONTINUOUS	HR	HOUR	SIM	SIMILAR
CRS	COURSES	INS	INSULAT(ION)(ING)(ED)	T	TOILET
DEG	DEGREES	INSUL	INSULAT(ION)(ING)(ED)	TEL	TELEPHONE
DF	DRINKING FOUNTAIN	JAN	JANITOR	TEMP	TEMPERED
DIA	DIAMETER	L	LAVATORY	TO	TOP OF
DN	DOWN	LAM	LAMINATE	TOM	TOP OF MASONRY
DIAG	DIAGONAL	MACH	MACHINE	TOS	TOP OF STEEL
EF	EXHAUST FAN	MECH	MECHANICAL	TYP	TYPICAL
EXT	EXTERIOR	MET	METAL	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION	MO	MASONRY OPENING	UL	UNDERWRITERS LABORATORY
ELEV	ELEVATION/ELEVATOR	MR	MOISTURE RESISTANT	VTR	VENT THROUGH ROOF
EQ	EQUAL	NIC	NOT IN CONTRACT	W/	WITH
ELEC	ELECTRIC(AL)	OC	ON CENTER	WC	WHEELCHAIR
EQUIP	EQUIPMENT	OPP	OPPOSITE		
EWC	ELECTRIC WATER COOLER	PLAS	PLASTIC		
EXIST	EXISTING				

## DRAWING LIST:

- A-1 FOUNDATION, GARAGE AND FIRST FLOOR PLANS
- A-2 SECOND AND THIRD FLOOR PLANS
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 BUILDING SECTION
- S-1 NOTES
- S-2 FOUNDATION PLAN AND DETAILS
- S-3 FOUNDATION DETAILS
- S-4 FLOOR FRAMING PLANS
- S-5 ROOF FRAMING PLAN
- S-6 FRAMING SECTIONS AND DETAILS

## BUILDING CODE COMPLIANCE:

DESIGN CRITERIA - THIS PROJECT HAS BEEN DESIGNED FOR COMPLIANCE WITH THE FOLLOWING CODES:  
INTERNATIONAL BUILDING CODE (IBC) - 2003 EDITION  
NFPA 101 - 2006 EDITION  
ICC/ANSI A117.1 - 1998 EDITION  
UNDERWRITERS LABORATORY FIRE RESISTANCE RATING DESIGNS - 2003 EDITION

## MATERIALS

	CONTINUOUS LUMBER
	NON-CONTINUOUS LUMBER
	PLYWOOD
	FINISH WOOD
	RIGID INSULATION
	BATT INSULATION
	PLASTER, GROUT, MORTAR, ETC.
	CONCRETE
	CONCRETE MASONRY UNITS
	EARTH
	GRAVEL
	METAL

## SYMBOLS

	COLUMN CENTERLINE GRID
	WORK LIMIT LINE
	SECTION NUMBER
	SECTION KEY
	DETAIL NUMBER
	DETAIL KEY
	ELEVATION FLAG
	ROOM NAME
	ROOM KEY
	ROOM NUMBER
	WINDOW TYPE KEY
	DOOR KEY
	INTERIOR ELEVATION KEY
	WALL TYPE KEY

*53A 11  
08 0578  
were submitted to  
inspectors*

**NOTE:**  
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1. Contractor responsible for securing all necessary permits.
2. Comply with all applicable codes and ordinances.
3. Maintain a clean, secure and safe construction site at all times.
4. Dispose of all construction debris off-site in a legal manner.
5. S/M/E/P work is design build and the responsibility of each sub-contractor.
6. Contractor to verify all site grades in field.



**PLAN NOTES**

1. REFERENCE MADE TO PLAN SET FOR "THE PARK VIEW CONDOMINIUMS" BY BACK BAY BOUNDARY, INC. REVISED 7/21/05.
2. SITE TOPOGRAPHY SHOWN HEREON FROM A FIELD SURVEY AS PERFORMED BY BACK BAY BOUNDARY, INC ON 8/21/04.
3. PROPERTY SURVEY, MERIDIAN AND METES AND BOUNDS PROVIDED BY BACK BAY BOUNDARY, INC.
4. NO SITE WETLAND REVIEW OR DELINEATION WAS PERFORMED ON THIS SITE.
5. PROPOSED BUILDING FOUNDATIONS AS SHOWN PER PLANS BY HANCOCK LUMBER DATED 8/27/05 AS PROVIDED BY THE CLIENT. REFER TO ACCEPTED ARCHITECTURAL PLANS FOR ACCURATE DIMENSION, ETC.

**GENERAL NOTES**

1. THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, UTILITIES, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
2. THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE CODE STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DERIVATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DERIVATION.
3. ALL CONSTRUCTION WITHIN THE CITY OF PORTLAND RIGHT OF WAY SHALL COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
4. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE CITY OF PORTLAND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND REQUIRED TO PERFORM ALL THE WORK (STREET OPENING, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THE WORK.
5. PRIOR TO CONSTRUCTION THE SITE CONTRACTOR IS TO NOTIFY ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIS-SAFE (1-800-225-4974) AT LEAST 5 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
6. THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, PHYSICAL RECORD TAPES, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. UNLESS ANY UNDATED OR INCORRECTLY CHARTED UTILITIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
7. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, SCISSOR LIFTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRICAL LINE. IF THE CONTRACTOR OPERATES CLOSER THAN TEN FEET, THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
9. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA (SITE PLANS SHOW APPROXIMATE BUILDING DIMENSIONS). SETBACK DISTANCES SHALL BE MEASURED FROM PROPERTY LINES AND MEASUREMENTS FROM ADJACENT BUILDINGS ACCORDING TO METHODOLOGIES EXPRESSED IN THE CITY OF PORTLAND ORDINANCE.
10. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY OF PORTLAND CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIMPDED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE CITY OF PORTLAND. PAVEMENT MARKINGS SHALL BE PAINT DURING TYPE IN ACCORDANCE WITH MDT SPECIFICATIONS. TWELVE INCH (12") WIDE STOP BARS AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
13. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
14. THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
15. ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
17. THE CONTRACTOR SHALL FURNISH ELECTRICAL, POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
18. WORK MAY PROCEED MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN CITY OF PORTLAND SUBDIVISION REGULATIONS.
19. THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REPAIR OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEE PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
20. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
21. A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, CITY OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE REGULAR PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
22. PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF OBSERVED NECESSARY BY CHIEF INSPECTORS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
23. SEWER AND WATER CONNECTIONS TO THE EXISTING LINES, THE TYPE AND LOCATIONS OF WHICH TO BE VERIFIED BY THE CONTRACTOR ARE TO BE MADE IN CONFORMANCE WITH THE CITY OF PORTLAND WATER AND SANITARY DISTRICT REGULATIONS.

**GRADING NOTES**

1. THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
3. EROSION CONTROL LAYERS SHALL START AT THE DISTURBED PORTION OF THE FILL, AND AS PLACEMENT PROGRESSES LAYERS SHALL BE PLACED APPROXIMATELY HORIZONTAL IN EIGHT INCH (8") LIFTS AT THE CLOSE OF EACH DAY'S WORK. THE EROSION CONTROL SURFACE SHALL BE GRADED, CROUCHED, SMOOTHED, REINFORCED AND REPAIRED AGAINST INFILTRATION OF WATER. EXCESS ENCAVATION IF ANY, SHALL BE REMOVED OFFSITE UNLESS CONTRACTOR OBTAINS WRITTEN APPROVAL FROM OWNER FOR STOCKPILING MATERIALS ON SITE.
4. THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE HANDBOOK DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST) OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
5. AGGREGATE FOR GRAVEL SURFACE COURSE SHALL MEET TYPE "A" HDOT GRAVELS SECTION 103.06. AGGREGATE FOR GRAVEL BASE COURSE SHALL MEET TYPE "D" HDOT GRAVELS SECTION 103.06. THE COMPLETED SURFACE OF EACH LAYER OF GRAVEL SHALL BE GRADED AND MAINTAINED TO A TOLERANCE ABOVE OR BELOW THE REQUIRED GRADE, OF ONE HALF INCH.
6. ALL AREAS WHERE LOAM IS REQUIRED SHALL BE TRIPPED AND SHAPED TO THE REQUIRED GRADE. ALL DEBRIS AND STONES SHALL BE REMOVED FROM THE LOAM. LOAM SHALL BE SPREAD UNIFORMLY ON THE PREPARED AREA TO A UNIFORM DEPTH OF FOUR INCHES (4"). ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. IT IS NECESSARY TO CONTACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL, HOWEVER, UNDER COMPACTION IS TO BE AVOIDED AS IT PREVENTS SEED GERMINATION.

NEW LANDSCAPE TREE, TYP. (SEE LANDSCAPE PLAN)

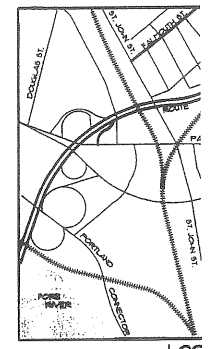
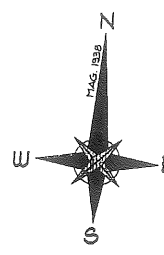
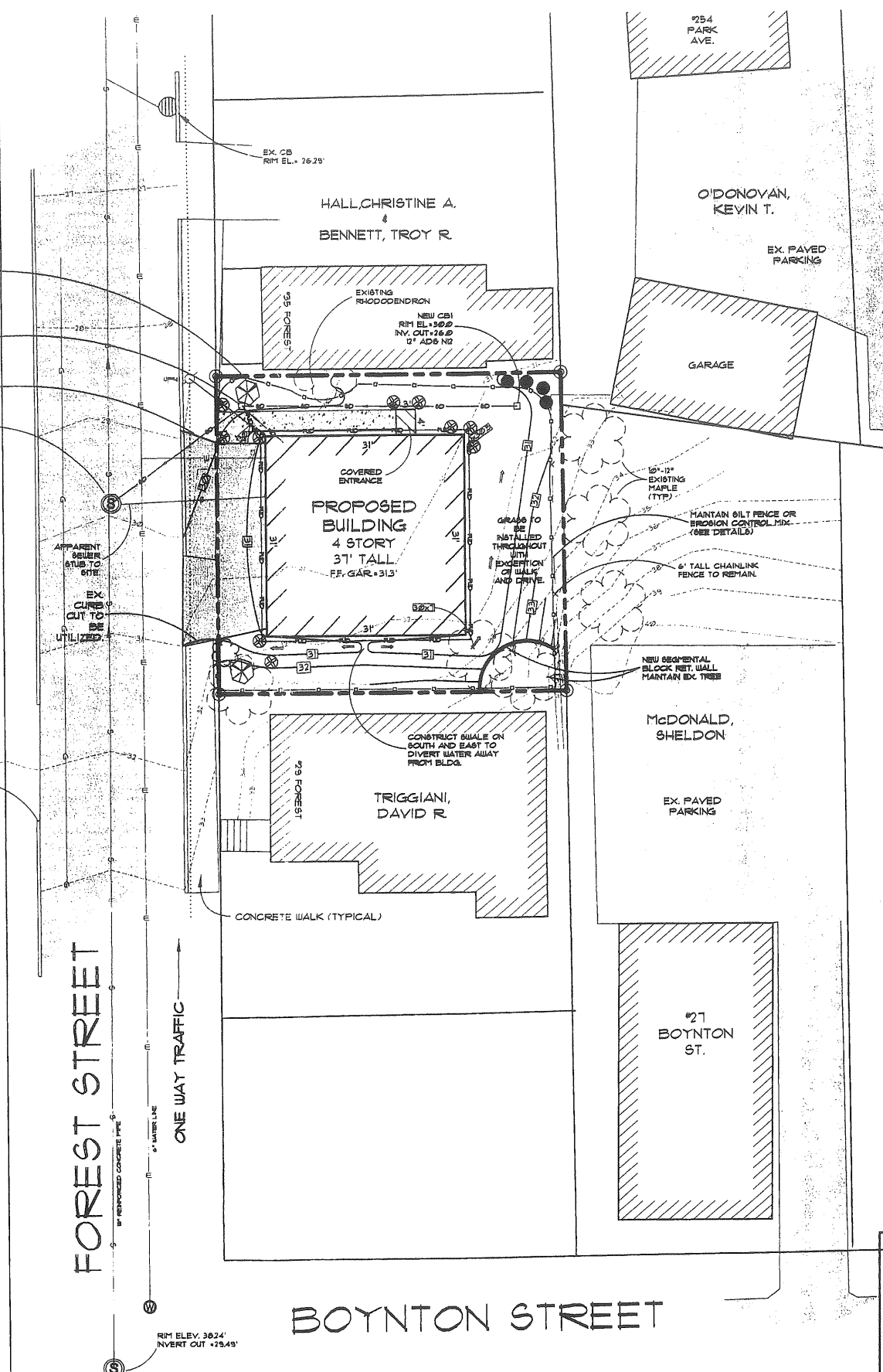
NEW CBS RIM EL. +25.10 INV. N. +24.85 (ALL PIPES) NY. CUT +2.8 (2" ADS N2)

NEW TIP DOWN TO BE INSTALLED.

EXISTING 8" H4 RIM ELEV. +25.85 INVERT IN +20.85 INVERT 6" S + 22.8' NEW INV. N. +22.8 (2" ADS N2)

PAVED SURFACE

GRANITE CURB (TYP.)

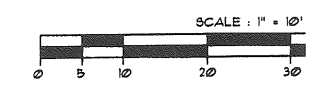


**UTILITY CONSTRUCTION NOTE**

1. UTILITY CONNECTION DESIGN AS REFLECTED ON THESE PLANS BY THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANIES MATERIALS AND CONSTRUCTION METHODS ARE MET.
2. PROPER COORDINATION WITH THE RESPECTIVE UTILITY CO. THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANIES MATERIALS AND CONSTRUCTION METHODS ARE MET.
3. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION BY PRIOR TO BACKFILL OF TRENCHES.
4. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND OR OTHER OWNER/DESIGNER APPROVED ACCURATE METHOD.
5. SANITARY LINES SHALL MAINTAIN A TEN FOOT (10') MINIMUM (18") VERTICAL SEPARATION DISTANCE FROM WATER LINES.
6. RELOCATION OF UTILITY COMPANY FACILITIES (SUCH AS FC) THE AGREEMENT OF OWNER (OR CITY) AND UTILITY COMPANY.
7. ALL WATER LINES TO HAVE 36" OF EARTH COVER OVER PIPE LINES ARE TO BE CONSTRUCTED, BACKFILLED AND COMPACTED TO DISTRICT STANDARDS.

**LEGEND**

.....	EX. UTILITY POLE	[Symbol]	NEW A
—○—	EX. GAS MAIN	[Symbol]	NEW U
—○—	EX. WATER MAIN	[Symbol]	NEW S1
—○—	EX. SEWER / DRAIN	[Symbol]	NEW S'
[Symbol]	EX. PAVEMENT	[Symbol]	NEW FC
[Symbol]	EX. TREE LINE	[Symbol]	NEW R
[Symbol]	EX. TREE	[Symbol]	NEW UH
N/F	NEW OR FORMERLY	[Symbol]	NEW S1
---	PROPERTY LINE	[Symbol]	NEW L
[Symbol]	EX. CONCRETE SIDEWALK	[Symbol]	NEW C



**PROGRESS PRINT**  
2/23/07  
FOR APPROVALS ONLY

**SJR ENGINEERING**

S.J.R.  
21 M / TEL

RESIDENTIAL  
31 FOREST

**BACK BAY BOUNDARY**  
643 FOREST AVENUE - F01  
CUMBERLAND CC

SCALE: AS SHOWN  
DATE: FEB. 2007

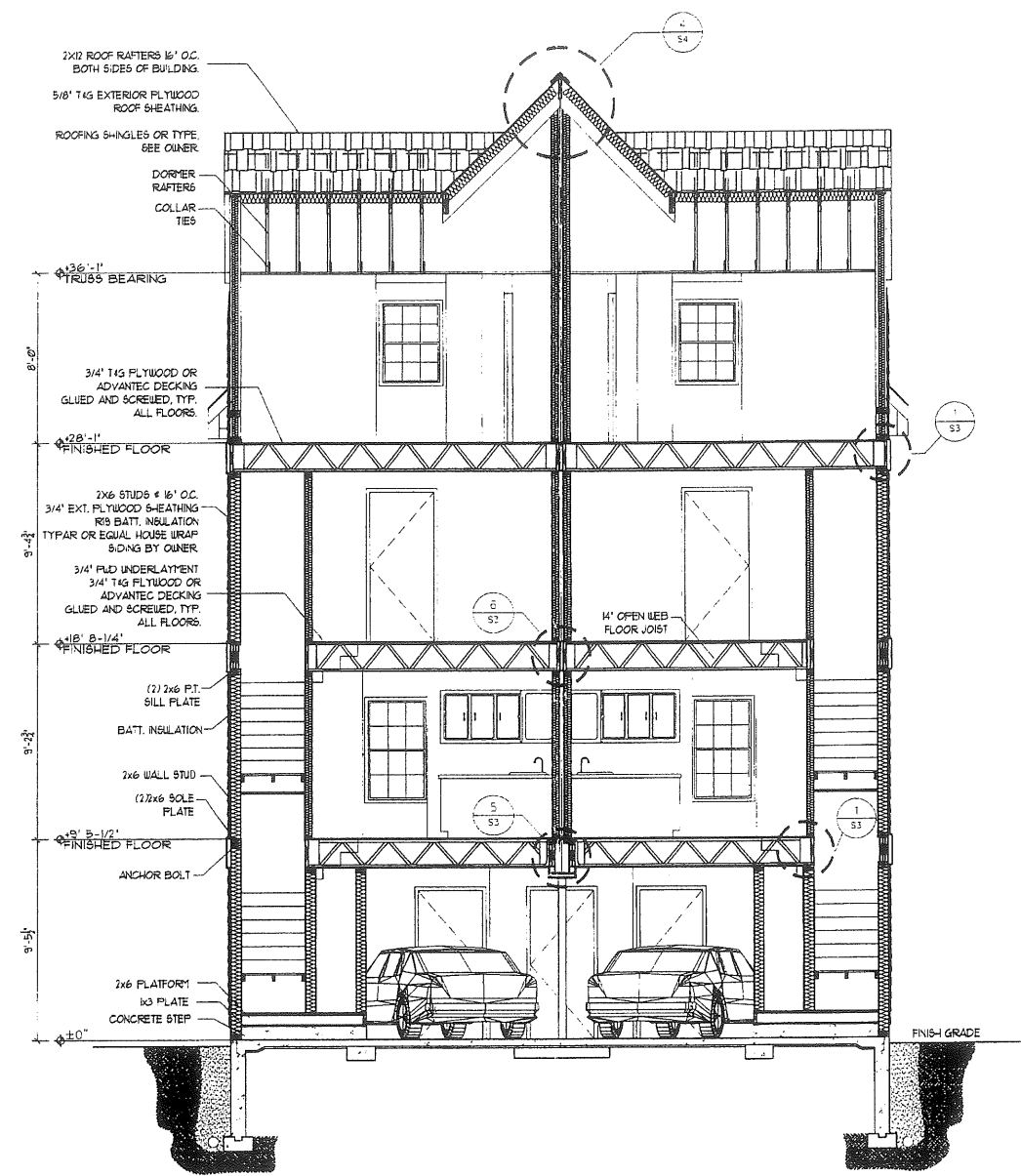
DRAWN BY: BOMAC  
CHECKED BY: SJR

**BOYNTON STREET**

**FOREST STREET**

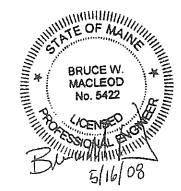
ONE WAY TRAFFIC

RIM ELEV. 30.24' INVERT OUT +25.45'



SECTION  
1/4"=1'-0"

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TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4"=1'-0"
DRAWN: JO
REVIEWED:
TITLE: SECTION
FILE: 07-0149
SHEET: 45

**GENERAL NOTES:**

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2003.

**STRUCTURAL DESIGN CRITERIA:**

- BUILDING CODE: IBC 2003 INTERNATIONAL BUILDING CODE
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:
  - DESIGN WIND SPEED = 100 MPH
  - BUILDING USE IMPORTANCE FACTOR (WIND) = 1.0
  - BUILDING EXPOSURE CATEGORY = B
  - DESIGN WIND PRESSURE, ROOF:
    - PRESSURE = 1.2 PSF
    - SUCTION = -11.4 PSF
  - DESIGN WIND PRESSURE, WALLS:
    - WINDWARD + LEeward = 18.9 PSF
- DESIGN WIND LOADS - COMPONENTS AND CLADDING:
  - EXPOSURE CATEGORY = B
- SNOW:
  - GROUND SNOW LOAD = 60 PSF
  - IMPORTANCE FACTOR, I = 1.0
  - EXPOSURE FACTOR, Ce = 0.7
  - FLAT ROOF SNOW LOAD = 42 PSF
  - THERMAL FACTOR, Ct = 1.0
- DEAD LOADS:
  - ROOF DEAD LOAD = 20 PSF
  - FLOOR DEAD LOAD = 15 PSF
- LIVE LOADS:
  - FLOOR LIVE LOAD = 40 PSF
- DESIGN SEISMIC CRITERIA- EQUIVALENT LATERAL FORCE PROCEDURE
  - SEISMIC USE GROUP = I
  - SEISMIC IMPORTANCE FACTOR = 1
  - Sds = 0.375
  - Sdl = 0.160
  - DESIGN CATEGORY = C
  - SITE CLASS = D
  - R = 7
  - Cd = 4.5
  - SEISMIC RESISTING SYSTEM = LOAD BEARING LIGHT FRAMED WALLS WITH SHEAR PANELS
  - SEISMIC BASE SHEAR, V = 0.054 x W

**FOUNDATION NOTES:**

- FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, WET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
- DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-6" BELOW FINISHED GRADE.
- NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
- FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR BOLTS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
- EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- VAPOR BARRIER BENEATH SLAB SHALL BE "STEGO WRAP" OR APPROVED EQUAL. POLYETHYLENE "IS NOT" AN ALTERNATE PRODUCT.

**CONCRETE NOTES:**

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI AT FOUNDATION WALLS AND FOOTINGS, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- SPLICING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318. SPLICING OF W/F SHALL BE 6" MINIMUM.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
  - CONCRETE CAST AGAINST EARTH = 3"
  - CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"
  - CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"
- SUBMIT COMPLETE REBAR SHOP DRAWINGS AND SCHEDULES SHOWING ALL DETAILS AND ELEVATIONS PRIOR TO ANY FABRICATION.

**STRUCTURAL STEEL NOTES - GENERAL**

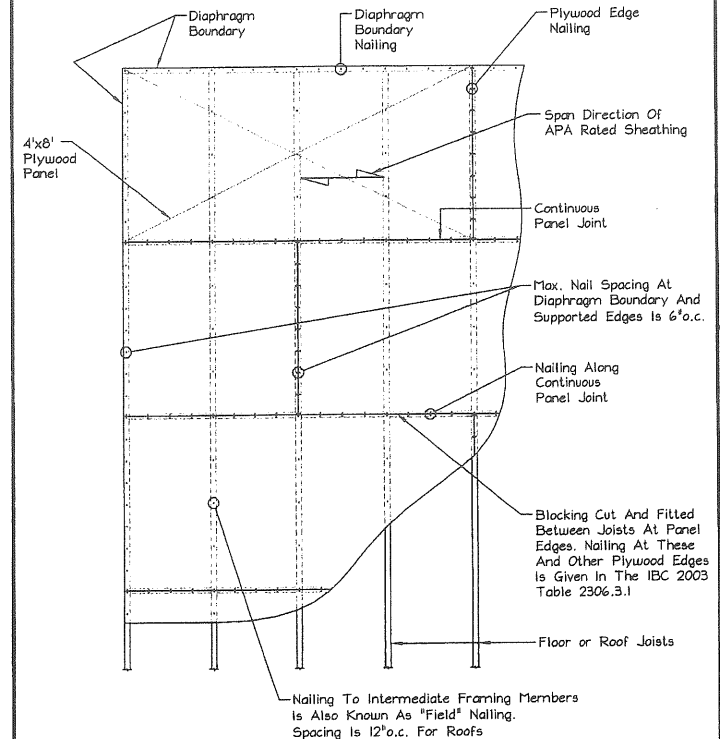
- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
- ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE. ALL W/F SHAPES TO BE ASTM A992 GR 50
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B
- THE DESIGN OF CONNECTIONS NOT SHOWN ON THE DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR. CONNECTIONS SHALL BE DESIGNED FOR THE FORCES SHOWN, OR IF NOT SHOWN, EACH CONNECTION SHALL BE CAPABLE OF SUPPORTING ONE HALF THE TOTAL ALLOWABLE UNIFORM LOAD CAPACITY OF THE MEMBER, PER AISC MANUAL OF STEEL CONSTRUCTION. FABRICATOR SHALL PROVIDE CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MAINE FOR ALL CONNECTIONS.
- ALL BOLTED CONNECTIONS SHALL BE MADE WITH 3/4" ASTM A325 HIGH STRENGTH BOLTS.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
- STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.
- SUBMIT COMPLETE STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION.

**WOOD FRAMING NOTES:**

- STRUCTURAL LUMBER: SPRUCE PINE FIR NO1/NO2 OR BETTER
  - Fb = 875 PSI Fv = 70 PSI
  - Fc = 1150 PSI E = 1400000 PSI
- DESIGN CODE: IBC 2003 / NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- NAILING REQUIREMENTS FOR PLYWOOD SHEATHING:
  - PROVIDE 10d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE;
  - 10d NAILS @ 4" o.c. ALONG PANEL EDGES
  - 10d NAILS @ 12" o.c. ALONG INTERMEDIATE MEMBERS
  - PROVIDE BLOCKING AT ALL PANEL EDGES
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.

