

FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 080578

Production And
Notes, If Any,
Attached

This is to certify that MARDIGAN STEPHEN / N Age Bu LLC

has permission to Duplex - New town house st duplex

AT 31 FOREST ST L 053 A011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. **FOUR HOURS NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.	
Health Dept.	DEC 3 2010
Appeal Board	
Other	
Department Name CITY OF PORTLAND	

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0578	Issue Date:	CBL: 053 A011001
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Location of Construction: 31 FOREST ST	Owner Name: MARDIGAN STEPHEN	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: New Age Builders, LLC	Contractor Address: 25 Alice St Portland	Phone: 2076321124
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: R-6 infill

Past Use: Vacant Land	Proposed Use: Duplex - New town house style duplex	Permit Fee: \$2,295.00	Cost of Work: \$220,000.00	CEO District: 2
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Proposed Project Description: Duplex - New town house style duplex	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>4 stories</i> <i>IBC 2003</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 05/28/2008	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel B Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2008-0072</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> S	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a “Stop Work Order” and “Stop Work Order Release” will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **As discussed, a geotechnical engineering firm must perform special inspections in accordance with the facts and recommendations documented in the geotechnical report dated 03/02/07.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Re-Bar Schedule Inspection: Prior to pouring concrete**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703; Fax: (207) 874-8716

Permit No: 08-0578	Date Applied For: 05/28/2008	CBL: 053 A011001
-----------------------	---------------------------------	---------------------

Location of Construction: 31 FOREST ST	Owner Name: MARDIGAN STEPHEN	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: New Age Builders, LLC	Contractor Address: 25 Alice St Portland	Phone (207) 632-1124
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: Duplex - New town house style duplex	Proposed Project Description: Duplex - New town house style duplex
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/05/2008
Note: Approved under R-6 small lot provision **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of approved site plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/03/2008
Note: **Ok to Issue:**

- 1) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 3) The attic scuttle opening must be 22" x 30".
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>31-33 Forest St</u>		
Total Square Footage of Proposed Structure/Area <u>2800</u>		Square Footage of Lot <u>.061 2655 St</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>53 A 11</u>	Applicant * must be owner, Lessee or Buyer* Name <u>STEPHEN E MAROLAN</u> Address <u>460 BAXTER BLVD</u> City, State & Zip <u>PORTLAND OREGON</u>	Telephone: <u>772 5555</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>220,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>2295-</u>
Current legal use (i.e. single family) <u>IN FILL ZONE</u>		
If vacant, what was the previous use? <u>UNKNOWN</u>		
Proposed Specific use: <u>2 UNIT</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name <u>MAY 28 2003</u>		
Project description: <u>TOWN HOUSE style duplex</u>		
Contractor's name: <u>NEW AGE BUILDERS LLC</u>		
Address: <u>25 ALICE ST</u>		
City, State & Zip <u>PORTLAND ME 04103</u>		Telephone: <u>632 1124</u>
Who should we contact when the permit is ready: <u>JIM MESSER</u>		Telephone: <u>632 1124</u>
Mailing address: <u>SLA LA</u>		



Certificate of Design Application

From Designer: Bruce W. Macleod, P.E.
 Date: 5/16/08
 Job Name: 31 Forest St.
 Address of Construction: 31 Forest St Portland, Me.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) Residential R-3

Type of Construction II un protected

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Res.</u>	<u>40 psf</u>
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1609.1.1, 1609.6)

100 Basic wind speed (1809.3)

_____	Live load reduction
_____	Roof live loads (1603.1.2, 1607.11)
<u>42</u>	Roof snow loads (1603.7.3, 1608)
<u>60</u>	Ground snow load, P_g (1608.2)
<u>42</u>	If $P_g > 10$ psf, flat-roof snow load P_f
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s
<u>1.0</u>	Roof thermal factor, C_t (1608.4)
_____	Sloped roof snowload, P_s (1608.4)
<u>C</u>	Seismic design category (1616.3)
<u>shear walls</u>	Basic seismic force resisting system (1617.6.2)
<u>7</u>	_____



Accessibility Building Code Certificate

Designer: Bruce L Macleod, PE

Address of Project: 31 Forest St.