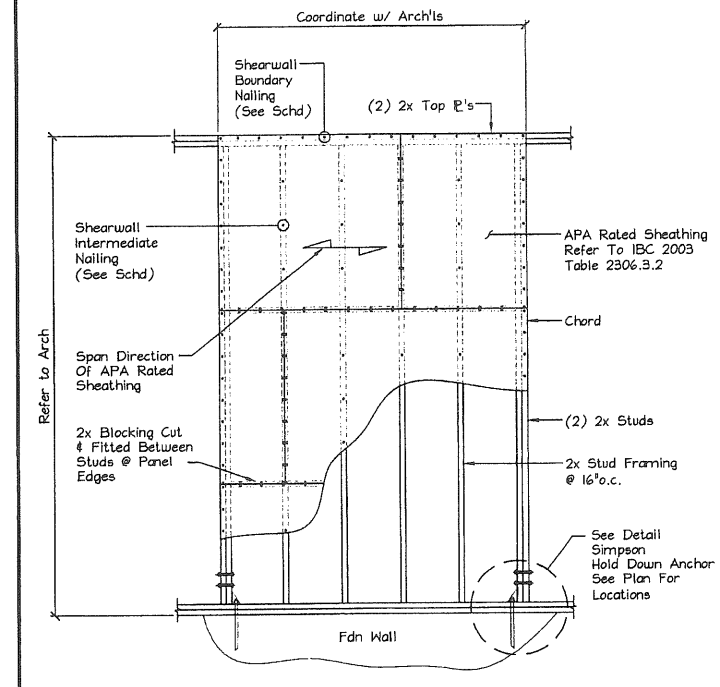
**WOOD TRUSS NOTES:**

- DESIGN CRITERIA FOR ROOF SYSTEM:
  - A. LIVE LOAD (SNOW) PER STRUCTURAL DESIGN CRITERIA
  - B. DEAD LOAD PER STRUCTURAL DESIGN CRITERIA
  - C. WIND LOAD PER STRUCTURAL DESIGN CRITERIA
  - D. LOAD COMBINATIONS PER IBC 2003 INTERNATIONAL BUILDING CODE
  - E. ALLOWABLE DEFLECTION = L/360
  - F. PROVIDE BOTTOM CHORD CAMBER EQUAL TO THE TRUSS DEAD LOAD DEFLECTION.
- MATERIALS:
  - A. STRESS GRADED LUMBER, METAL PLATE CONNECTORS
- APPLICABLE SPECIFICATIONS:
  - A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS).
  - B. MOST RECENT AITC STANDARDS.
  - C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES. TPI LATEST EDITION.
- BRACING:
  - A. TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.
  - B. MINIMUM BRACING REQUIREMENTS AND INSTRUCTIONS FURNISHED BY TRUSS MANUFACTURER SHALL INCLUDE AND CONFORM TO HB-91.
  - C. ALL TEMPORARY AND PERMANENT BRACING SHALL BE MINIMUM 2x4 SPF No. 2 MATERIAL CONNECTED WITH MINIMUM 2-16d NAILS AT ALL CONNECTIONS, UNLESS OTHERWISE SPECIFIED BY TRUSS MANUFACTURER OR HB-91.
  - D. THE CONTRACTOR SHALL COMPLY WITH THE COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HB-91. IT IS THE RESPONSIBILITY OF THE INSTALLER/CONTRACTOR TO PROPERLY RECEIVE, UNLOAD, STORE, HANDLE, INSTALL, AND BRACE TRUSSES TO PROTECT LIFE AND PROPERTY.
- ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
- SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURE.
- ANY VARIATIONS BY THE TRUSS MANUFACTURER FROM THESE DRAWINGS INCLUDING BUT NOT LIMITED TO THE NEED FOR BIRD MOUTHS SHALL BE CLEARLY NOTED ON THE TRUSS DRAWINGS. APPROPRIATE DETAILS SHALL BE PROVIDED, WHICH SHOW SUCH VARIATIONS. ALL VARIATIONS SHALL BE APPROVED BY THE ENGINEER.



**NAILING SCHEDULE:**  
 Diaphragm Boundary: (Blocked & Un-Blocked)  
 8d Nails @ 6" o.c.  
 Blocked Panel Edges:  
 8d Nails @ 6" o.c.  
 Intermediate Support (Field):  
 8d Nails @ 12" o.c.

**DETAIL - SHEATHING NAILING PLAN (ROOF OR FLOOR)**  
 SCALE: 1/2" = 1'-0"



**NAILING SCHEDULE:**  
 Shearwall Boundary:  
 8d Nails @ 6" o.c.  
 Blocked Panel Edges:  
 8d Nails @ 6" o.c.  
 Intermediate Support (Field):  
 8d Nails @ 12" o.c.

**DETAIL - SHEAR WALL**  
 SCALE: 1/2" = 1'-0"

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NO.	DATE

LIGHT GAGE METAL FRAMING  
 FOREST STREET CONDOMINIUMS  
 PORTLAND, MAINE

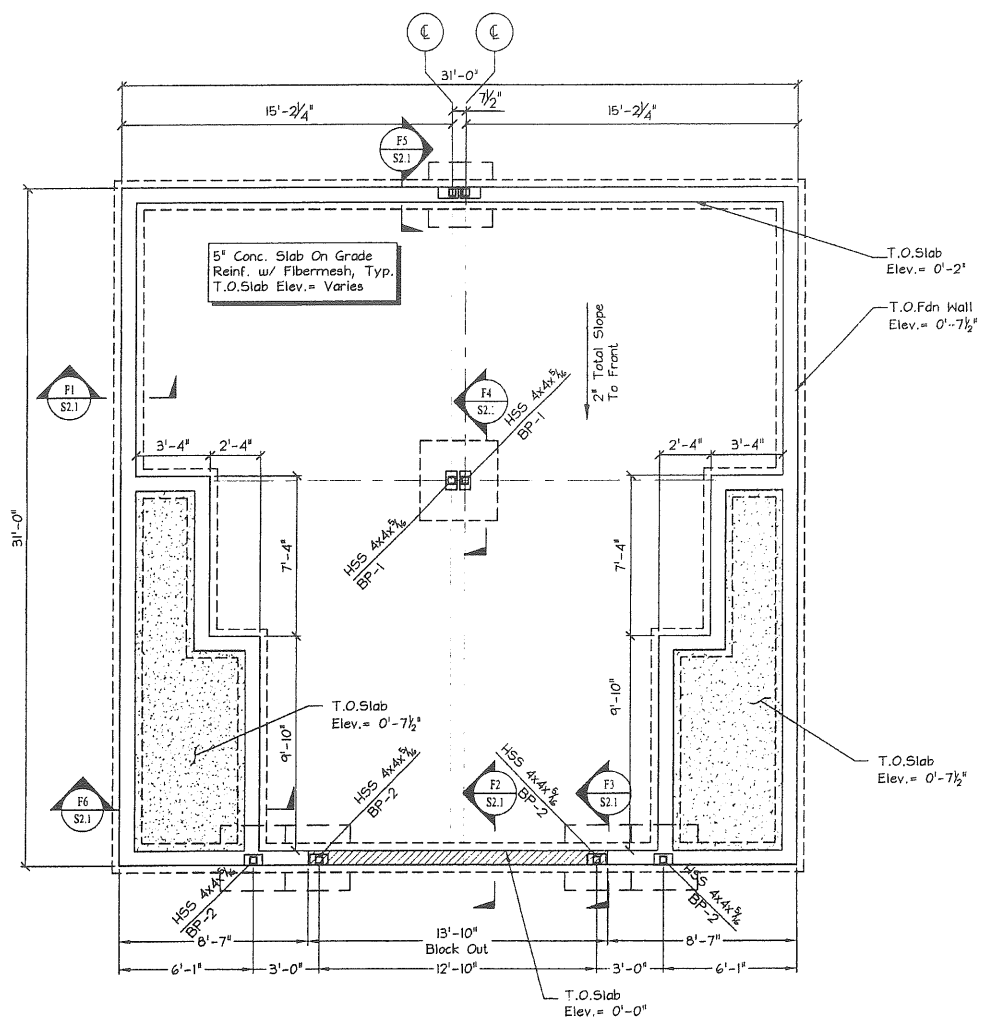
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SCALE:	AS NOTED
PROJ. NO:	2008-164

**SHEET TITLE:**  
 NOTES  
 S1 OF

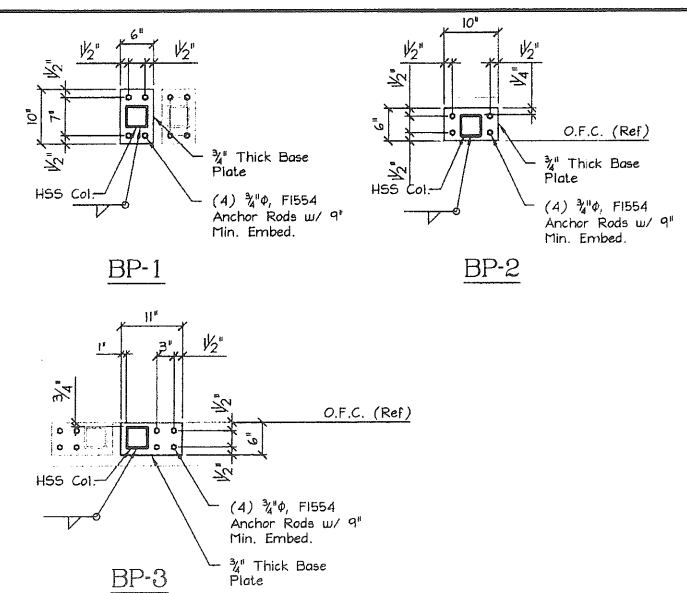




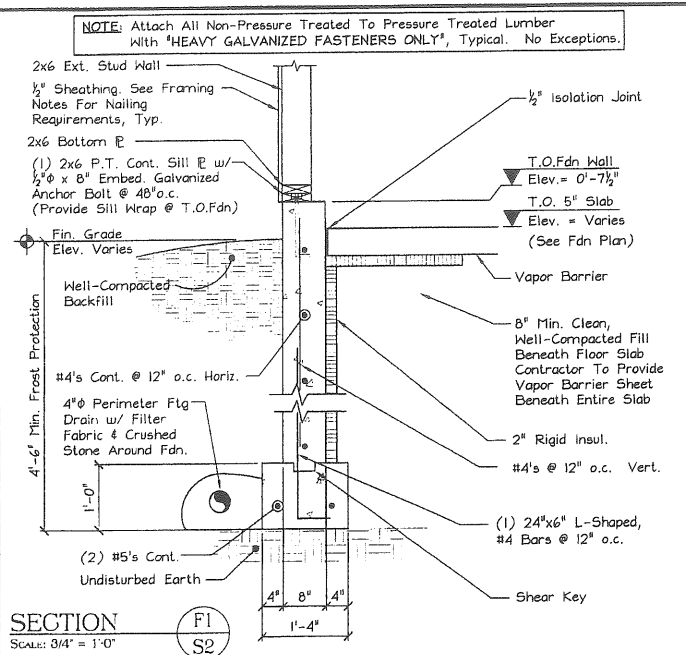
**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**

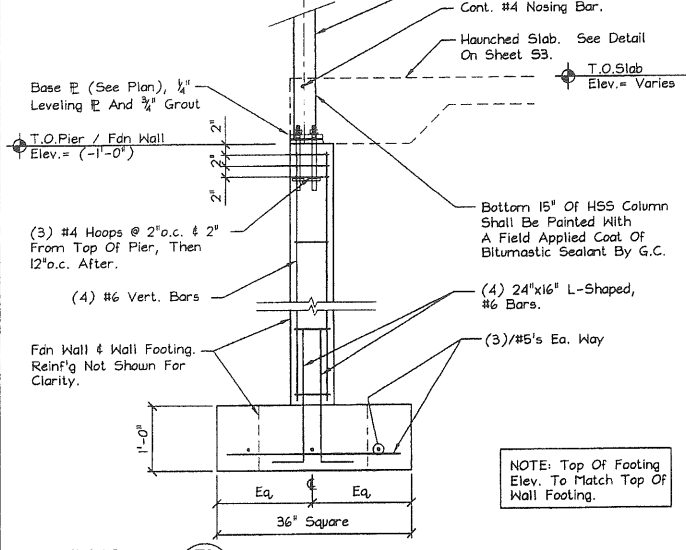
Foundation Elevations:	
Top Of Slab... EL. = 0'-0", U.N.O.	Verify With Arch'l Dwg.
Top Of Fdn. Wall... EL. = 0'-7 1/2", U.N.O.	
[Hatched Area] Indicates Location Of Special Condition At Fdn Wall At All Exterior Openings. See Typical Sect's On Dwg. S2.1.	
OFC Indicates Outside Face Of Concrete	
F-# Indicates Footing Type. See Footing Schedule For Size & Reinforcing.	
BP-# Indicates Base Plate Type. See Details on 5-2.1 For Size.	
C-1 HSS4X4X5/16 Column	



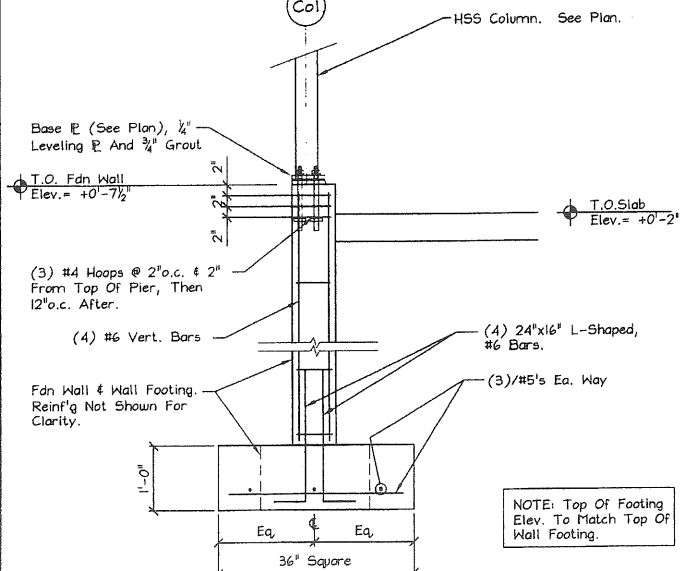
**DETAIL - BASE PLATE TYPES**



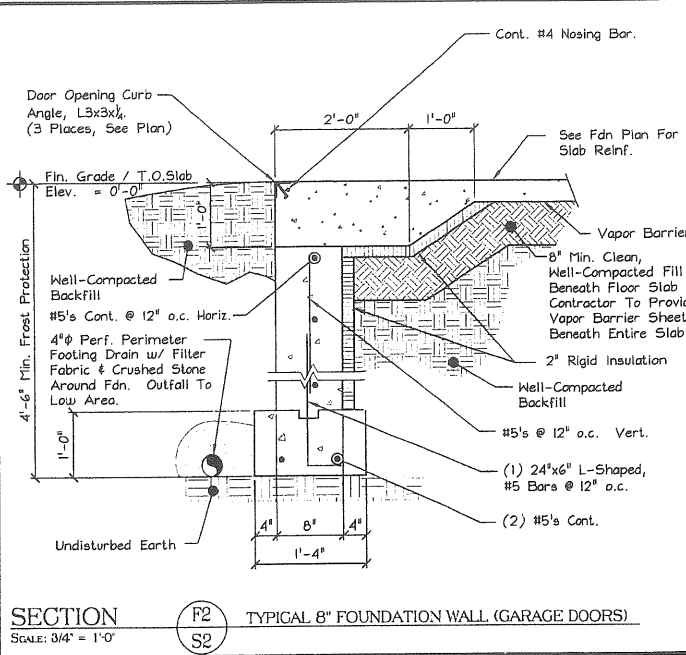
**SECTION F1**  
SCALE: 3/4" = 1'-0"



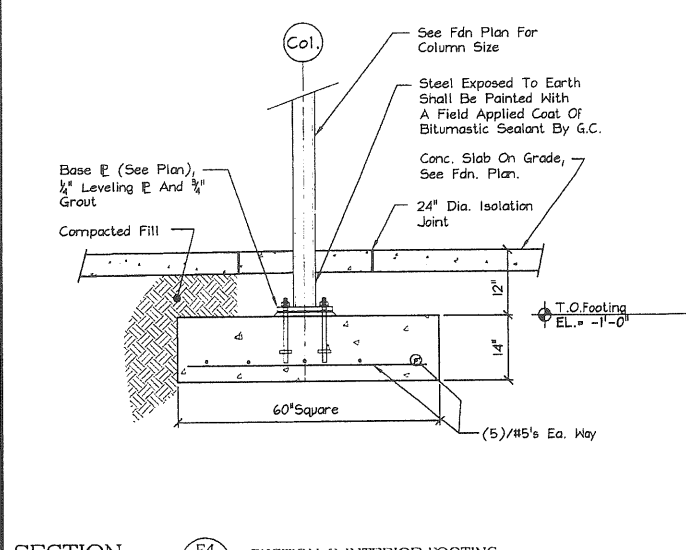
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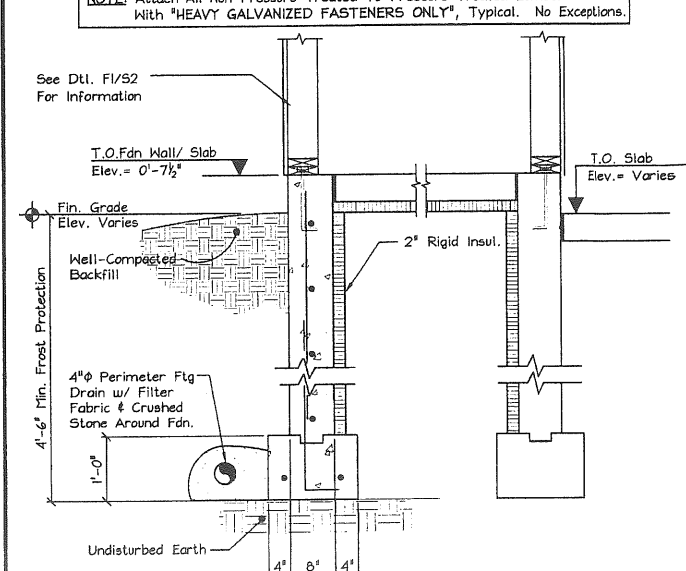
**SECTION F5**  
SCALE: 3/4" = 1'-0"



**SECTION F2**  
SCALE: 3/4" = 1'-0"



**SECTION F4**  
SCALE: 3/4" = 1'-0"



**SECTION F6**  
SCALE: 3/4" = 1'-0"

**CURRENT REVISION**

#	DATE	DESCRIPTION

**LIGHT GAGE METAL FRAMING**

**FOREST STREET CONDOMINIUMS**

**MacLeod Structural Engineers, P.A.**

404 Main Street  
Portland, Maine 04108  
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**BRUCE W. MACLEOD**  
No. 5422  
LICENSED PROFESSIONAL ENGINEER

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**SHEET TITLE:**  
FOUNDATION PLAN & DETAILS

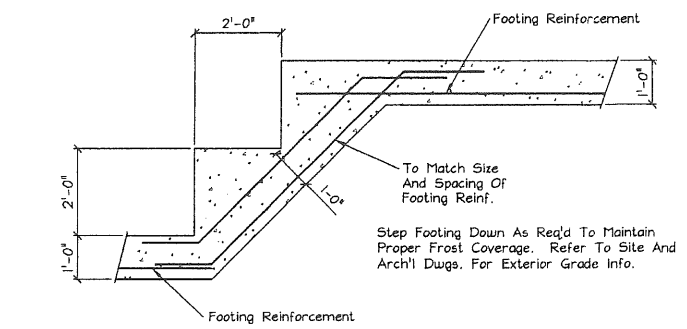
SHEET NO. 1 OF 1

**STATE OF MAINE**

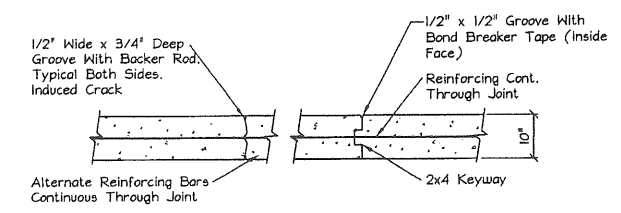
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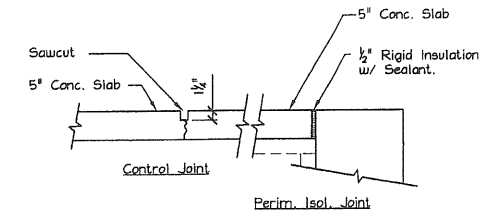


DETAIL - TYPICAL STEP FOOTING  
SCALE: 1/2" = 1'-0"

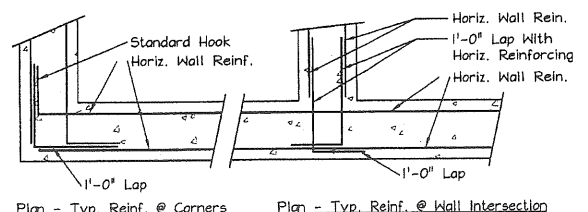


Note: Control Joints Spaced At Max. 40'-0" o.c., & 20'-0" From Corners. Coordinate Final Location With Arch'l Plans

DETAIL - TYPICAL FOUNDATION WALL JOINTS  
SCALE: N.T.S.



DETAIL - TYPICAL FLOOR JOINTS  
SCALE: 1" = 1'-0"



DETAIL - TYPICAL WALL REINFORCING  
SCALE: 1" = 1'-0"

#	DATE	DESCRIPTION

PORTLAND  
**FOREST STREET CONDOMINIUMS**  
 LIGHT GAGE METAL FRAMING  
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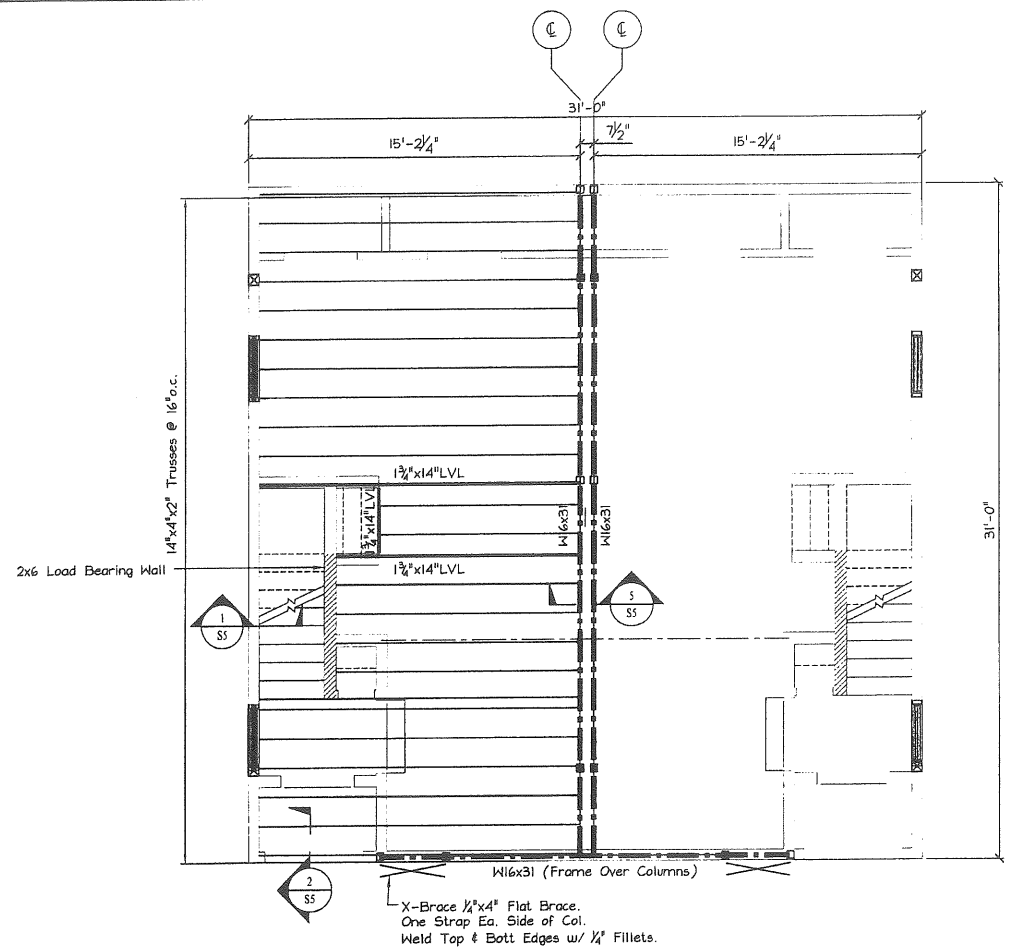
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 511608

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SHEET TITLE:  
 FOUNDATION DETAILS



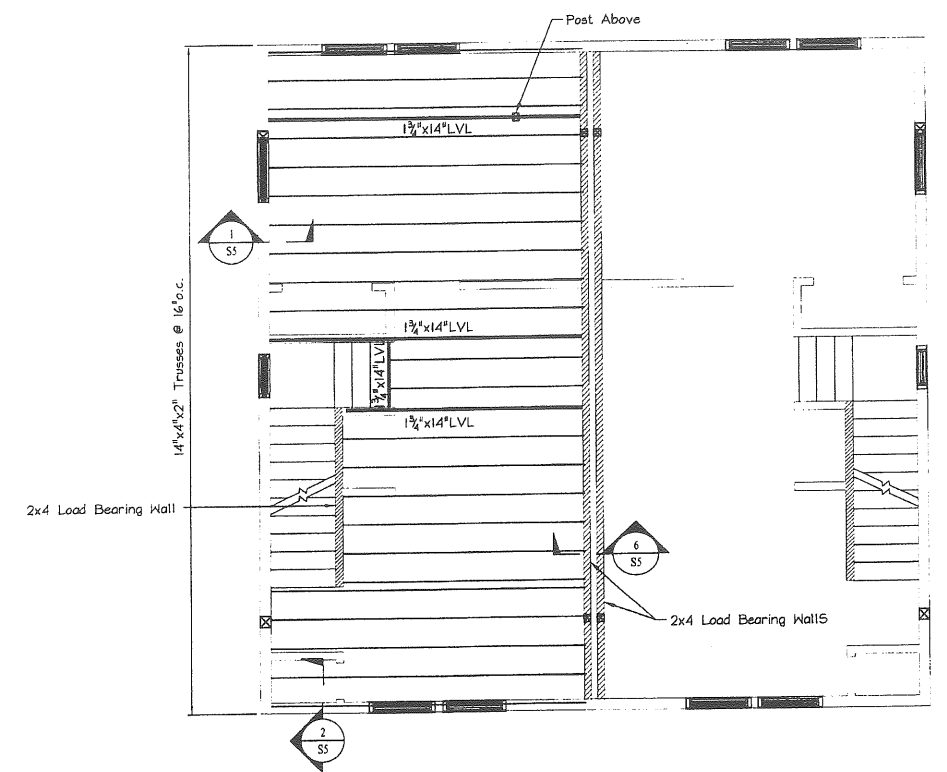
**FIRST FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

HEADER SCHEDULE			
MARK	DESCRIPTION	JACK STUDS (NUMBER)	KING STUDS (NUMBER)
H-1	(3) 2x12's	(1) Studs	(1) Studs
H-2	5 1/2" x 11 1/2" LVL	(1) Studs	(2) Studs

NOTE:  
1. All Headers Not Noted To Be (3) 2x12's

FRAMING NOTES:	
☒	Indicates Wood Post (3) 2xs. P-1 (3) 2x6's P-2 (3) 2x4's
■	Indicates Wood Post Up. (3) 2xs Provide (3) 2xs Below all LVLs and Hbeams, U.N.O.



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**THIRD FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

#	DATE	DESCRIPTION

PORTLAND

MAINE

FOREST STREET CONDOMINIUMS

LIGHT GAGE METAL FRAMING

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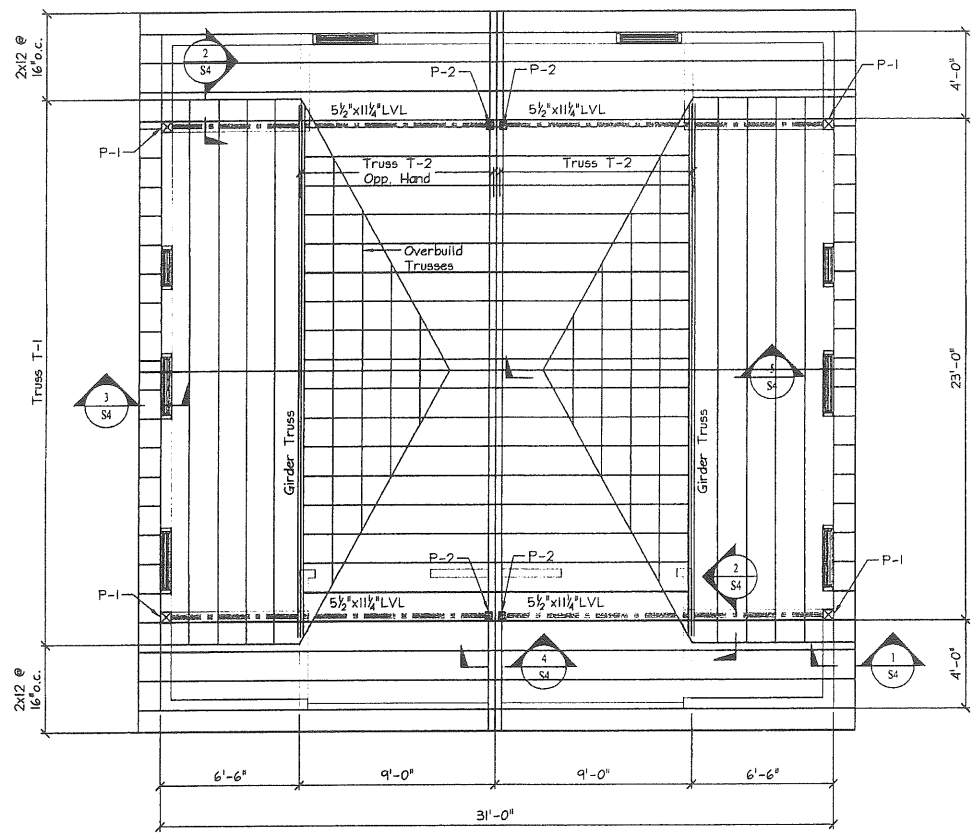
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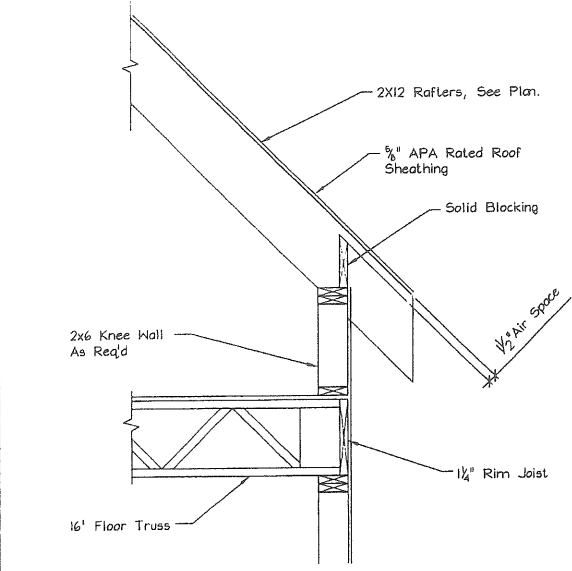
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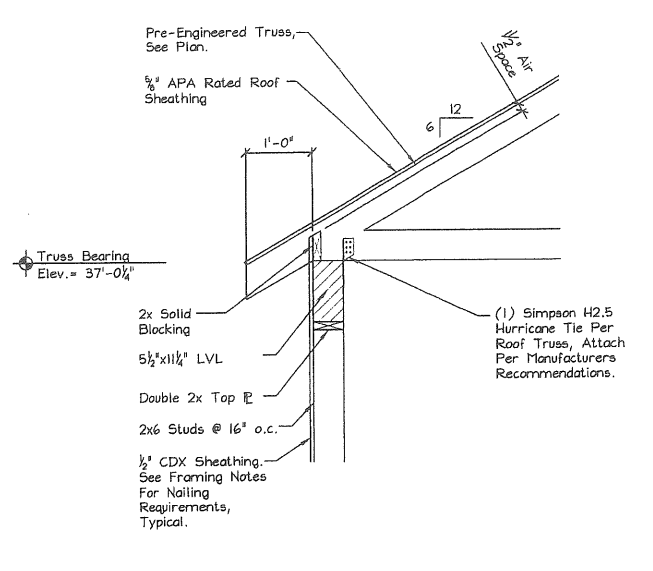
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FLOOR FRAMING PLANS  
S3 OF



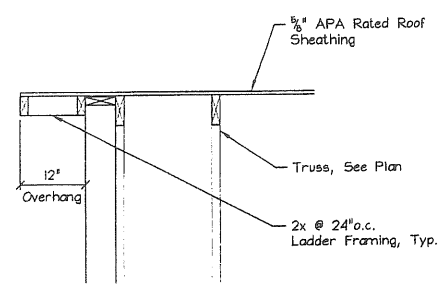
**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



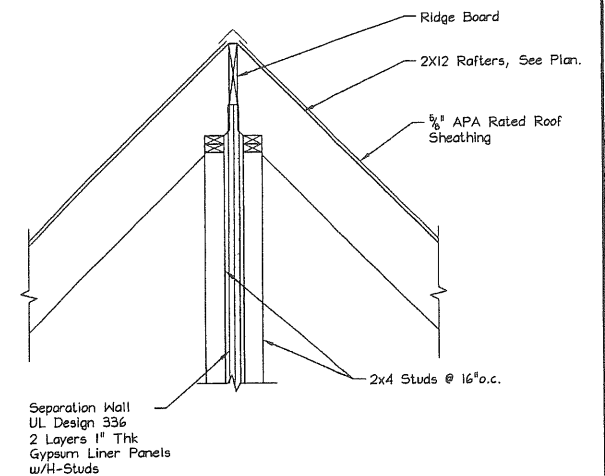
**SECTION 1**  
SCALE: 3/4" = 1'-0"  
1 S4



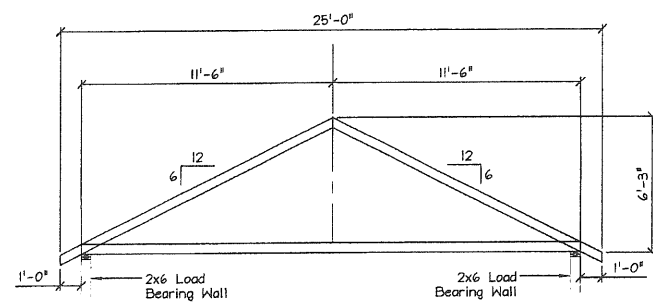
**SECTION 2**  
SCALE: 3/4" = 1'-0"  
2 S4



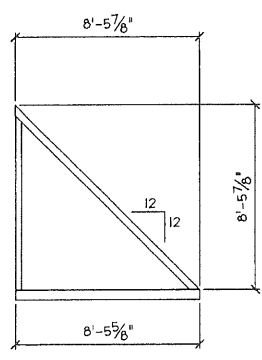
**SECTION 3**  
SCALE: 3/4" = 1'-0"  
3 S4



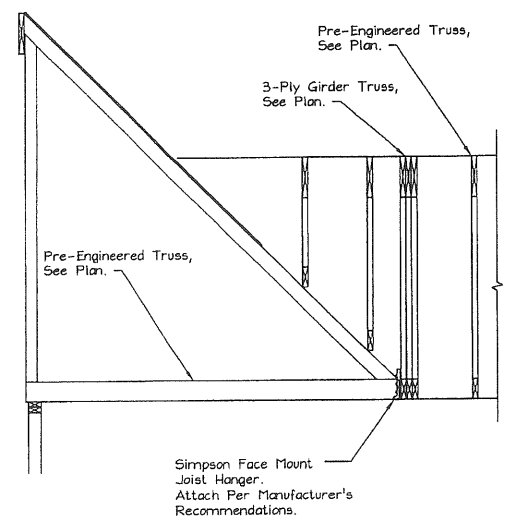
**SECTION 4**  
SCALE: 3/4" = 1'-0"  
4 S4



**TRUSS PROFILE TYPE "T-1"**  
SCALE: 1/4" = 1'-0"



**TRUSS PROFILE TYPE "T-2"**  
SCALE: 1/4" = 1'-0"



**SECTION 5**  
SCALE: 1/2" = 1'-0"  
5 S4

**ROOF FRAMING NOTES**

Roof Truss Bearing Elev. = 36'-1"

Roof Steel Bearing Elev. = 36'-1" UNO

All Wood Trusses Are At 16" o.c. Spacing.

O.F.S. = Outside Face Of Stud.

See Arch'l Dwg. For Additional Information.

For Additional Notes & Schedules, See Dwg. S1.

← Indicate Span Direction Of 3/4" CDX Plywood Roof Sheathing.

DATE	DESCRIPTION

**LIGHT GAGE METAL FRAMING**

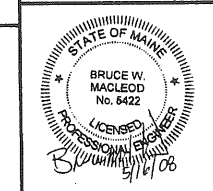
**FOREST STREET CONDOMINIUMS**

PORTLAND, MAINE

MacLeod Structural Engineers, P.A.

404 Main Street  
Portland, Maine 04038  
phone: (207) 839-0980  
fax: (207) 839-0982

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**THIS DRAWING IS ISSUED**

DATE: 4/24/08

Submittal For Permit

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DRN BY: BWM/bvmb

CHKD BY: BWM

DATE: 3/13/08

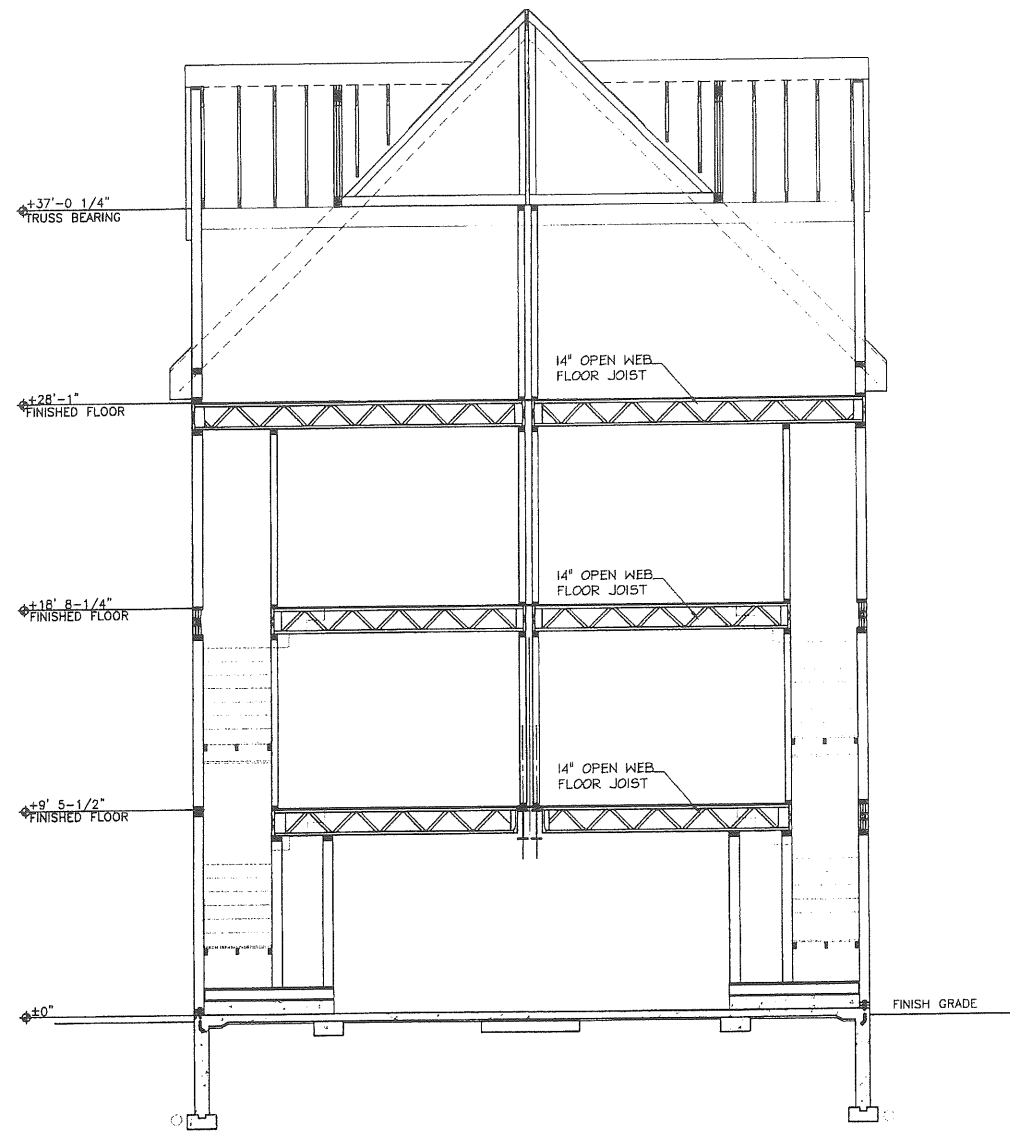
SCALE: AS NOTED

PROJ. NO: 2008-164

**SHEET TITLE:**

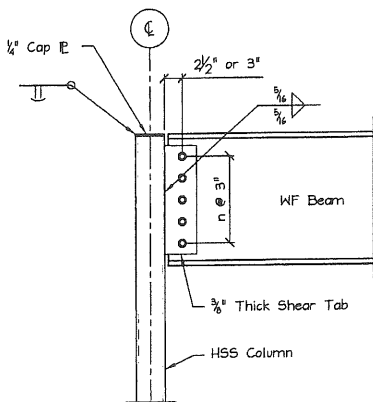
**ROOF FRAMING PLAN**

S4 OF 4



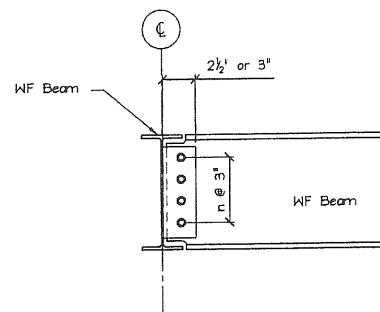
**CROSS SECTION**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
Fabricator To Design Connections  
For Members Shown.

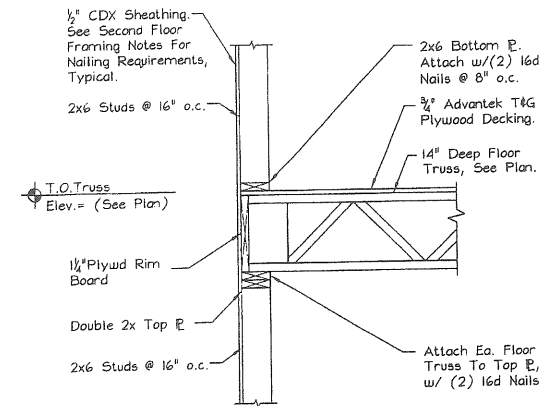


**DETAIL - WF BEAM TO HSS COLUMN CONNECTION**  
SCALE: NOT TO SCALE

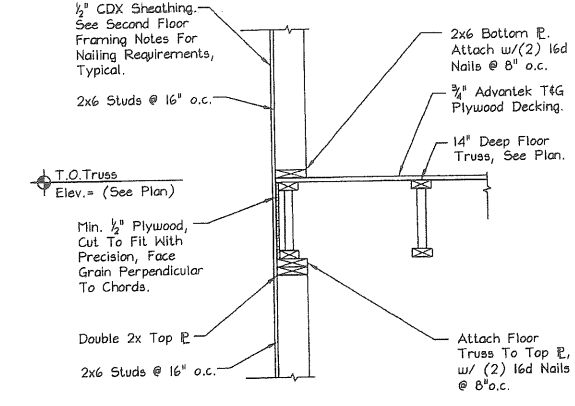
**NOTE:**  
Fabricator To Design Connections  
For Members Shown.



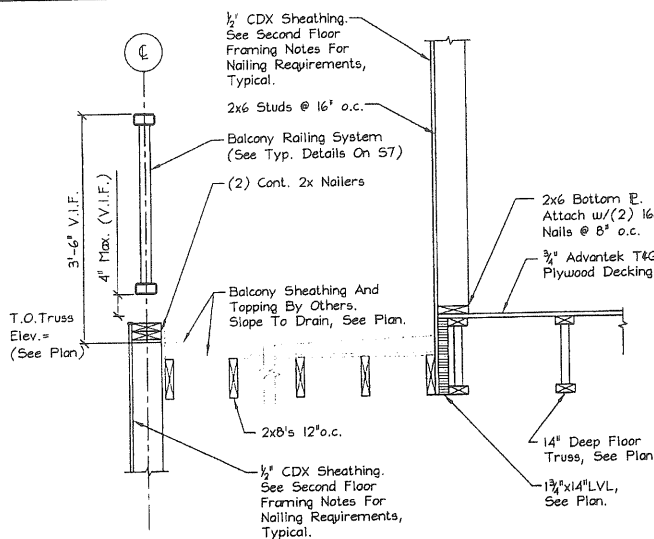
**DETAIL - WF BEAM TO WF BEAM CONNECTION**  
SCALE: NOT TO SCALE



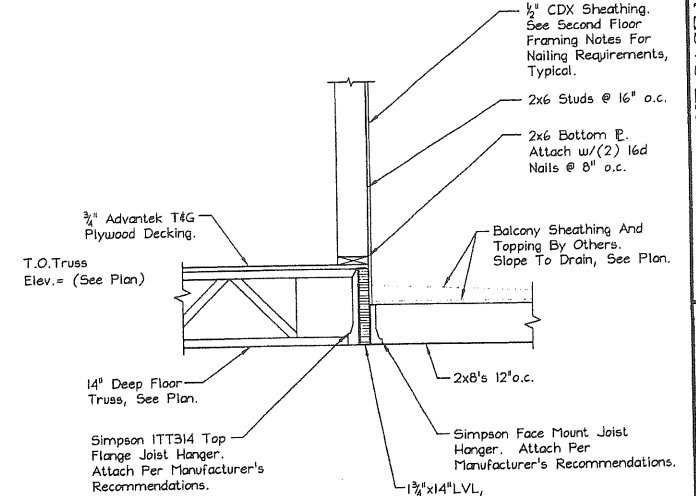
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SCALE: 3/4" = 1'-0"



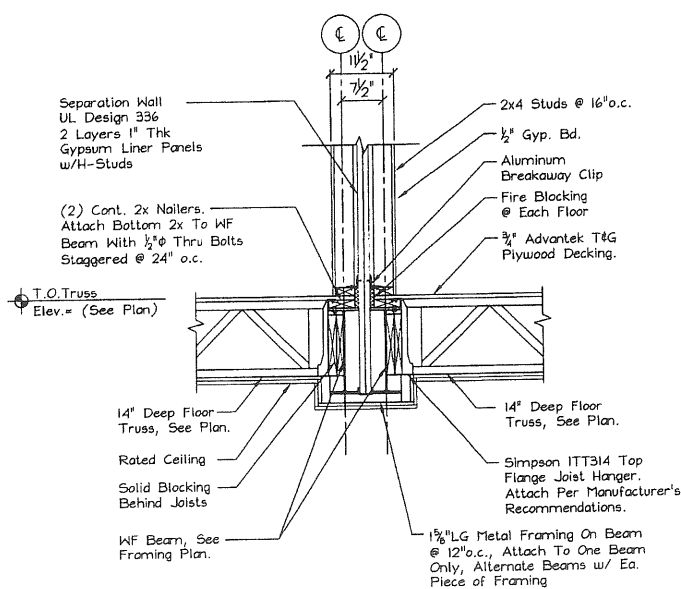
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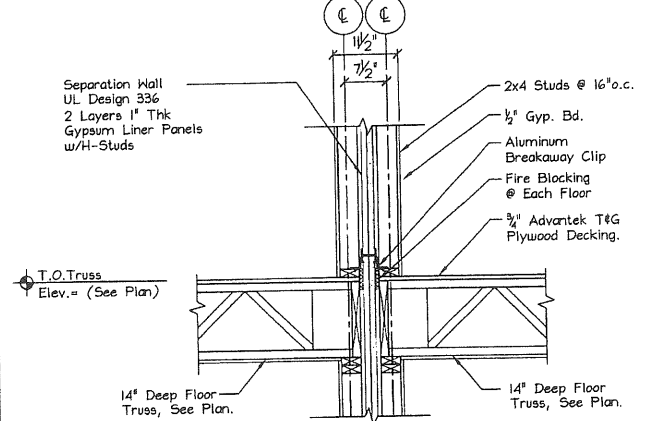
**SECTION 3**  
SCALE: 3/4" = 1'-0"



**SECTION 4**  
SCALE: 3/4" = 1'-0"



**SECTION 5**  
SCALE: 3/4" = 1'-0"



**SECTION 6**  
SCALE: 3/4" = 1'-0"

DATE	DESCRIPTION

CURRENT REVISION  
 LIGHT GAGE METAL FRAMING  
 FOREST STREET CONDOMINIUMS  
 PORTLAND, MAINE

**MacLeod Structural Engineers, P.A.**  
 404 Main Street  
 Conham, Maine 04038  
 phone: (207) 839-0880  
 fax: (207) 839-0982  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF MAINE  
 BRUCE W. MACLEOD  
 No. 8422  
 5/16/08

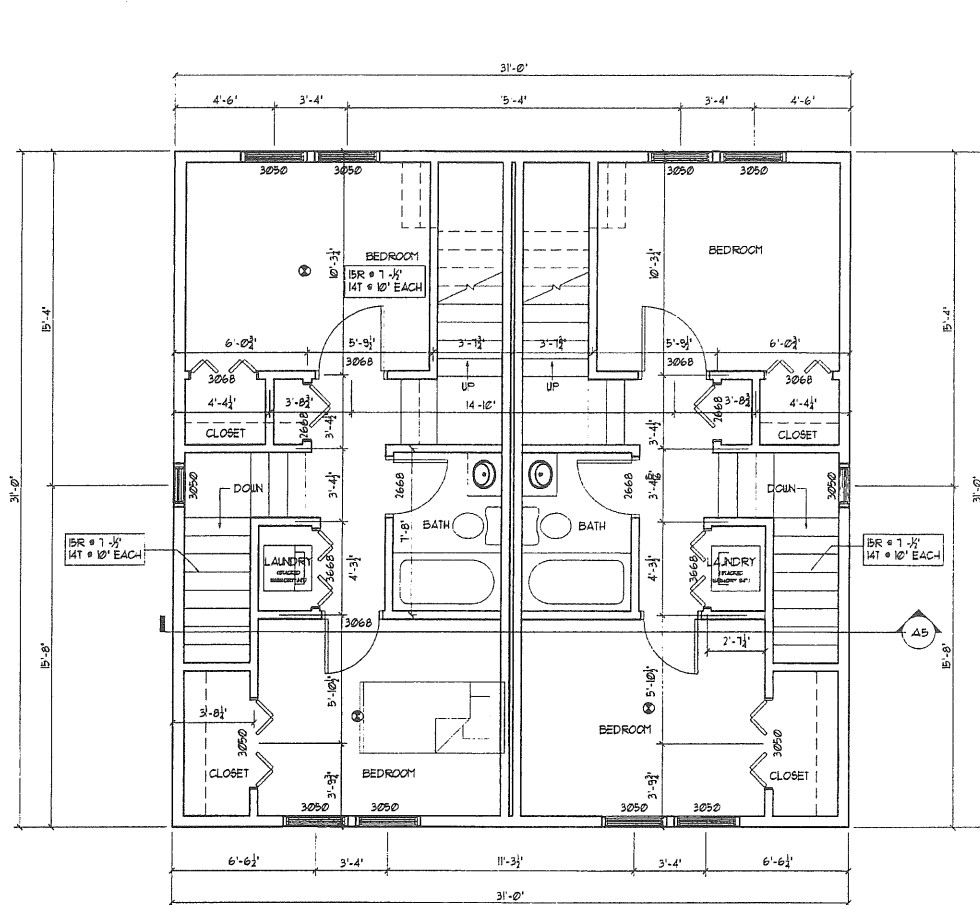
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 Otherwise It Shall Be Considered A  
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RI License 10991	VT License 08244
CT License 23851	RI License 07810
NY License 81302	RI License 648035
DRN BY: BWM/DBB	CHKD BY: BWM
DATE: 8/13/08	SCALE: As Noted
PROJ. NO: 2008-164	

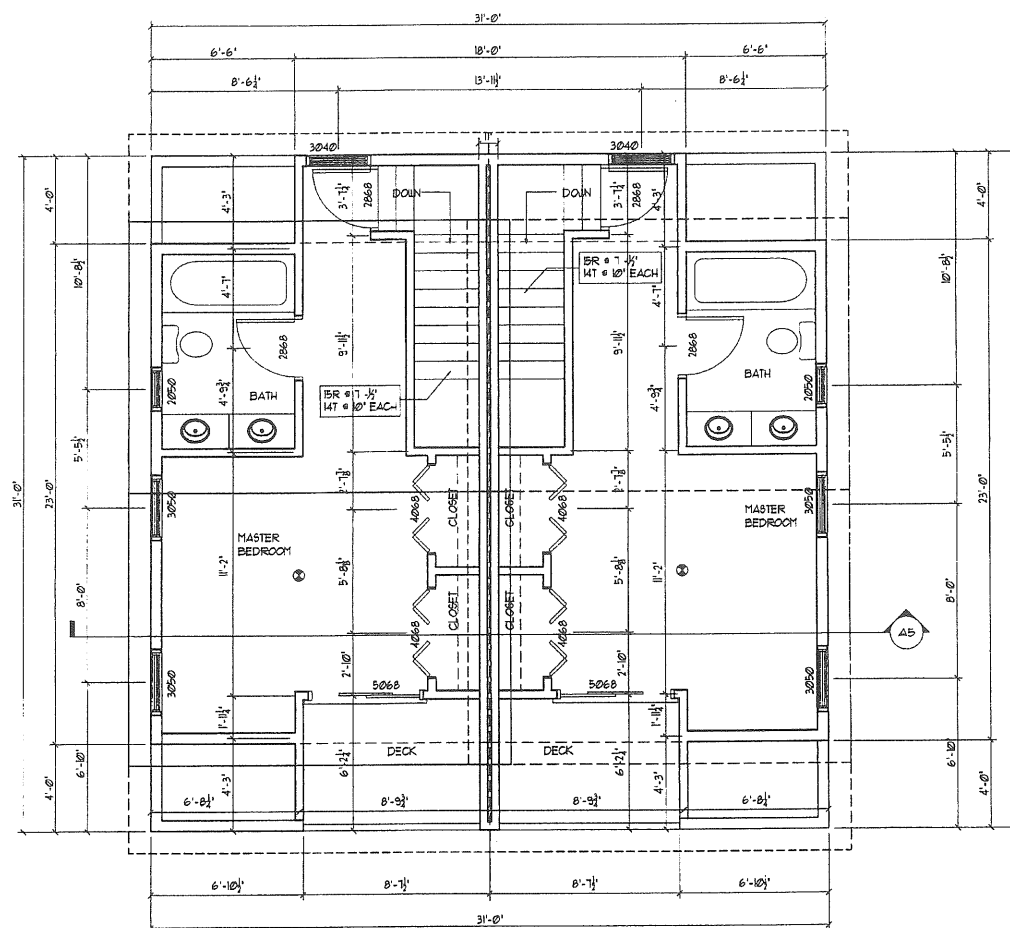
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 FRAMING SECTIONS  
 & DETAILS  
 S5 OF

TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4"=1'-0"
DRAWN: JO
REVIEWED:
TITLE: SECOND AND THIRD FLOOR PLAN
FILE: 07-0149
SHEET: A2

NOTES:  
① SMOKE DETECTOR

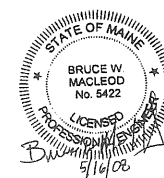


SECOND FLOOR PLAN  
14'-11" x 31'-0"

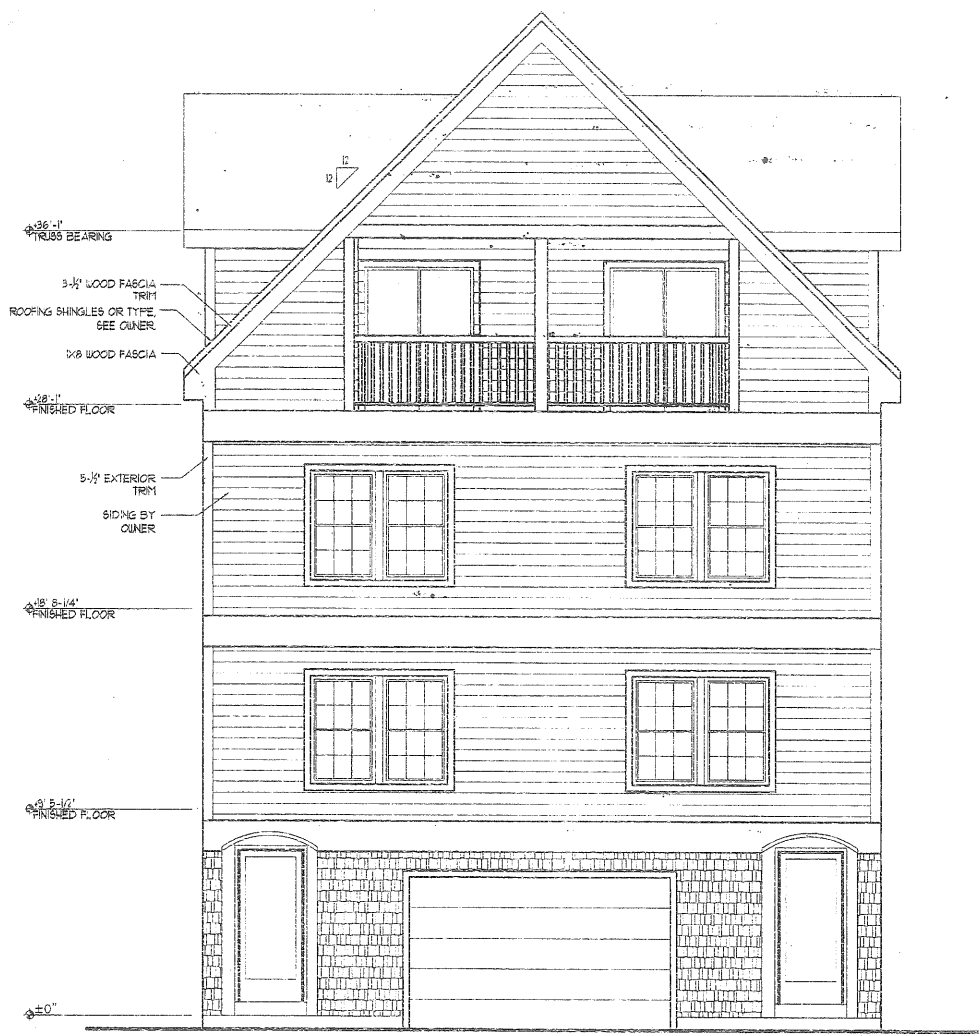


THIRD FLOOR PLAN  
14'-11" x 31'-0"

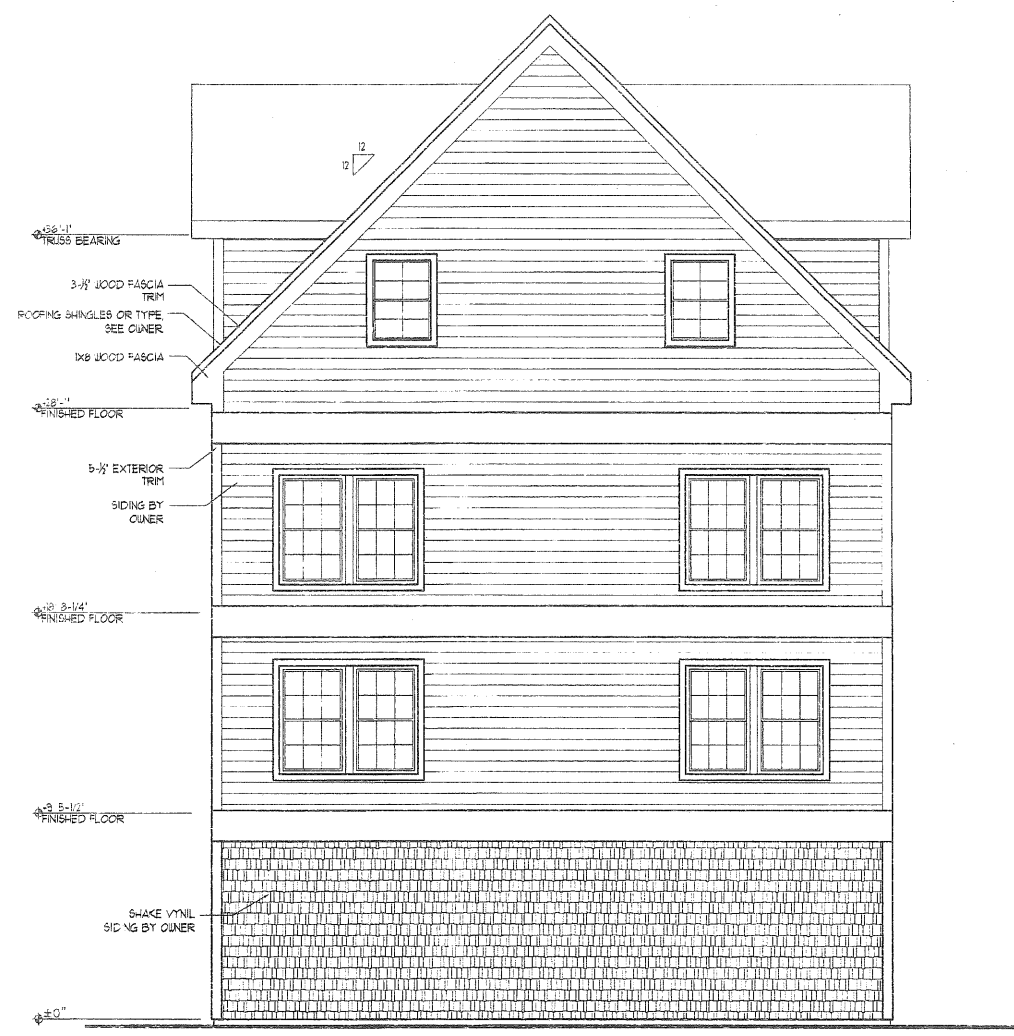
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BECAUSE DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED  
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BY ANY COURT, TRIBUNAL, JUDGE, JURY OR ANY OTHER PARTY.



31 FOREST ST.  
 Portland, ME

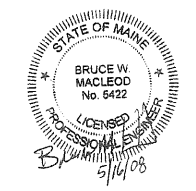


FRONT ELEVATION  
 14'-0"

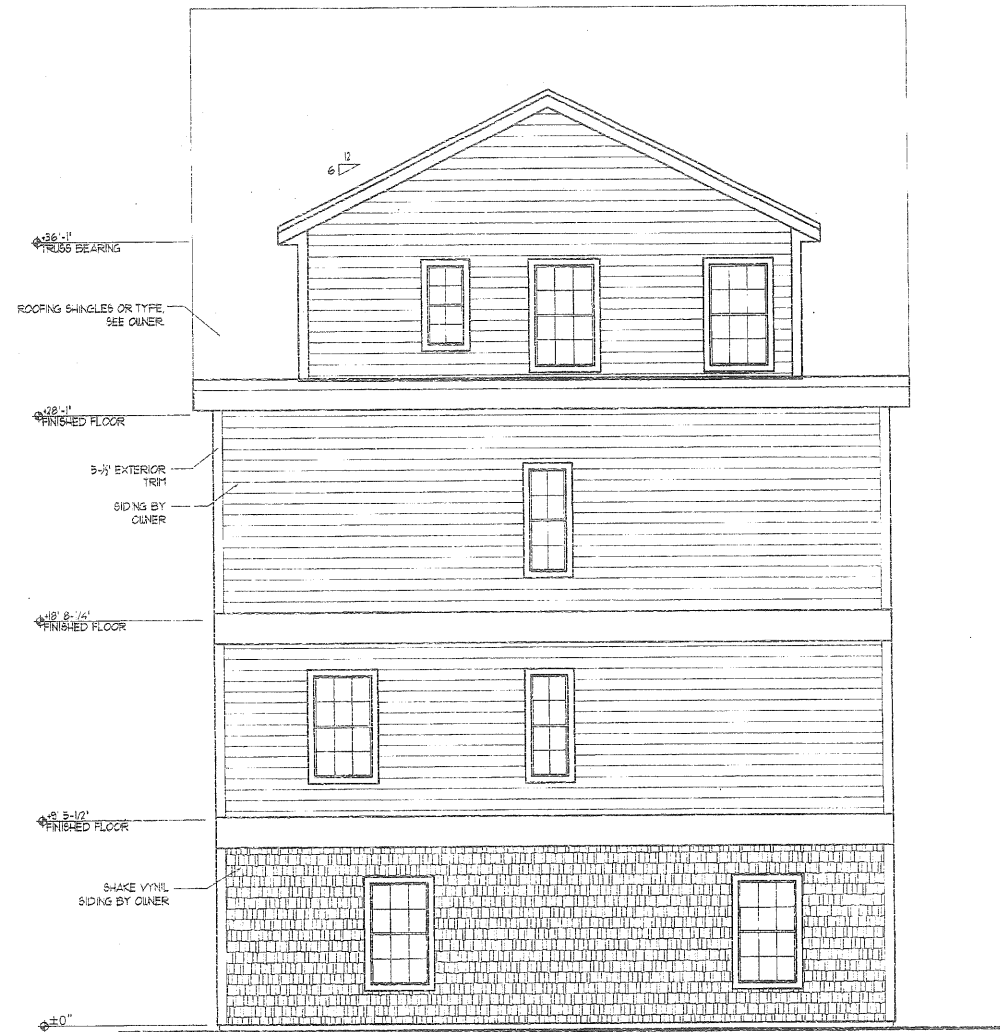


BACK ELEVATION  
 14'-0"

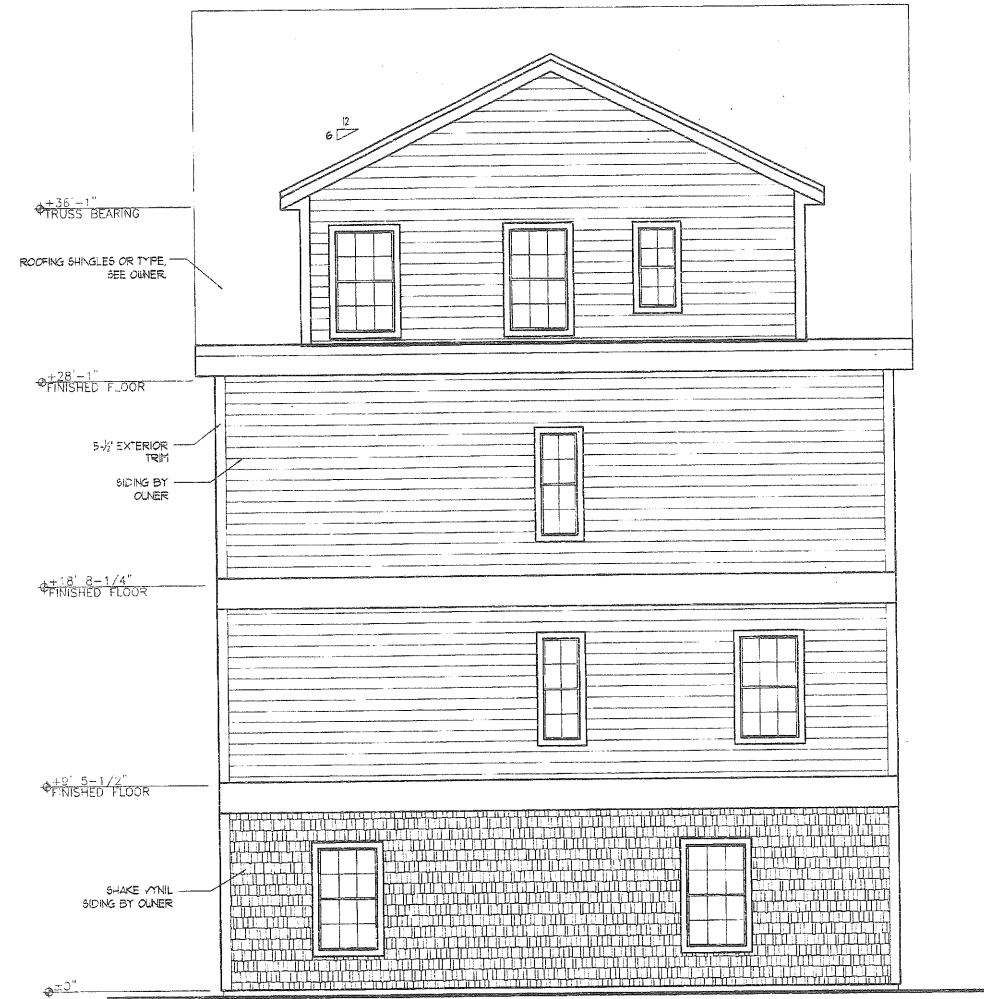
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TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4" = 1'-0"
DRAWN: JO
REVIEWED:
TITLE: ELEVATIONS
FILE: 07-0143
SHEET: A3

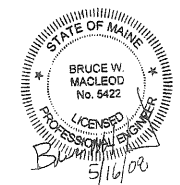


LEFT ELEVATION  
W-1-6



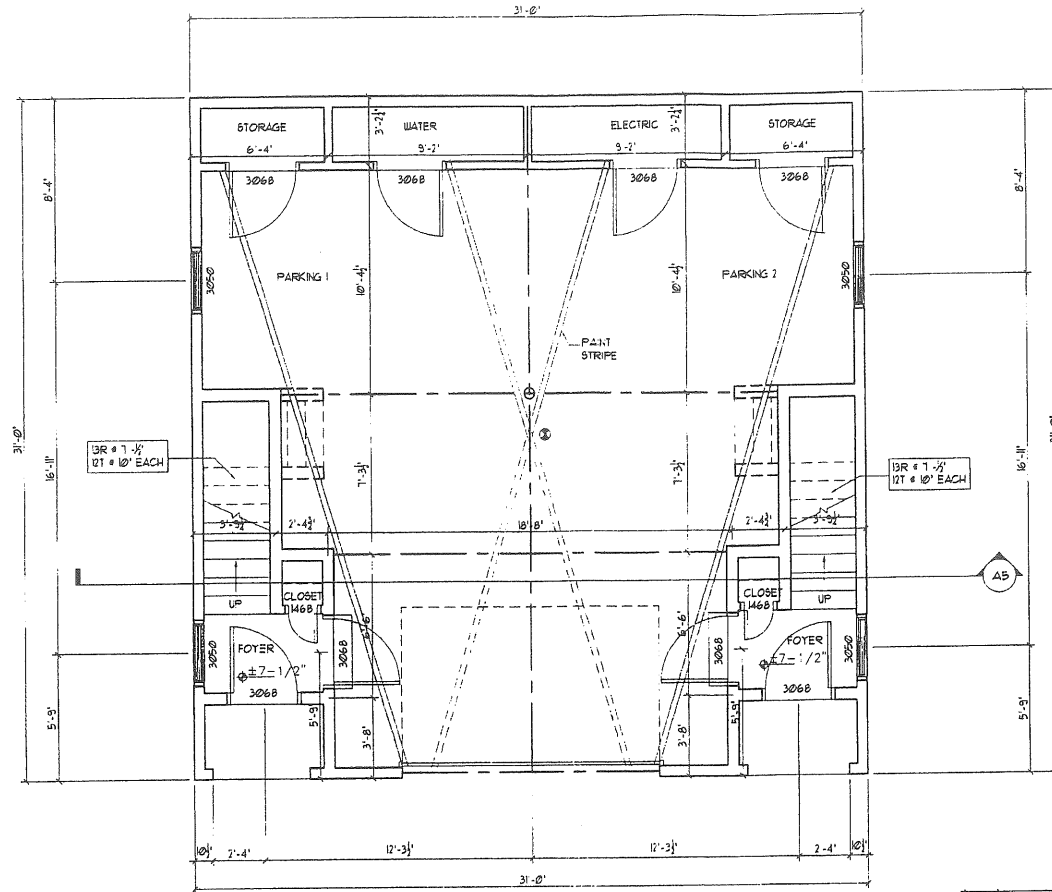
RIGHT ELEVATION  
W-1-6

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TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4" = 1'-0"
DRAWN: JO
REVIEWED:
TITLE: ELEVATIONS
FILE: 07-0149
SHEET: 44

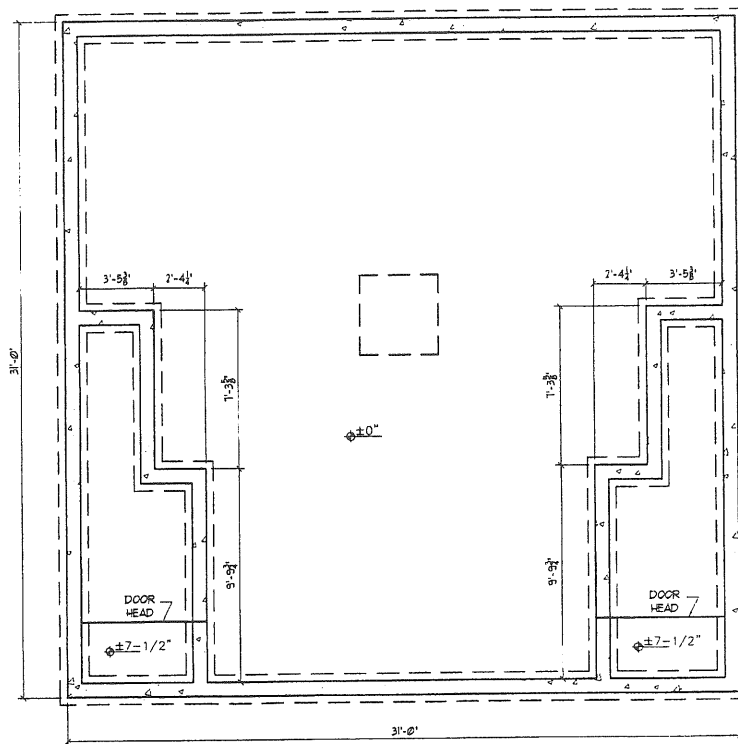




**GARAGE PLAN**  
16'-11" x 31'-0"

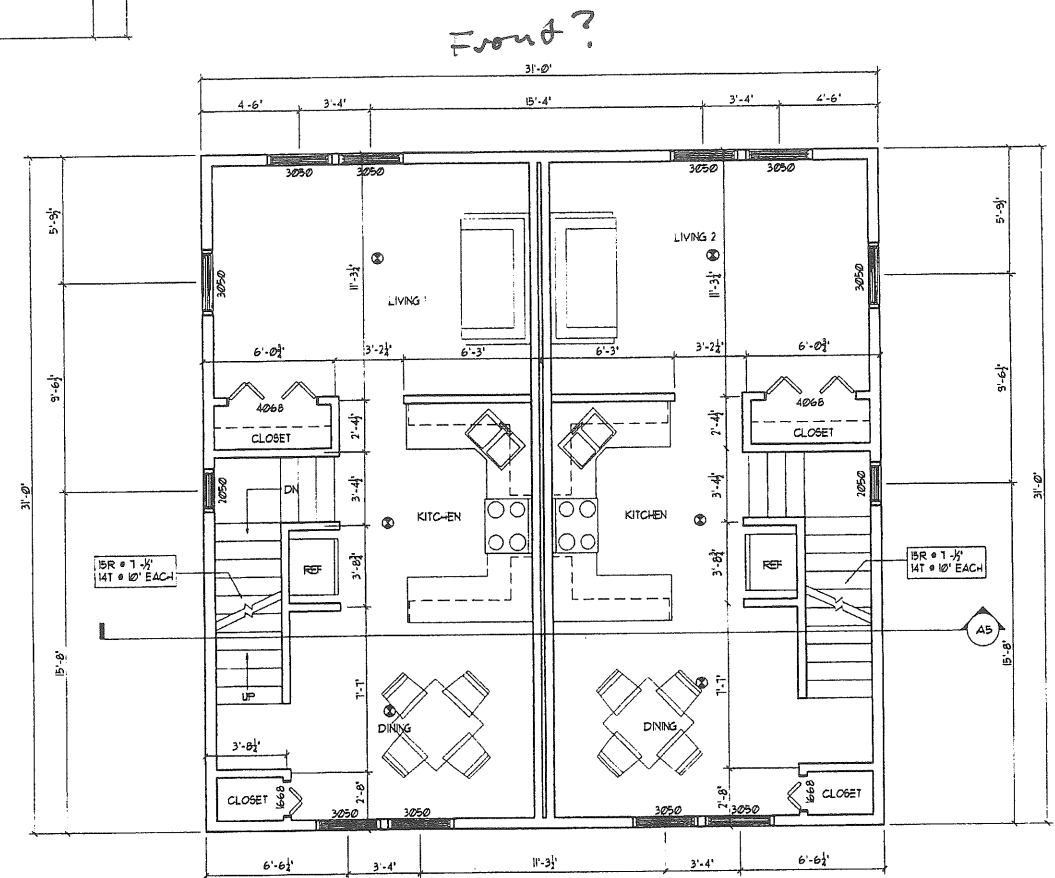
**NOTES:**

- ⊙ SMOKE DETECTOR

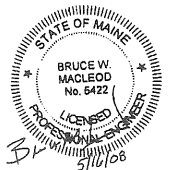


**FOUNDATION PLAN**  
11'-3" x 31'-0"

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BEGINS EMC CADD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.  
EMC CADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES.

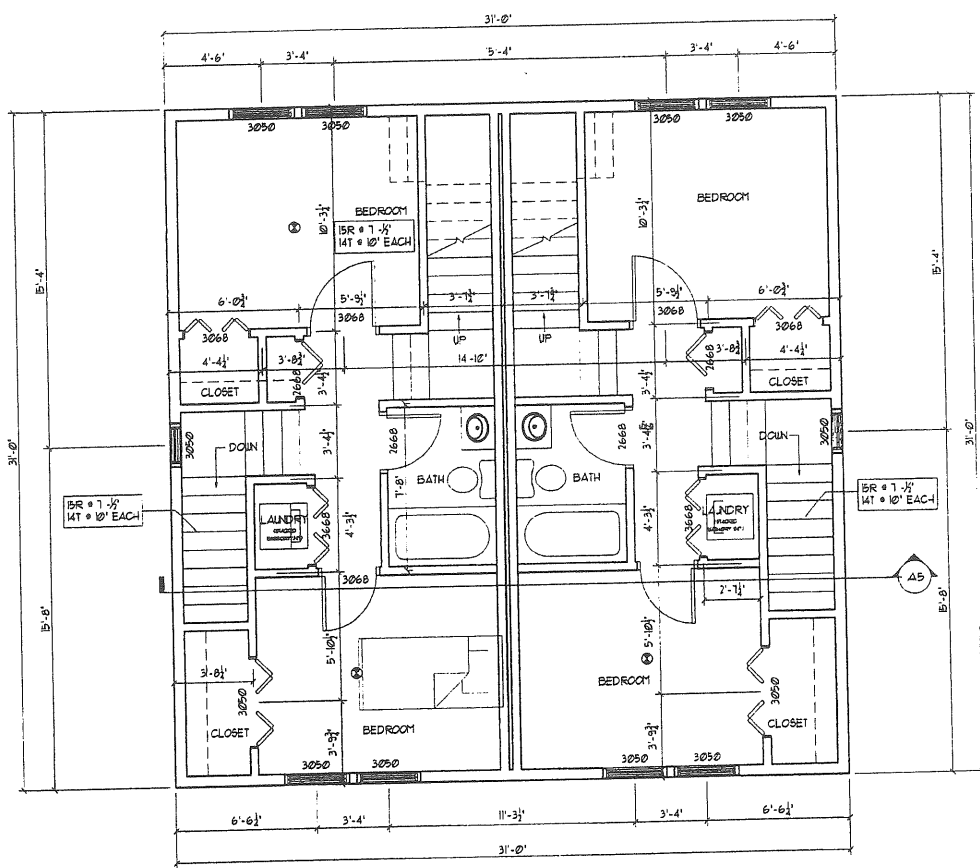


**FIRST FLOOR PLAN**  
19'-4" x 31'-0"

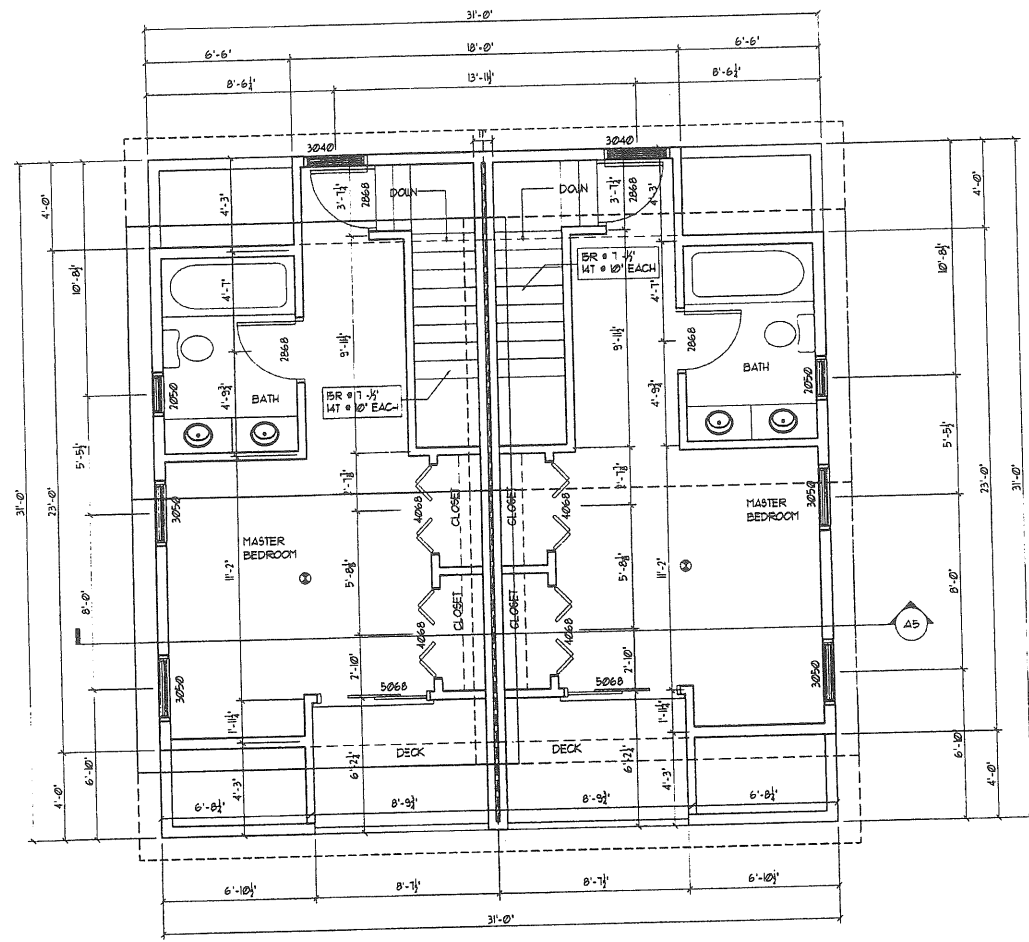


TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4"=1'-0"
DRAWN: JO
REVIEWED:
TITLE: SECOND AND THIRD FLOOR PLAN
FILE: 07-0149
SHEET: 42

NOTES:  
● SMOKE DETECTOR

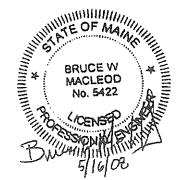


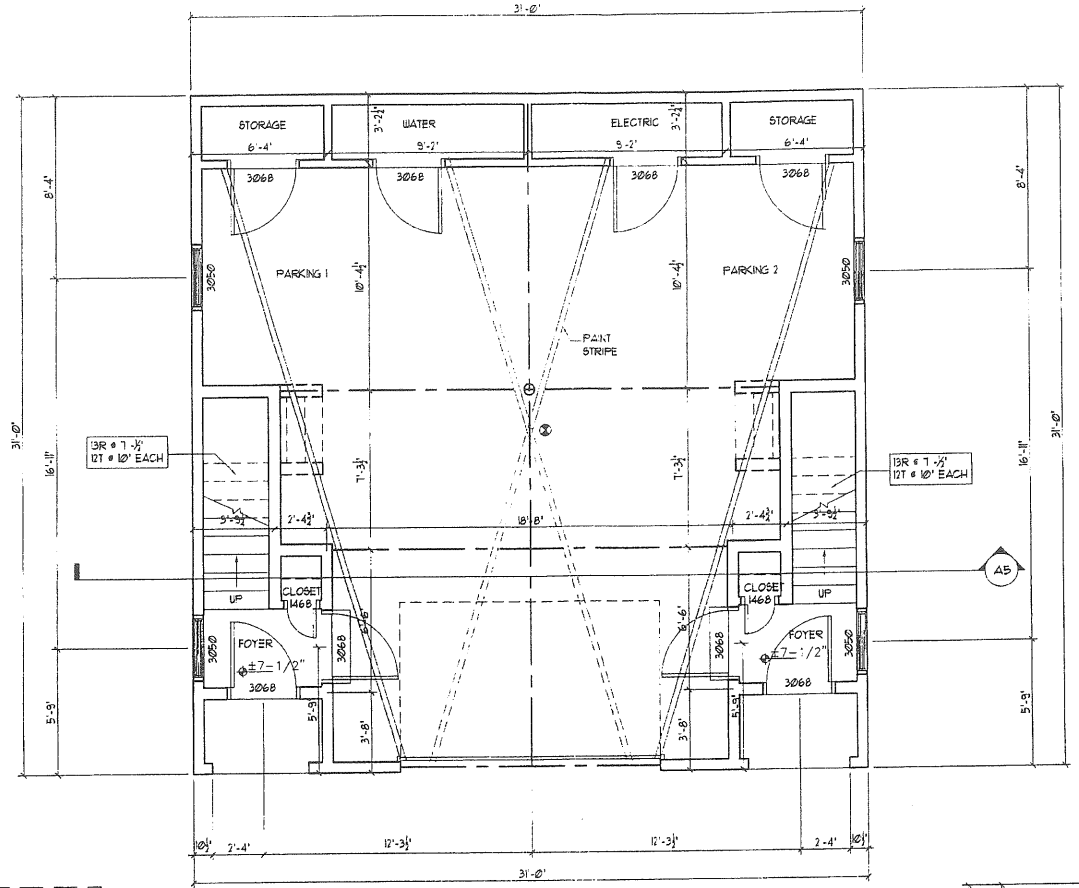
SECOND FLOOR PLAN  
1/4"=1'-0"



THIRD FLOOR PLAN  
1/4"=1'-0"

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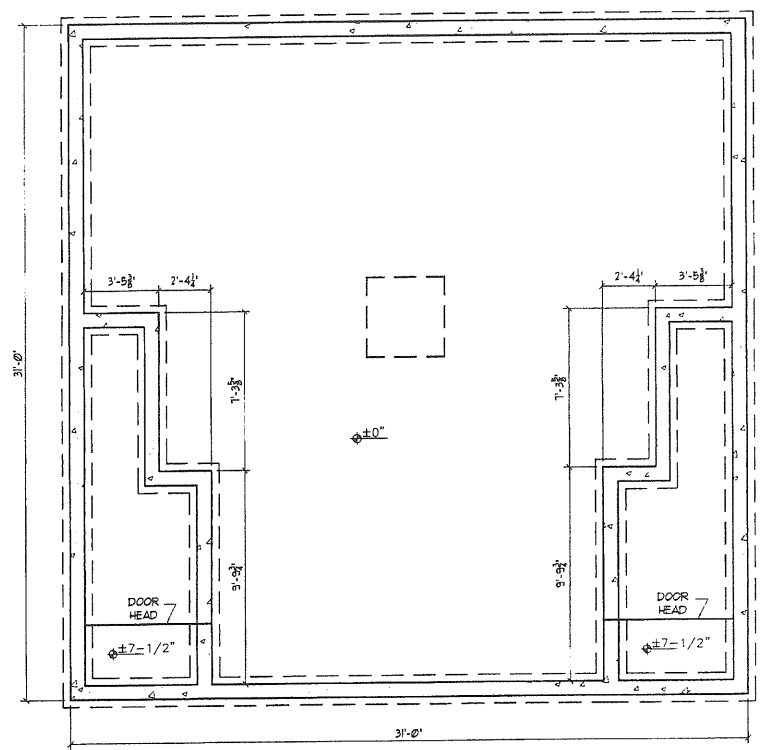




GARAGE PLAN  
14'-11" x 16'-11"

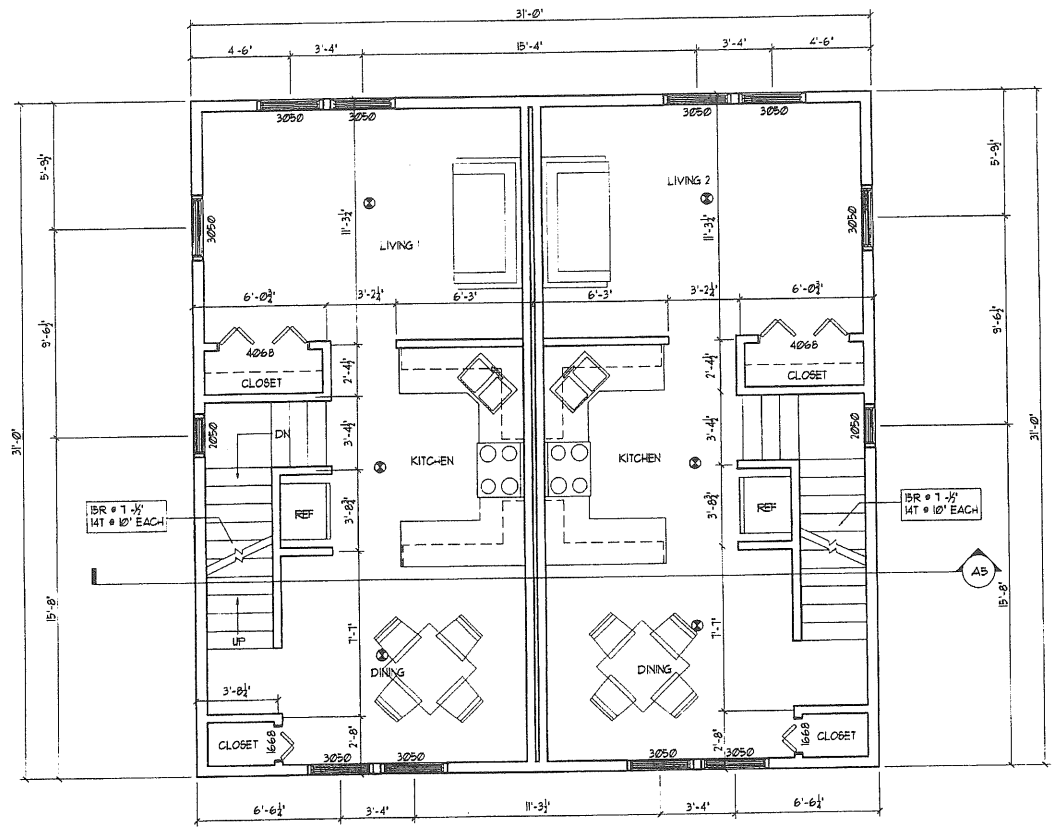
NOTES:

- 1. SMOKE DETECTOR

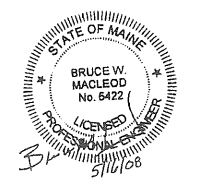


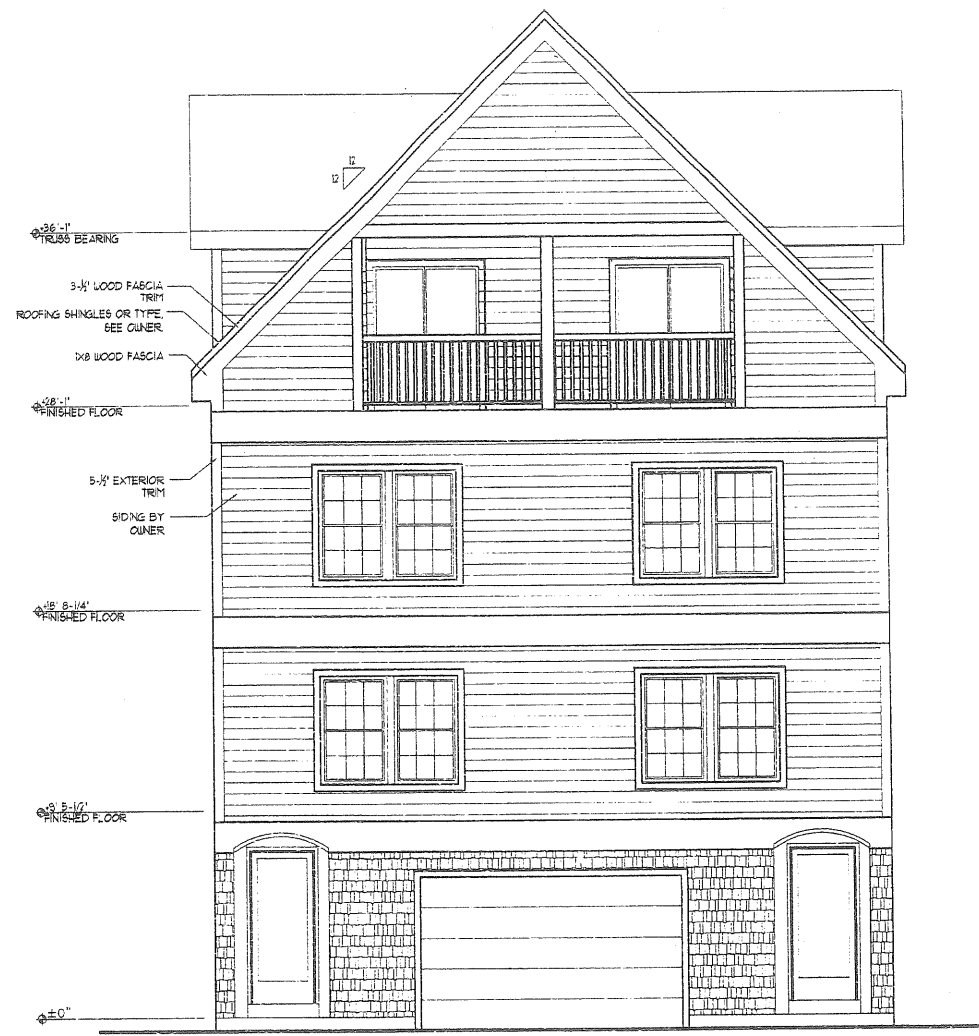
FOUNDATION PLAN  
14'-11" x 11'-3"

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FMC CADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES

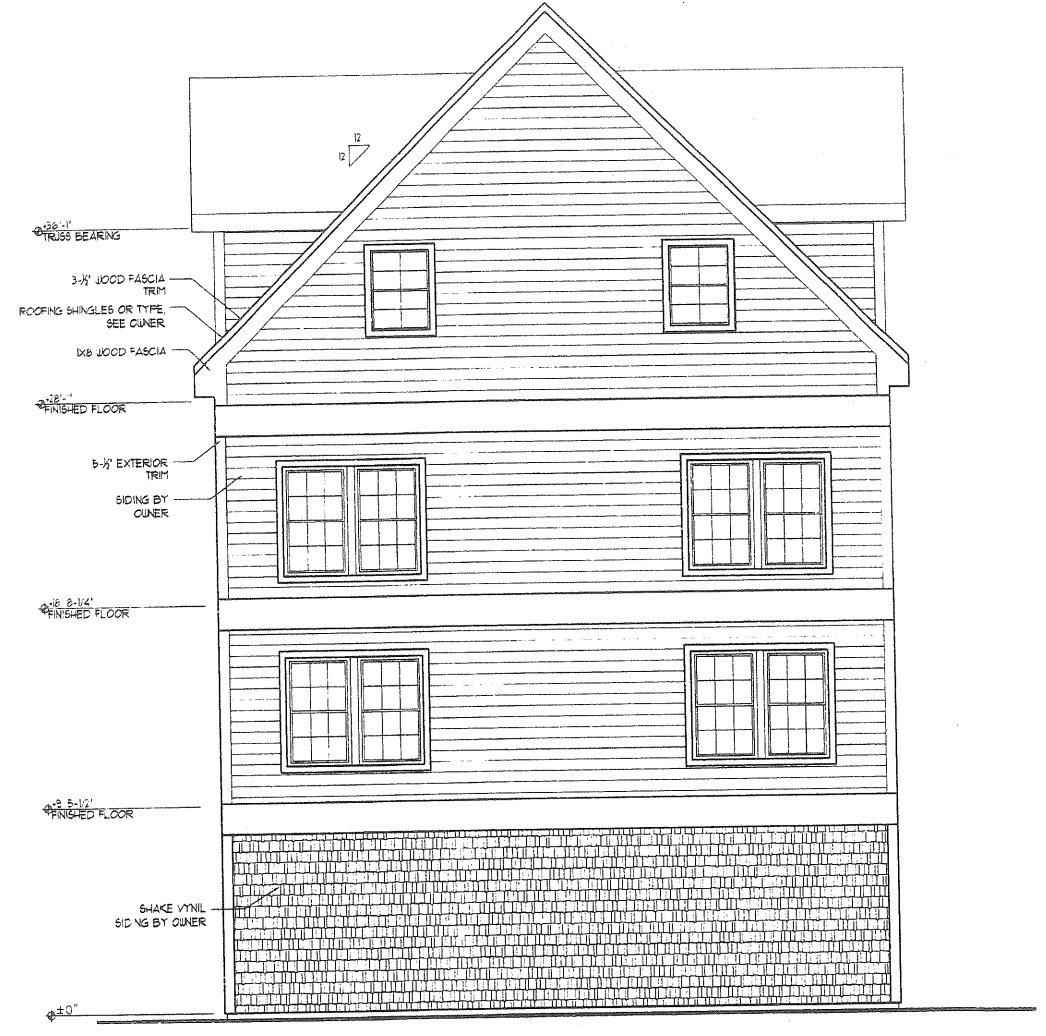


FIRST FLOOR PLAN  
14'-11" x 15'-8"



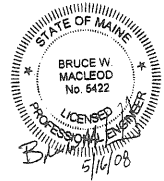


**FRONT ELEVATION**  
 14'-11-0"



**BACK ELEVATION**  
 14'-11-0"

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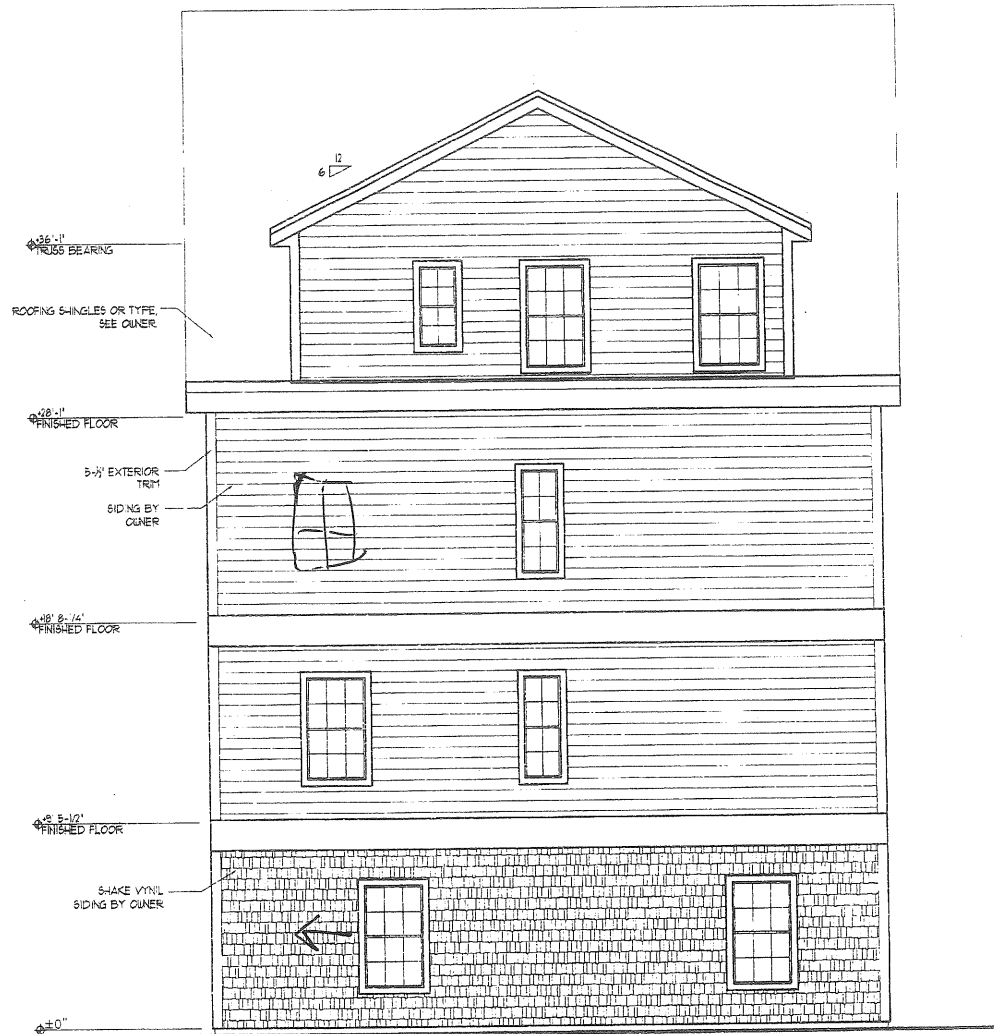


31 FOREST ST.  
 Portland, ME

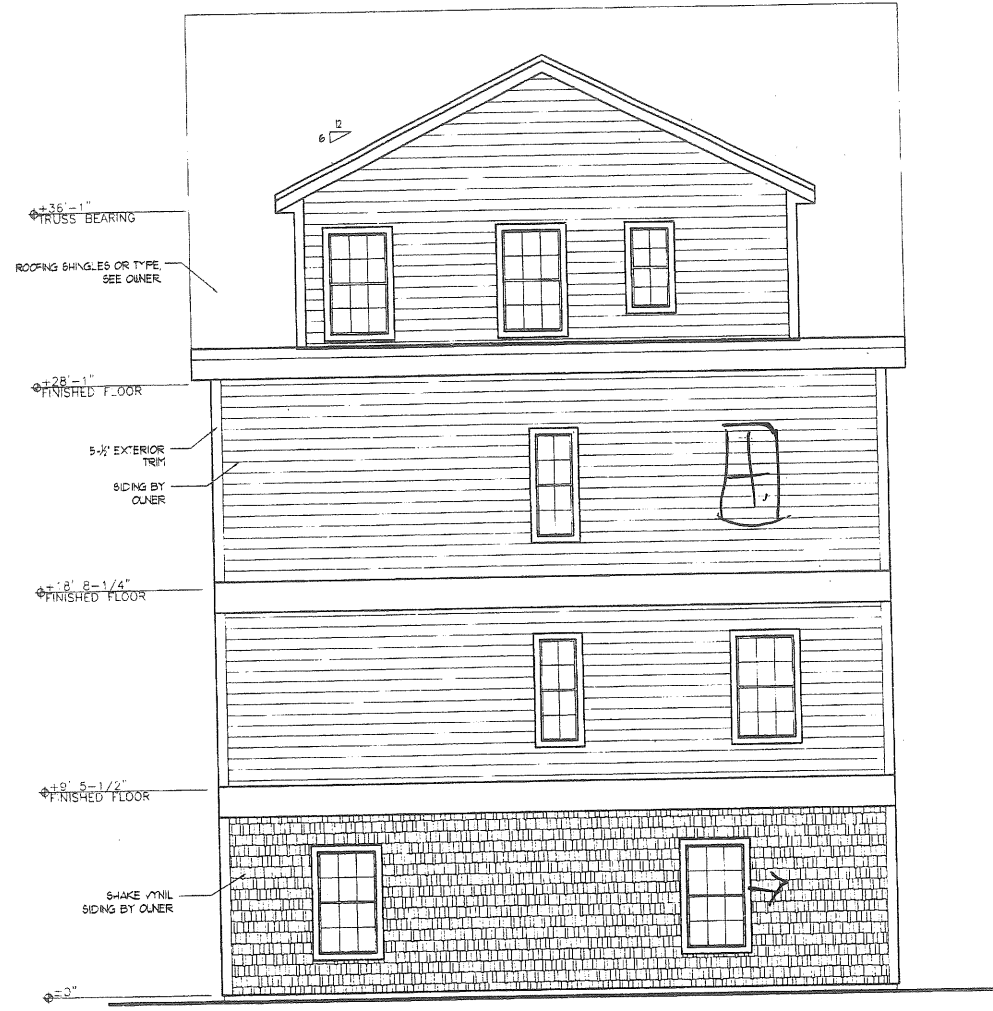
*John Ossie, Arch.*

TOWN: PORTLAND
DATE: 5/1/08
SCALE: 1/4"=1'-0"
DRAWN: JO
REVIEWED:
TITLE: ELEVATIONS
FILE: 07-0149
SHEET: A3

31 FOREST ST.  
Portland, ME

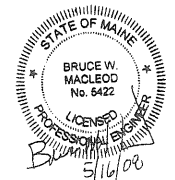


LEFT ELEVATION  
14'-11\"/>



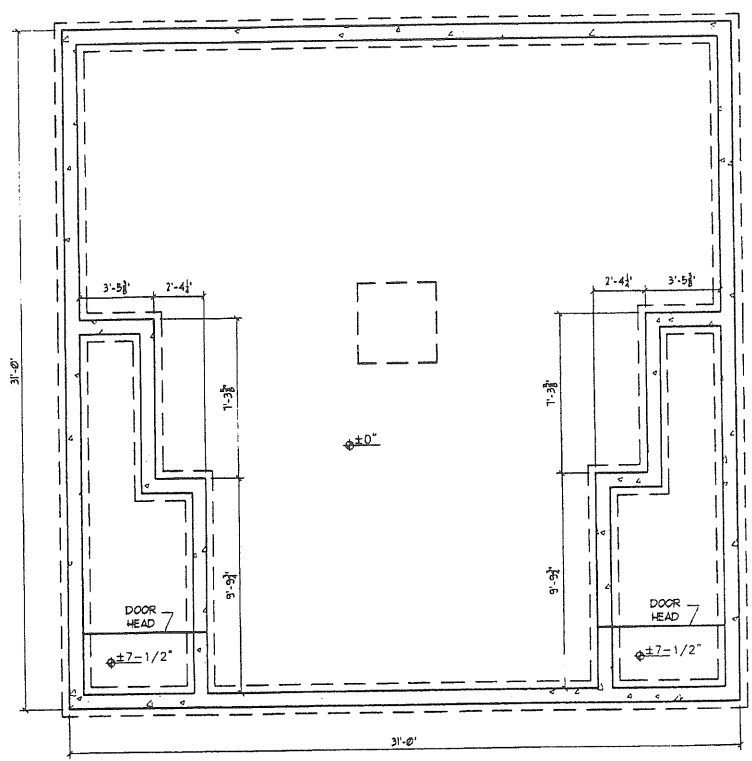
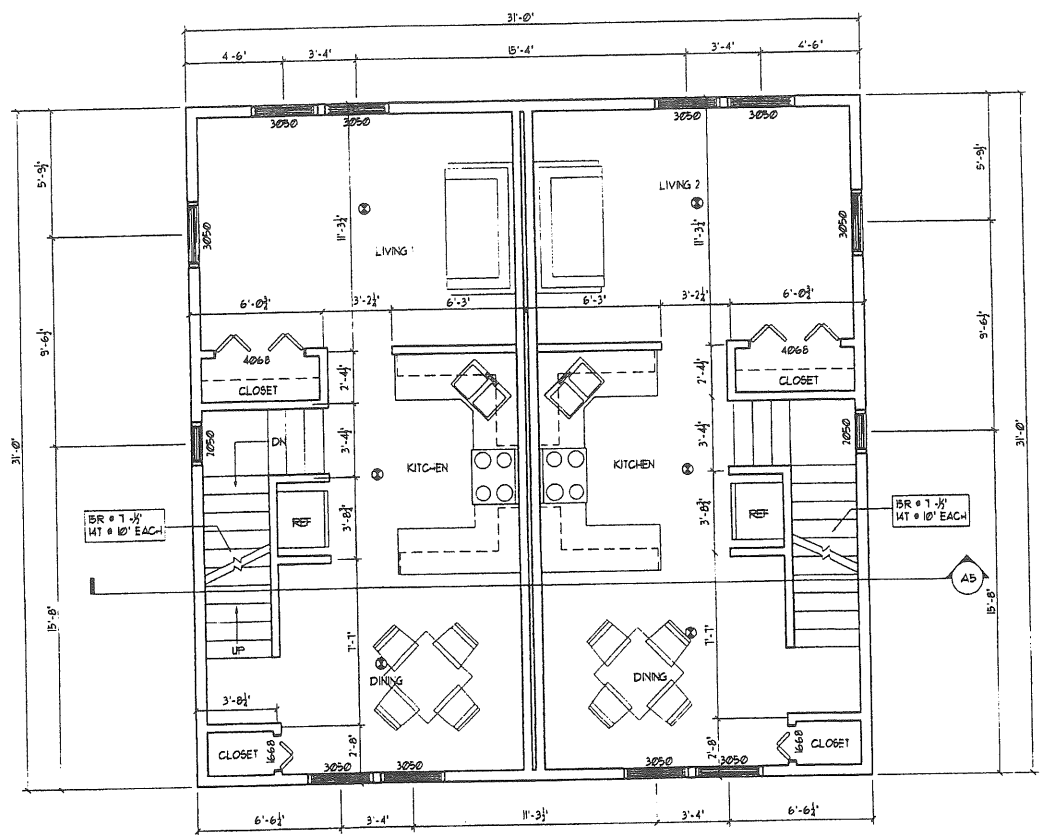
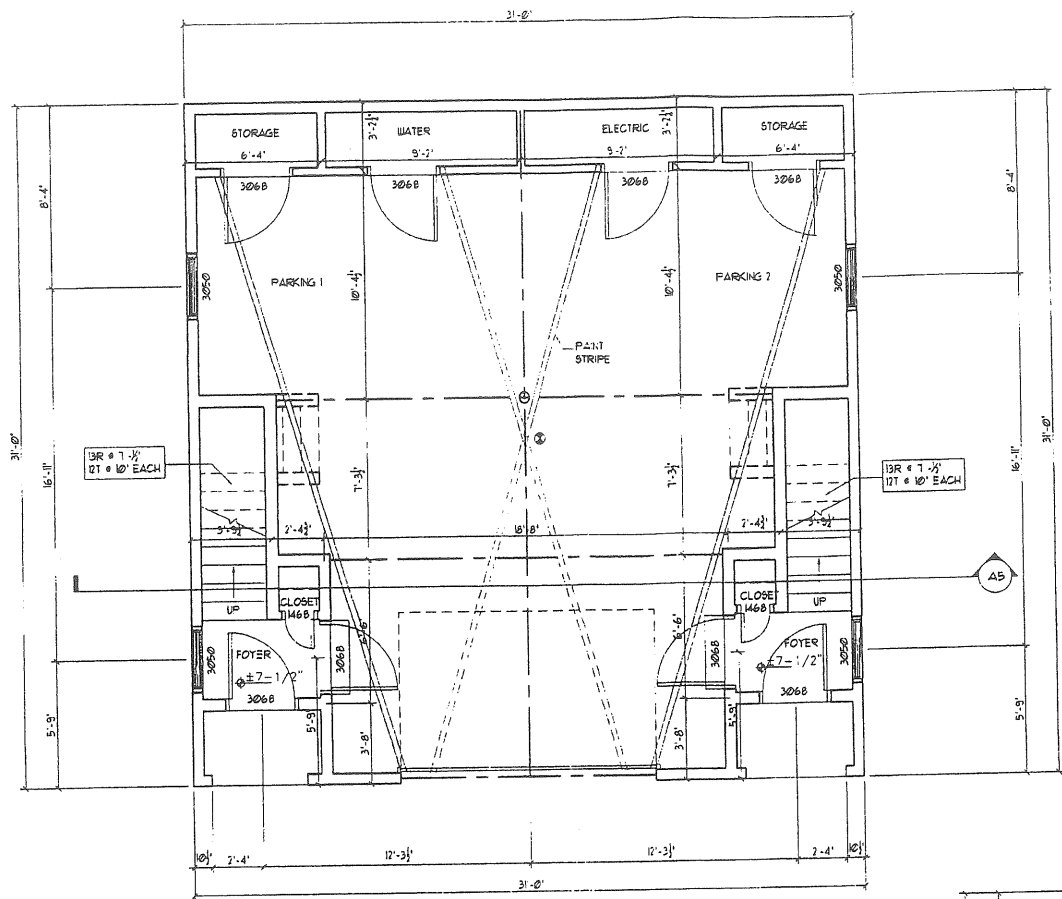
RIGHT ELEVATION  
14'-11\"/>

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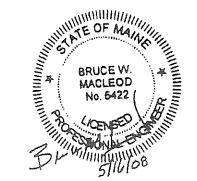


TOWN: PORTLAND
DATE: 5/16/08
SCALE: 1/4" = 1'-0"
DRAWN: JO
REVIEWED:
TITLE: ELEVATIONS
FILE: 07-0149
SHEET: A4

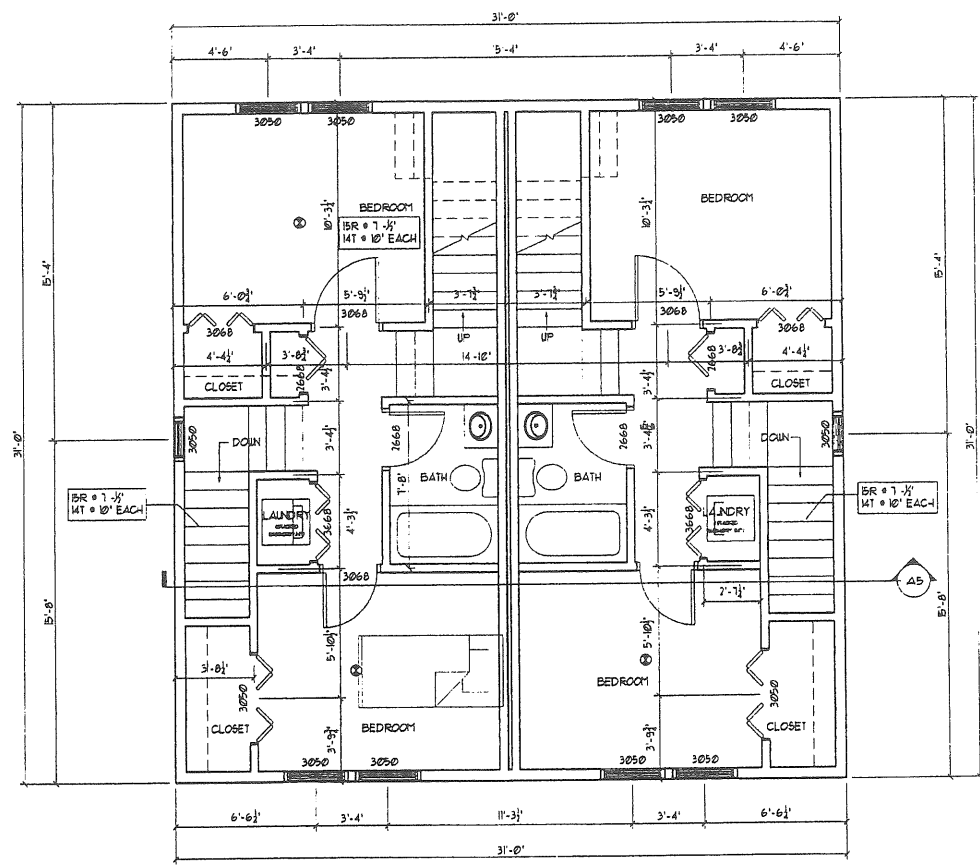
NOTES:  
 ☉ SMOKE DETECTOR



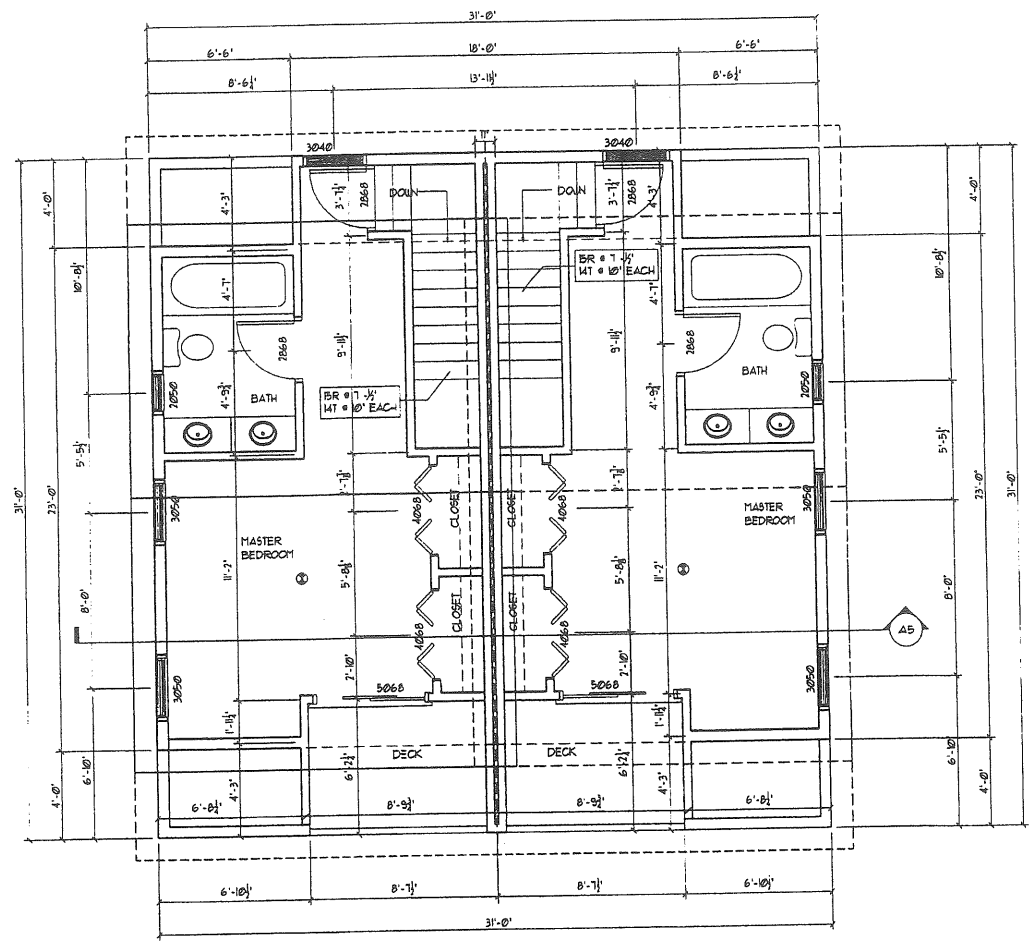
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 BEGINS, FMC CADD DRAFTING SERVICES INC. WILL BE HELD HARMLESS.



NOTES:  
● SMOKE DETECTOR

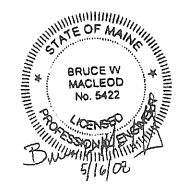


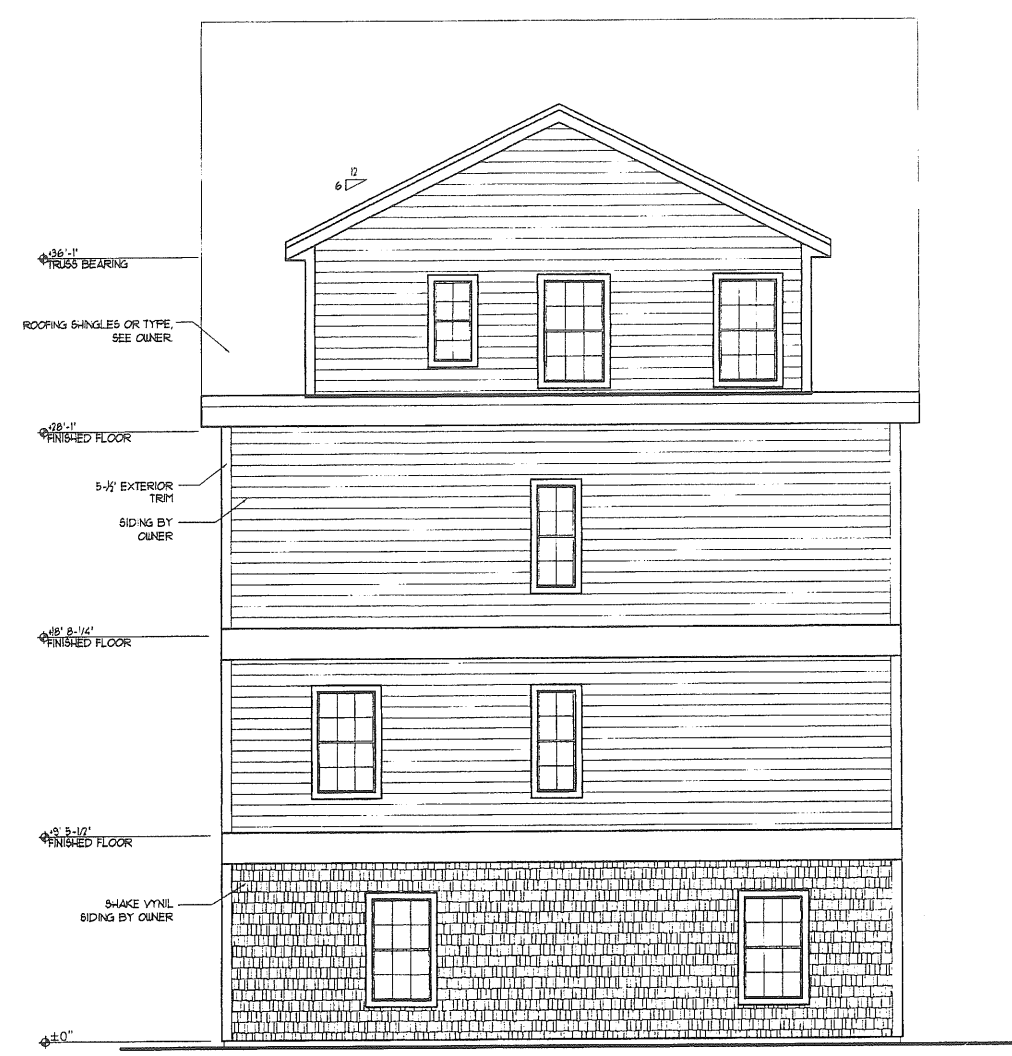
**SECOND FLOOR PLAN**  
14'-11" x 31'-0"



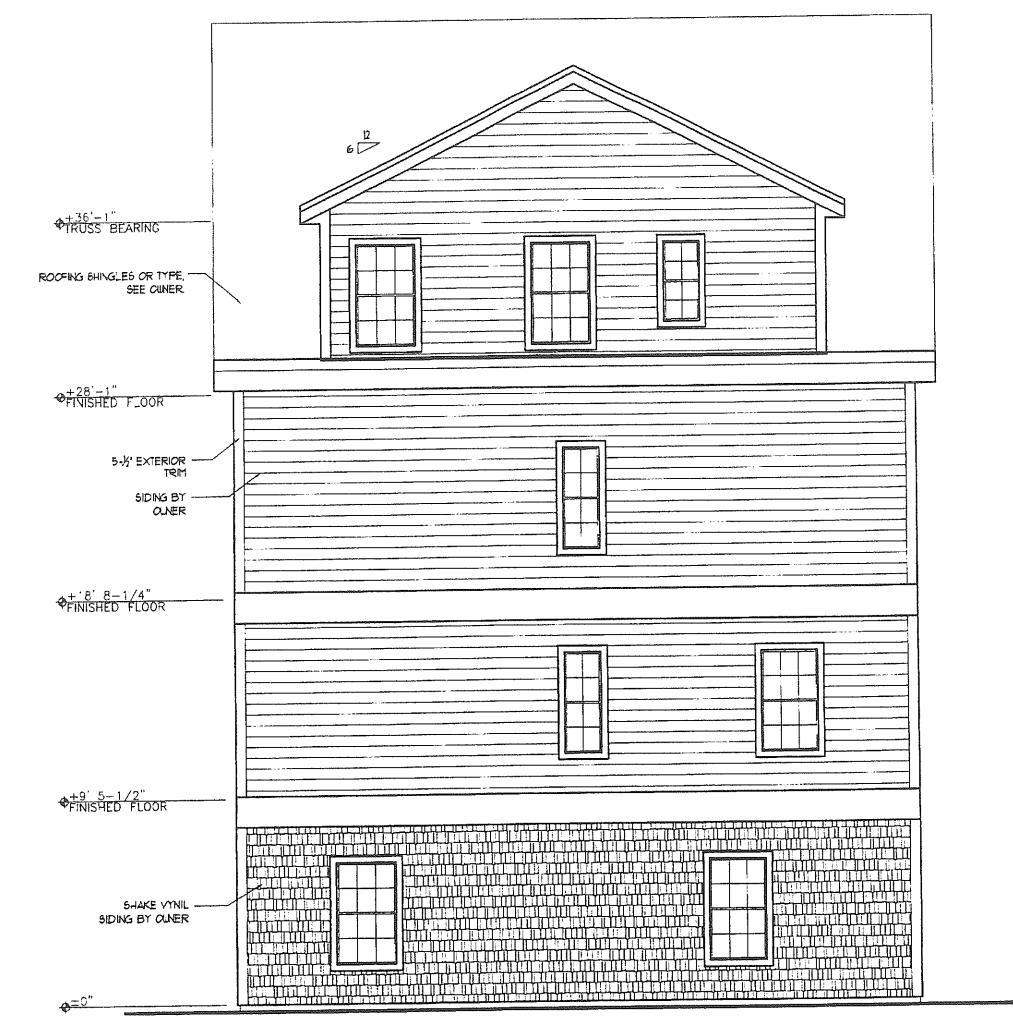
**THIRD FLOOR PLAN**  
14'-11" x 31'-0"

**NOTE:**  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING SERVICES INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION. BEING THAT DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION, DESIGN FMC CADD DRAFTING SERVICES INC. WILL BE HELD HARMLESS.



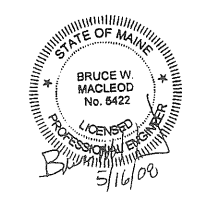


**LEFT ELEVATION**  
 14'-11"-0"



**RIGHT ELEVATION**  
 14'-11"-0"

**NOTE:**  
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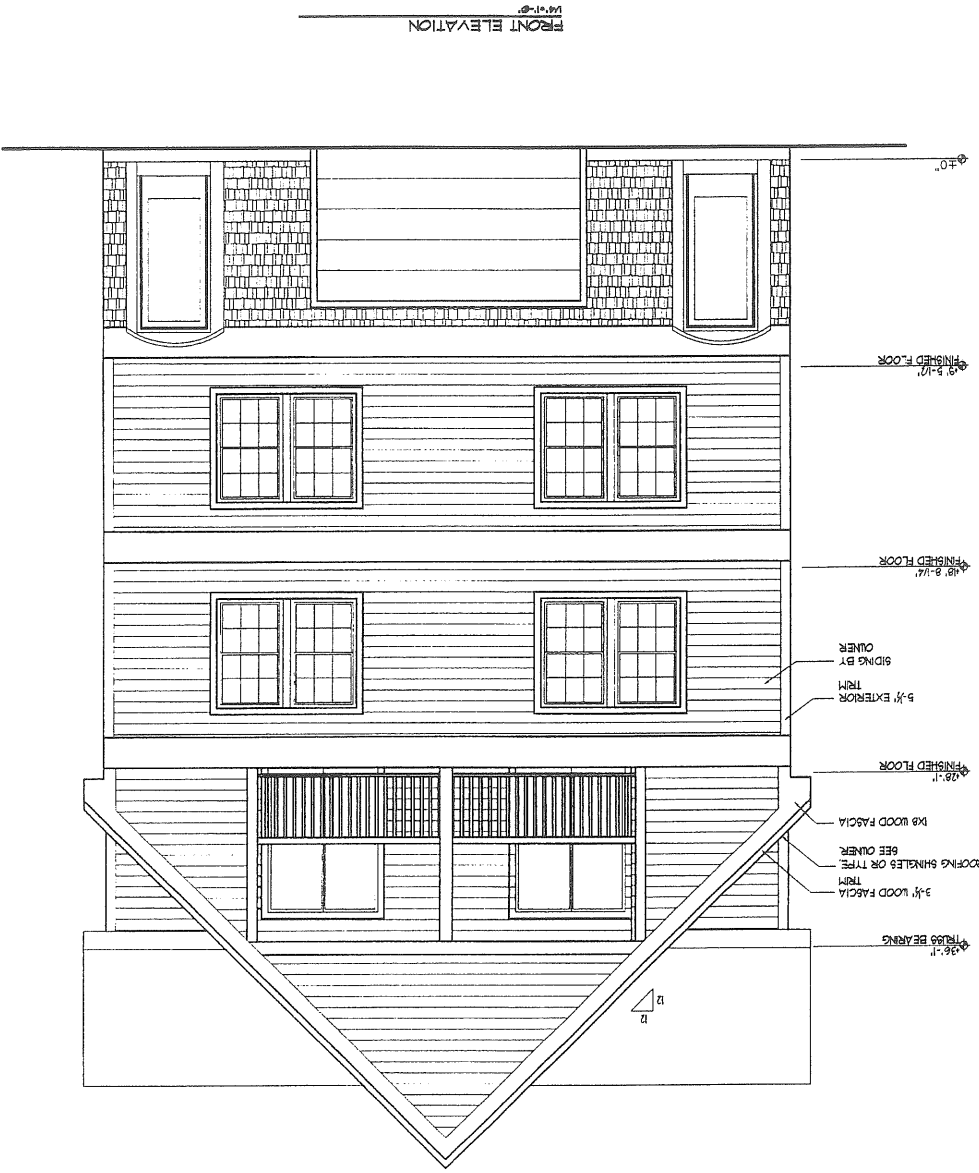


31 FOREST ST.  
 Portland, ME

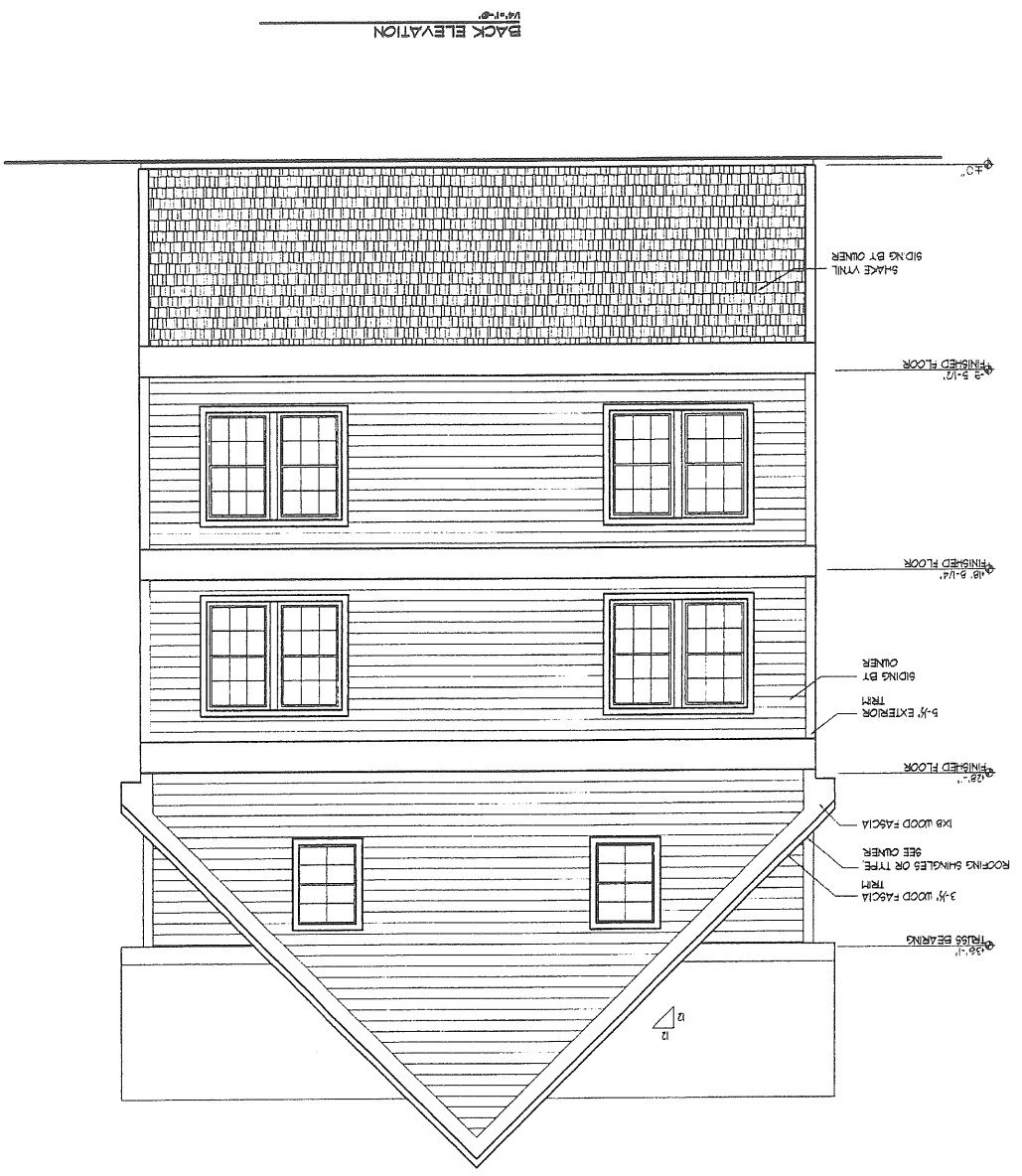
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DATE: 5/1/08
SCALE: 1/4"=1'-0"
DRAWN: JO
REVIEWED:
TITLE: ELEVATIONS
FILE: 07-0149
SHEET:



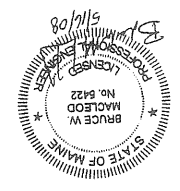
NOTE:  
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
 IT IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE.  
 THE CONTRACTOR ASSURES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.  
 ALL DIMENSIONS AND SPECIFICATIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING CONSTRUCTION.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



FRONT ELEVATION



BACK ELEVATION



TOWN: PORTLAND  
 DATE: 5/1/08  
 SCALE: 1/4"=1'-0"  
 DRAWN: JO  
 REVIEWED:  
 TITLE: ELEVATIONS  
 FILE: 07-0149  
 SHEET: A3

31 FOREST ST.  
 Portland, ME



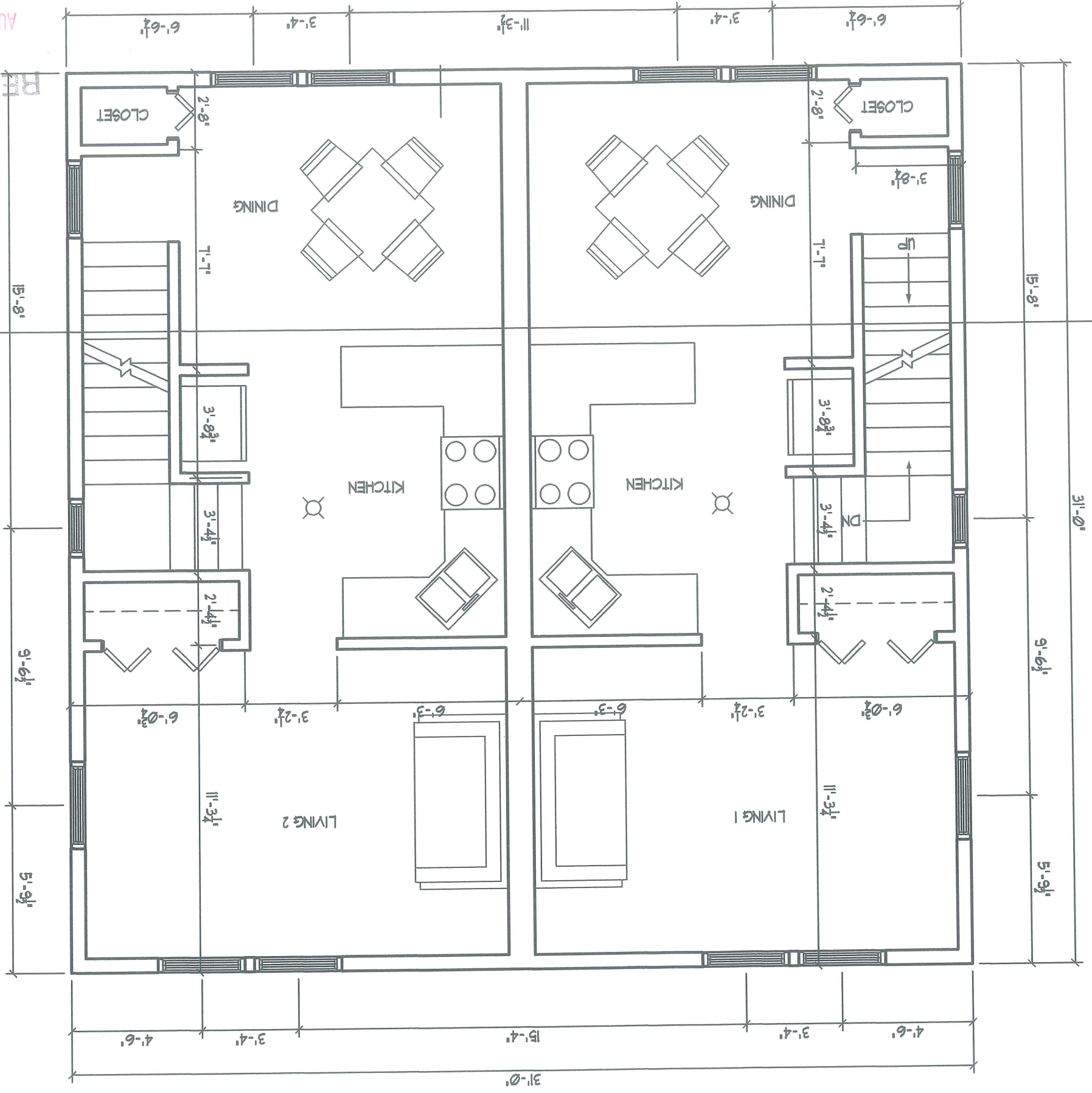
Engineering Resource Center  
 75 Belden St.  
 Portland, Maine 04103  
 E-Mail: rpg@fmcadd.com

PROPERTY OF



AUG 26 2008

RECEIVED



1. SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
2. AREAS OUTSIDE OF SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
3. EACH LEVEL TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
4. GARAGE LEVEL TO HAVE AN APPROVED SMOKE DETECTOR IN ACCORDANCE WITH NFPA 243.41
5. SLEEPING AREAS TO HAVE SECONDARY MEANS OF EGRESS VIA APPROVED EGRESS WINDOW IN ACCORDANCE WITH NFPA 242.2.3.3
6. EGRESS WINDOWS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH NFPA 242.2.3.3 (2)
7. GARAGE LEVEL AND LIVING SPACE ABOVE IS TO BE SEPARATED BY A MINIMUM OF 1-HOUR CONSTRUCTION
8. THE TWO UNITS ARE SEPARATED BY FIRE RATED CONSTRUCTION USING UL ASSEMBLY 336

FILE:	SHEET:
TITLE:	FIRST FLOOR
DRAWN: JJO	SCALE: AS NOTED
DATE: 08-12-08	TOWN: PORTLAND
CODE: IRC 2003	DATE: 08-12-08
NO	REMARKS
A	ISSUED FOR CITY REVIEW
BY	

**31 FOREST STREET**  
CITY OF PORTLAND REVIEW  
REVISIONS AND ADDITIONS

PROPERTY OF  
235 Riverside Industrial Parkway  
Portland, ME 04102  
207-329-6499







THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF CDT ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS CDT WILL BE HELD HARMLESS. CDT ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR

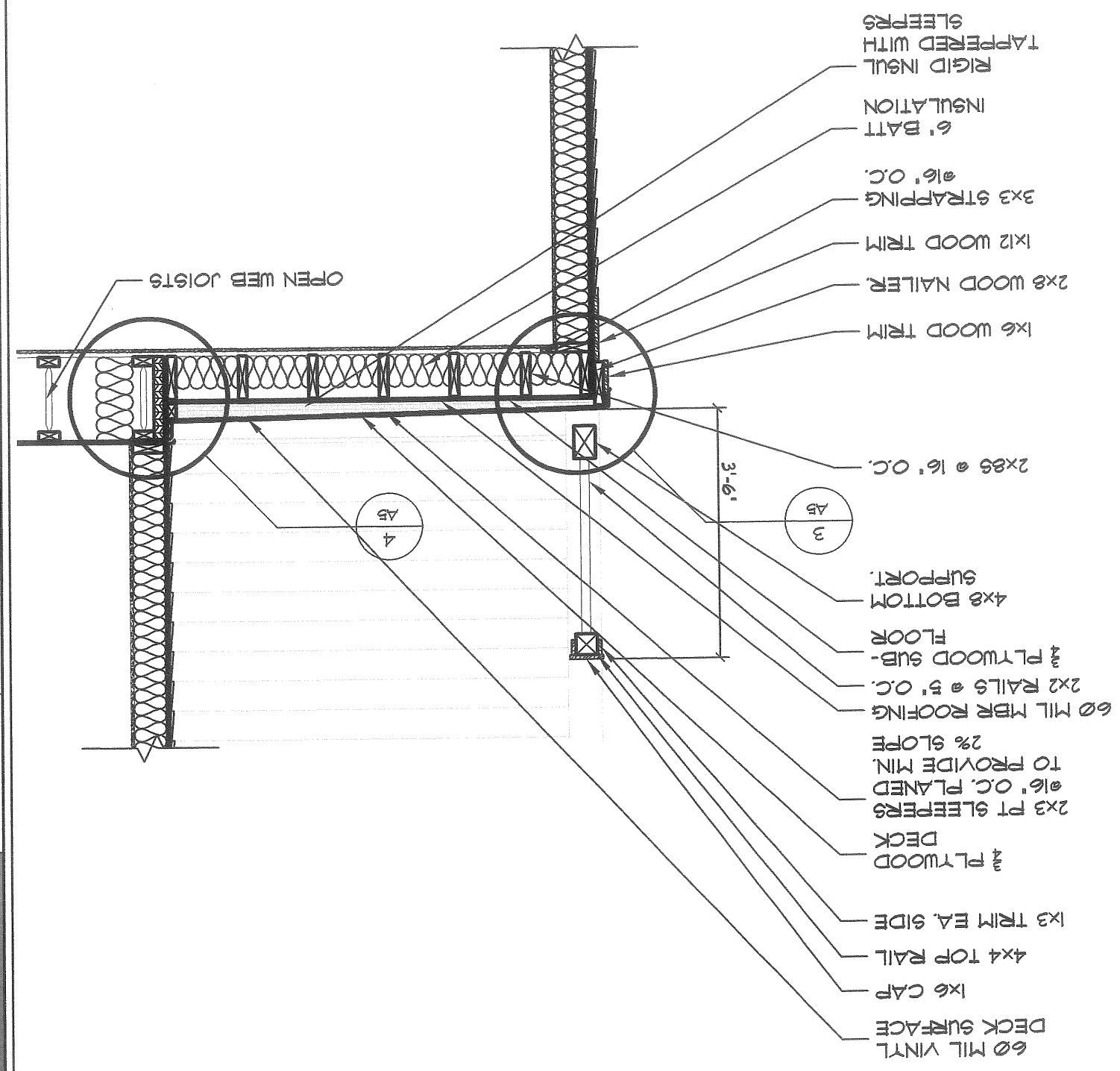
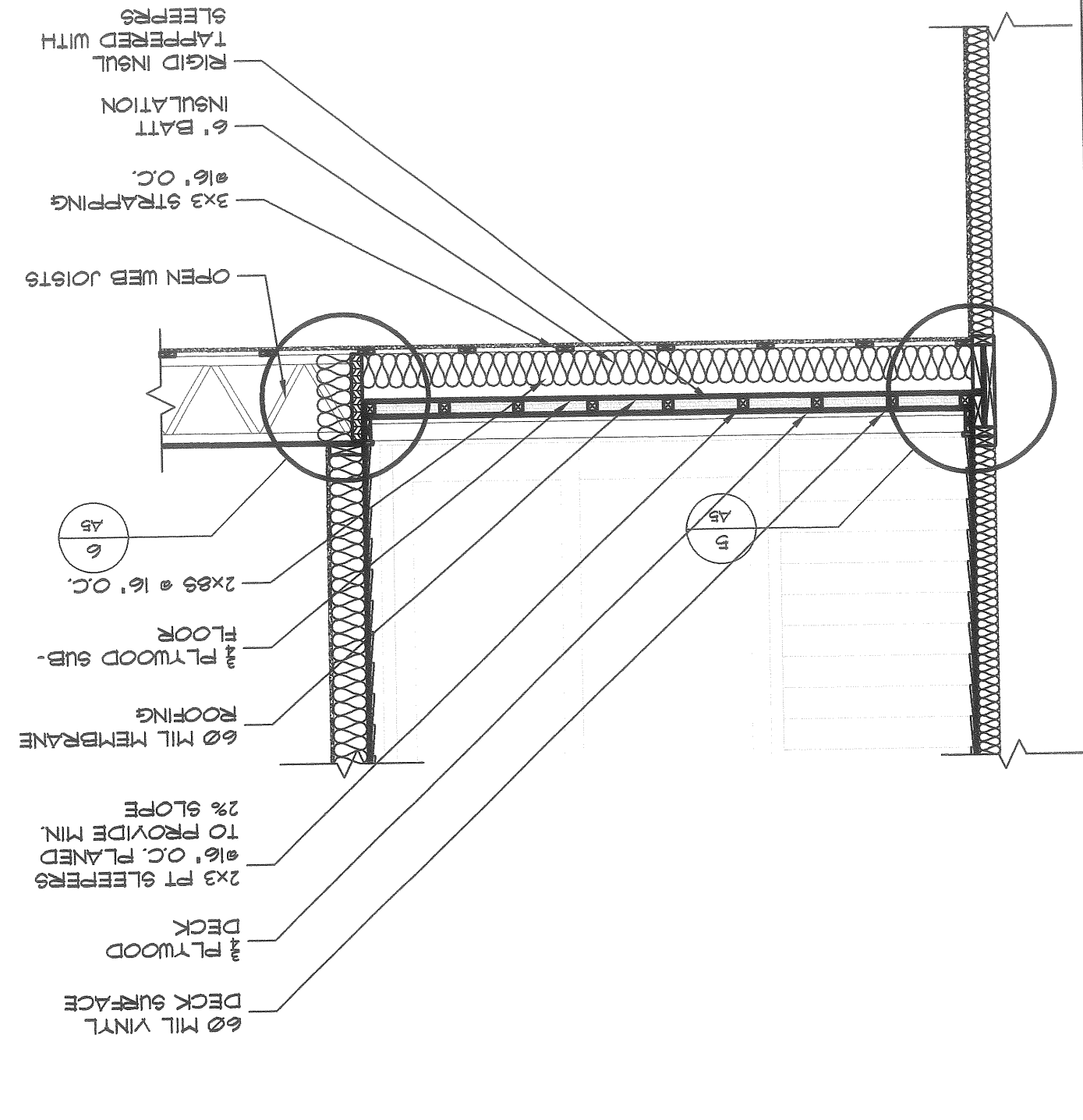
**NOTE:**

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

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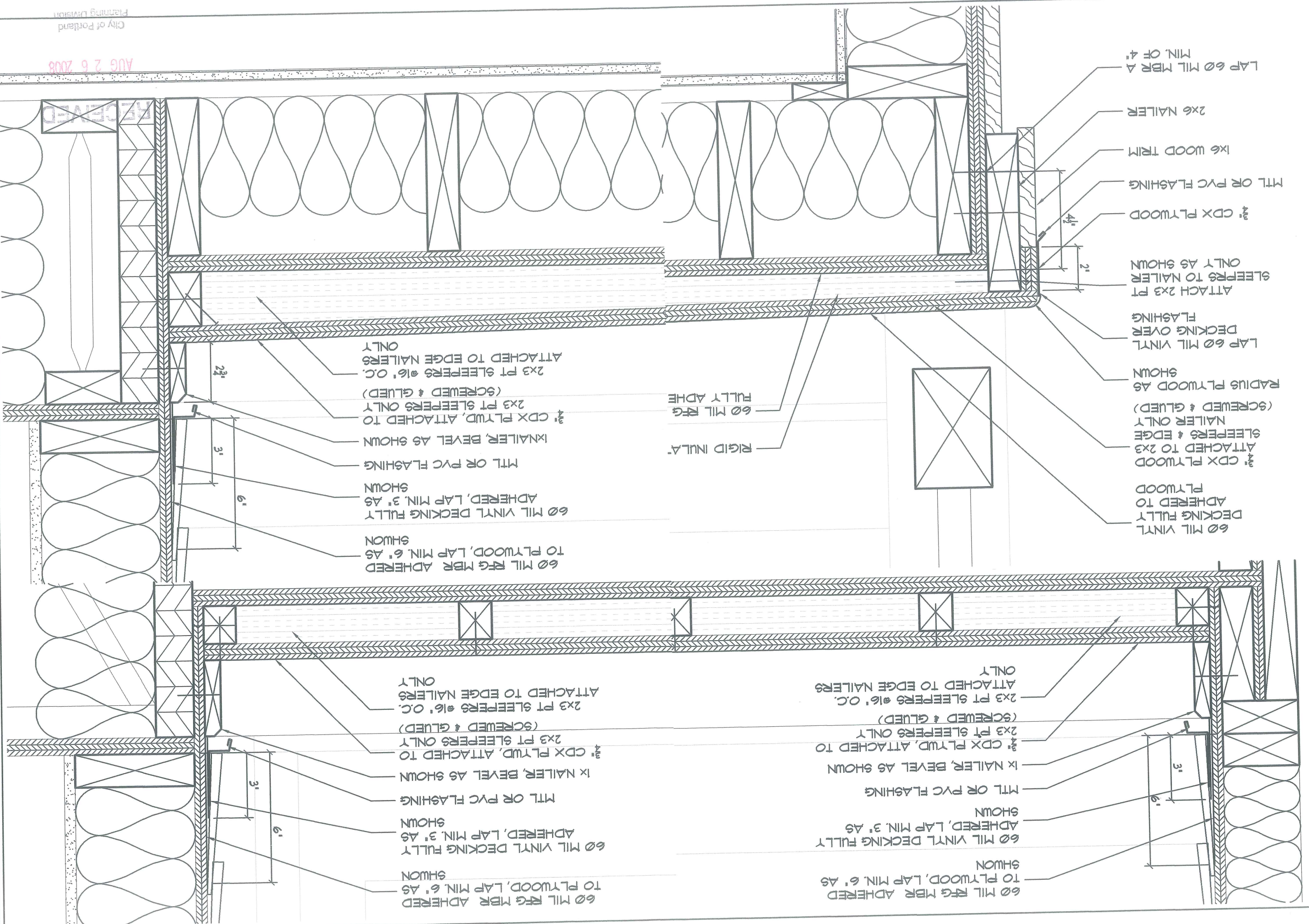
PROPERTY OF  
**cod-de-techn**  
235 Riverside Industrial Parkway  
Portland, ME 04102  
207-329-6499

CODE: IRC 2003  
TOWN: PORTLAND  
DATE: 08-12-08  
SCALE: AS NOTED  
DRAWN: JJO  
TITLE: DECK DETAILS  
FILE:  
SHEET:



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60 MIL VINYL DECKING FULLY ADHERED TO PLYWOOD  
 1/2" CDX PLYWOOD ATTACHED TO 2X3 SLEEPERS & EDGE NAILER ONLY (SCREWED & GLUED)  
 RADIUS PLYWOOD AS SHOWN  
 LAP 60 MIL VINYL DECKING OVER FLASHING  
 ATTACH 2X3 PT SLEEPERS TO NAILER ONLY AS SHOWN  
 1/2" CDX PLYWOOD  
 MTL OR PVC FLASHING  
 1X6 WOOD TRIM  
 2X6 NAILER  
 LAP 60 MIL MBR A MIN. OF 4"

60 MIL RFG MBR ADHERED TO PLYWOOD, LAP MIN. 6" AS SHOWN  
 60 MIL VINYL DECKING FULLY ADHERED, LAP MIN. 3" AS SHOWN  
 MTL OR PVC FLASHING  
 1X NAILER, BEVEL AS SHOWN  
 1/2" CDX PLYWD, ATTACHED TO 2X3 PT SLEEPERS ONLY (SCREWED & GLUED)  
 2X3 PT SLEEPERS @16" O.C. ATTACHED TO EDGE NAILERS ONLY

60 MIL RFG MBR ADHERED TO PLYWOOD, LAP MIN. 6" AS SHOWN  
 60 MIL VINYL DECKING FULLY ADHERED, LAP MIN. 3" AS SHOWN  
 MTL OR PVC FLASHING  
 1X NAILER, BEVEL AS SHOWN  
 1/2" CDX PLYWD, ATTACHED TO 2X3 PT SLEEPERS ONLY (SCREWED & GLUED)  
 2X3 PT SLEEPERS @16" O.C. ATTACHED TO EDGE NAILERS ONLY

60 MIL RFG MBR ADHERED TO PLYWOOD, LAP MIN. 6" AS SHOWN  
 60 MIL VINYL DECKING FULLY ADHERED, LAP MIN. 3" AS SHOWN  
 MTL OR PVC FLASHING  
 1X NAILER, BEVEL AS SHOWN  
 1/2" CDX PLYWD, ATTACHED TO 2X3 PT SLEEPERS ONLY (SCREWED & GLUED)  
 2X3 PT SLEEPERS @16" O.C. ATTACHED TO EDGE NAILERS ONLY

DATE	NO	REMARKS
08-12-08	A	ISSUED FOR CITY REVIEW

**31 FOREST STREET**  
CITY OF PORTLAND REVIEW REVISIONS AND ADDITIONS

SHEET:  
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 DRAWN: JJO  
 SCALE: AS NOTED  
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 TOWN: PORTLAND  
 CODE: IRC 2003

























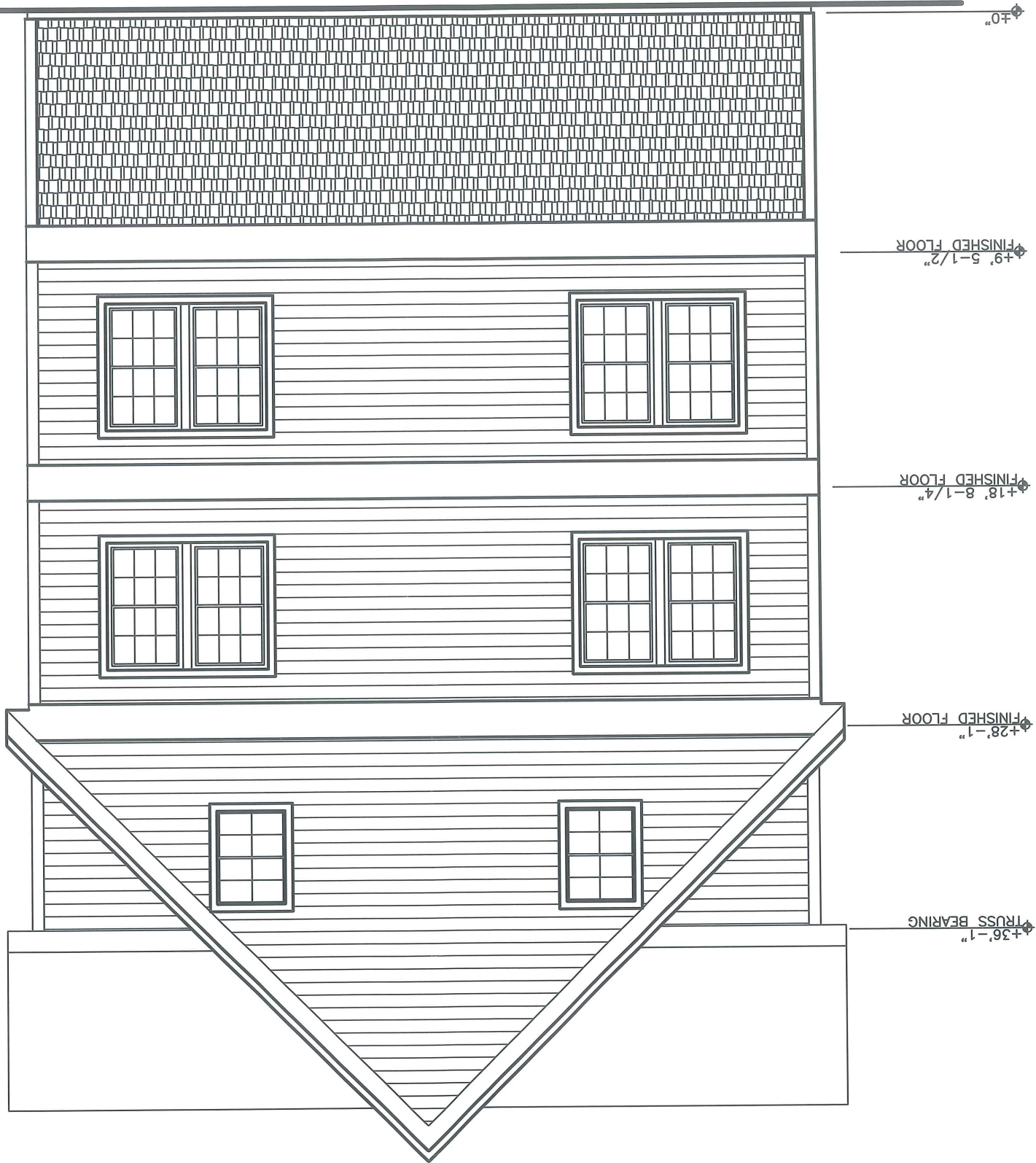












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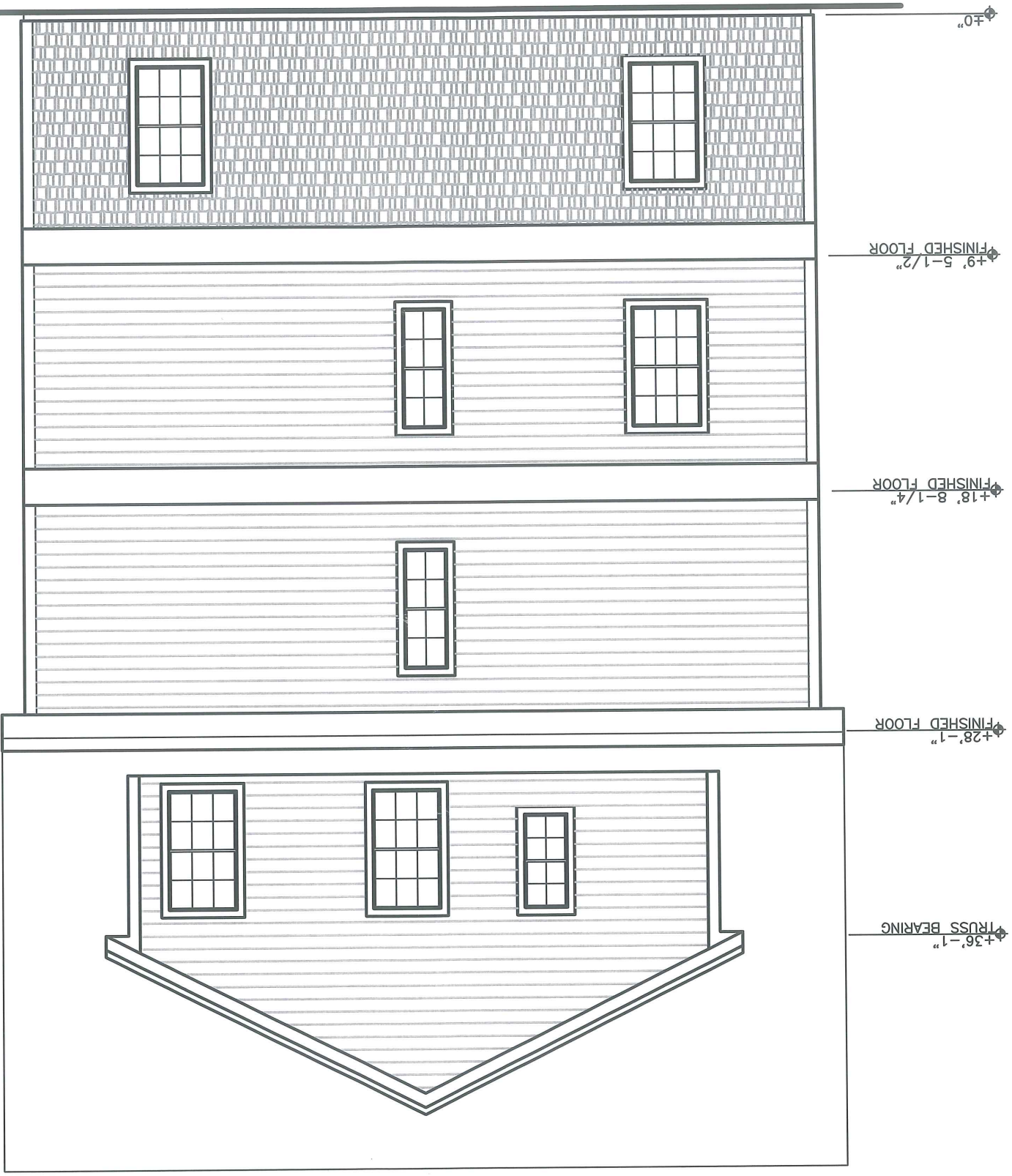
31 FOREST STREET  
CITY OF PORTLAND REVIEW  
REVISIONS AND ADDITIONS

235 Riverside Industrial Parkway  
Portland, ME 04102  
207-329-6499

PROPERTY OF

FILE: REAR ELEVATION NO CHANGE  
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TOWN: PORTLAND  
CODE: IRC 2003





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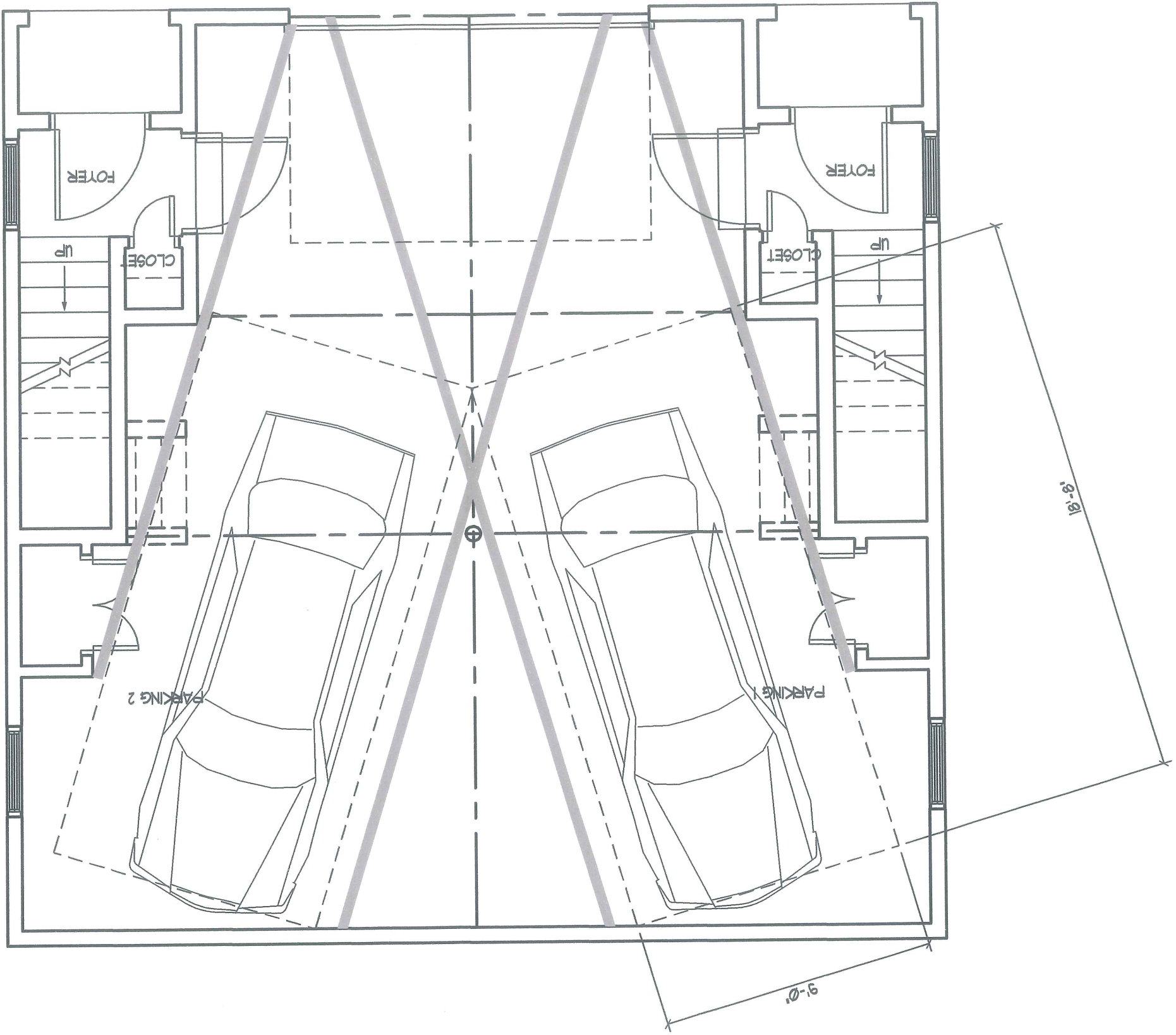
DATE	NO	REMARKS	BY
08-26-08	A	ISSUED FOR CITY REVIEW	

31 FOREST STREET  
CITY OF PORTLAND REVIEW  
REVISIONS AND ADDITIONS

PROPERTY OF

235 Riverside Industrial Parkway  
Portland, ME 04102  
207-329-8499

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CODE: IRC 2003



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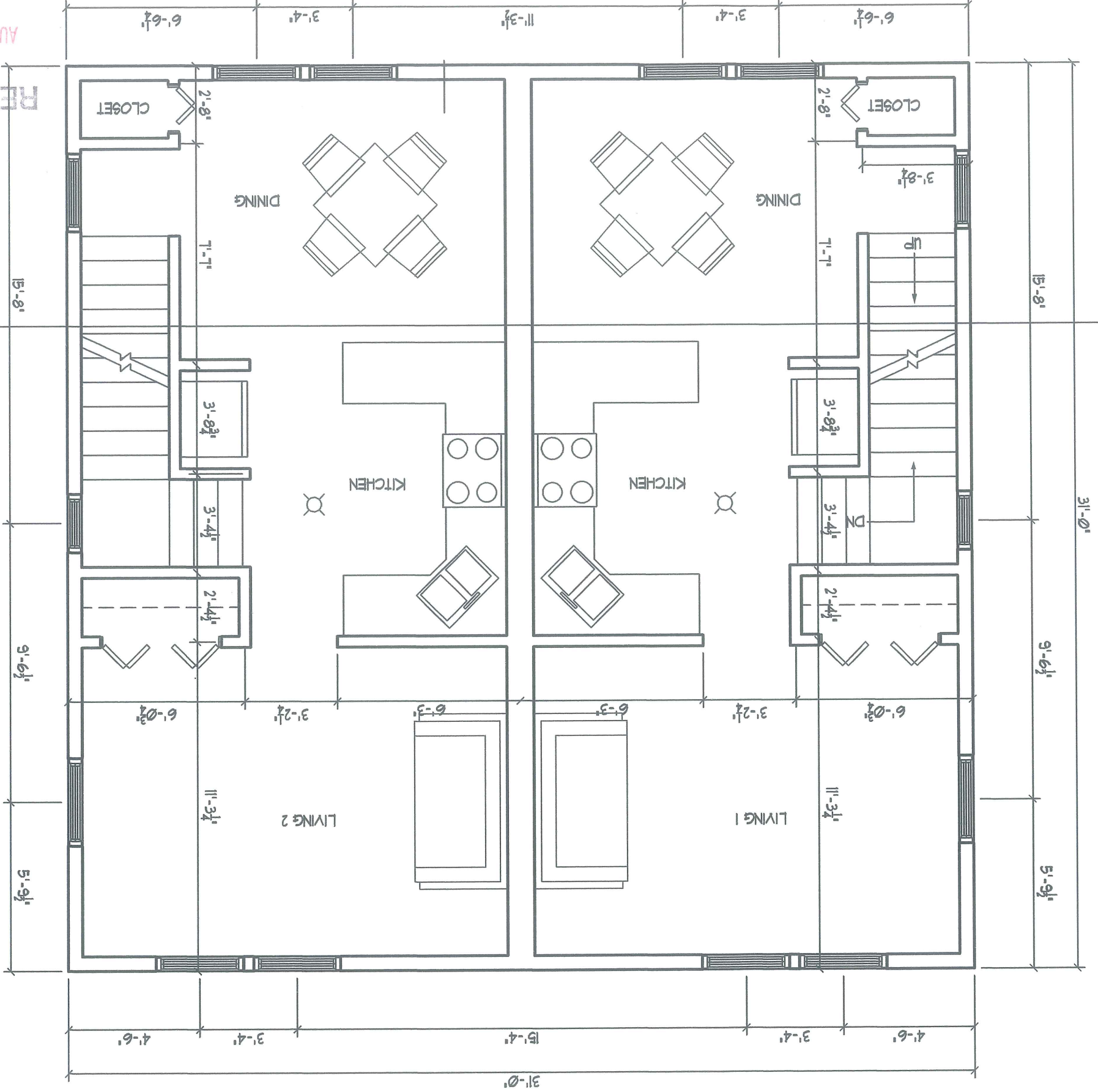
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PROPERTY OF		235 Riverside Industrial Parkway Portland, ME 04102 207-329-6499	
<b>31 FOREST STREET</b> CITY OF PORTLAND REVIEW REVISIONS AND ADDITIONS			
BY		NO.	REMARKS
		A	ISSUED FOR CITY REVIEW
DATE	08-12-08		
CODE: IRC 2003			
TOWN: PORTLAND			
DATE: 08-12-08			
SCALE: AS NOTED			
DRAWN: JJO			
TITLE: PARKING DETAILS			
FILE:			
SHEET:			



1. SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
2. AREAS OUTSIDE OF SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
3. EACH LEVEL TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
4. GARAGE LEVEL TO HAVE AN APPROVED SMOKE DETECTOR IN ACCORDANCE WITH NFPA 243.41
5. SLEEPING AREAS TO HAVE SECONDARY MEANS OF EGRESS VIA APPROVED EGRESS WINDOW IN ACCORDANCE WITH NFPA 2422.33
6. EGRESS WINDOWS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH NFPA 2422.33 (2)
7. GARAGE LEVEL AND LIVING SPACE ABOVE IS TO BE SEPARATED BY A MINIMUM OF 1-HOUR CONSTRUCTION
8. THE TWO UNITS ARE SEPARATED BY FIRE RATED CONSTRUCTION USING UL ASSEMBLY 336



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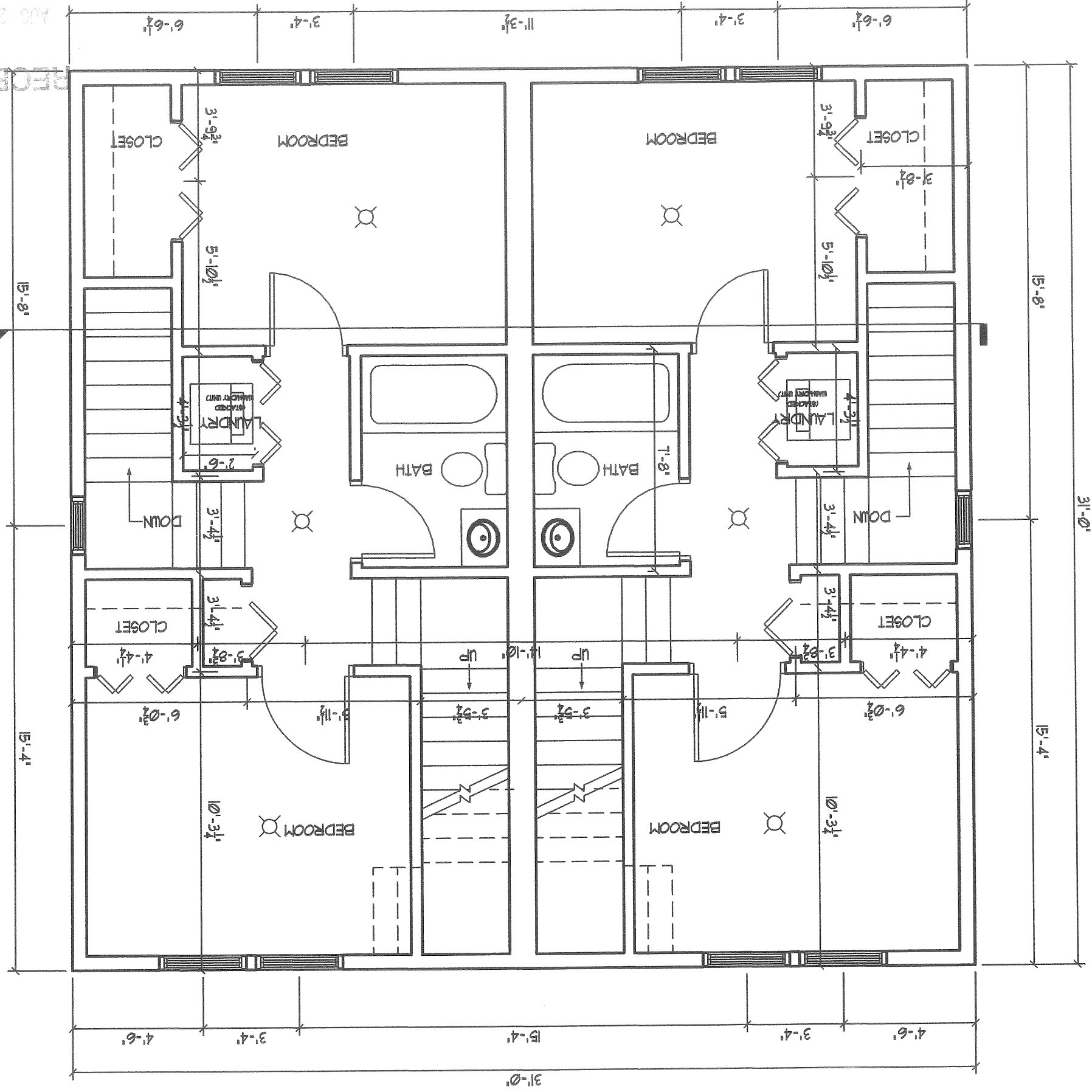
PROPERTY OF	235 Riverside Industrial Parkway Portland, ME 04102 207-329-6499
BY	
REMARKS	ISSUED FOR CITY REVIEW
NO	A
DATE	08-12-08
CODE: IRC 2003	
TOWN: PORTLAND	
DATE: 08-12-08	
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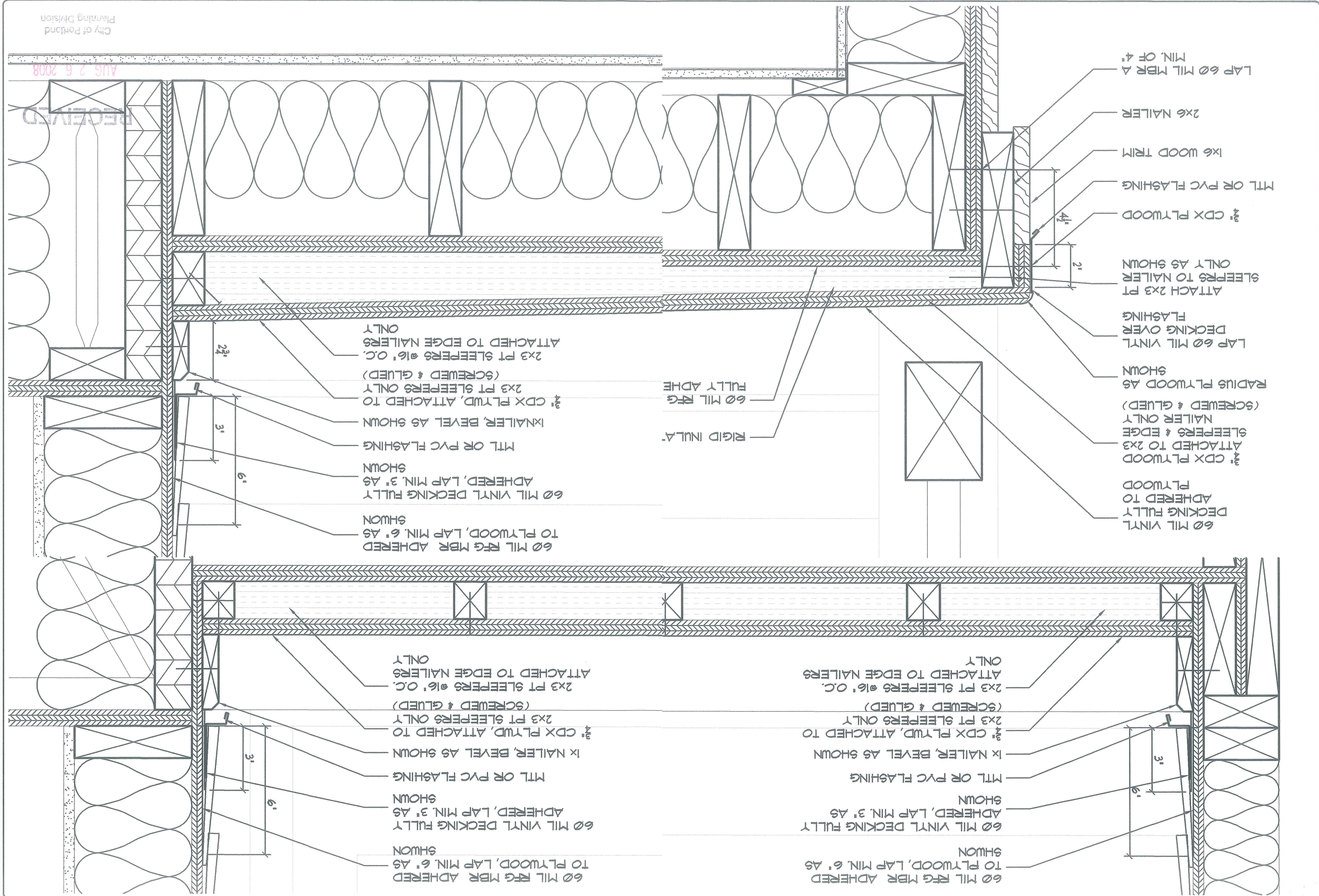
1. SLEEPING ROOMS TO HAVE APPROVED SMOKE DETECTORS IN ACCORDANCE WITH NFPA 243.41
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PROPERTY OF	235 Riverside Industrial Parkway Portland, ME 04102 207-329-6499
BY	
NO	REMARKS
A	ISSUED FOR CITY REVIEW
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DATE	
CODE: IRC 2003	
TOWN: PORTLAND	
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SHEET:	

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31 FOREST STREET CITY OF PORTLAND REVIEW REVISIONS AND ADDITIONS		
BY	REMARKS	
	ISSUED FOR CITY REVIEW	
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