Nature of Project: 2-unit Residential

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: Bruce L Macleod

Title: Professional Engineer

(SEAL)



Certificate of Design

Date:

5/16/08

From:

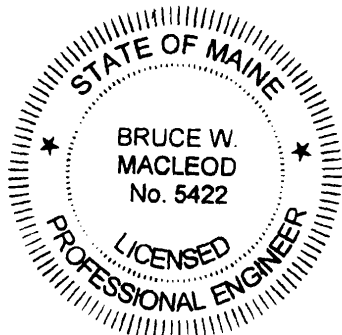
Bruce MacLeod, P.E.

These plans and / or specifications covering construction work on:

31 Forest St.

Portland, Me.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature:

Bruce W. MacLeod

Title:

Professional Engineer

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0072

Date: 7/16/2008

This is a reworking of a previous proposal. The proposal has been reduced from 3 du to 2 du. The design of the building has been revised from a flat roof to a pitched roof. There is no longer an entry along the left side of the building.

This is an R-6 in-fill lot which meets the definition of an R-6 in-fill lot.

I have concerns with first with the parking as shown within the building. Two regular 9'x19' (required technical standards) cars can not be parked at the same time as shown and scaled. There may also be an issue with the internal stair head room in the garage imposing upon cars parking in the given area. More information is required to clarify these two required parking spaces.

There is also a change in the roof from originally a flat roof to a pitch roof. The height of structures is determined differently by definition for a flat roof compared to a pitched roof. The revised plans with a pitched roof is being shown incorrectly for measurement of height. On a pitch roof the top measurement is at the half way point between the highest point (ridge) and where the roof meets the outside wall. My quick measurement shows the height of the building to be 39' and not 37' as the applicant contends. Therefore the calculations for the setback between buildings which uses heights, is not correct. I am questioning whether the required setbacks between buildings is being met. The applicant must submit further information to show me that the requirements are being met.

At this time, the other R-6 in-fill requirements appear to be met.

Marge Schmuckal
Zoning Administrator

10/3/08
Mancy changes since

From: Jean Fraser
To: Dobson, Lannie; Schmuckal, Marge
Date: 10/15/2008 3:31:52 PM
Subject: 31 Forest St #2008 0072

S3-A-11

Just to let you know that the site plan approval letter is going to be issued tomorrow. The approved plans are the last ones submitted (I think they are date stamped Oct 1, 2008).

Phil will be liaising with them re the Performance Guarantee and Inspection fee but you could progress the building permit (I think its currently on hold).

CC: DiPierro , Philip



Planning & Urban Development Department
Penny St. Louis Littell, Director

October 15, 2008

Stephen E. Mardigan
460 Baxter Blvd.
Portland, ME 04103

RE: **31 Forest Street, Parkview Terrace
2-unit Residential Condominium**

CBL: **053 A011001**
Application ID: **# 2008-0072**

Dear Mr. Mardigan,

On October 15, 2008, the Portland Planning Authority approved a minor site plan for Parkview Terrace, a 4-story duplex totaling 2655 sq ft at 31 Forest Street, as submitted by Stephen Mardigan and shown on the approved plan prepared by S J R Engineering (Site Plan and details) and Cad-de-Tech (elevations and floor plans) and dated October 1, 2008 with the following conditions:

i. That the final building plans and elevations shall be stamped by a professional engineer.

2.

2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan

3.

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director

Barbara Barhydt, Development Review Services Manager

Jean Fraser, Planner

Philip DiPierro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Jeanie Bourke, Inspections Division

Lisa Danforth, Administrative Assistant

Michael Bobinsky, Public Services Director

Kathi Earley, Public Works

Bill Clark, Public Works

Michael Farmer, Public Works

Jim Carmody, City Transportation Engineer

Jane Ward, Public Works

Captain Greg Cass, Fire Prevention

Jeff Tarling, City Arborist

Tom Errico, Wilbur Smith Consulting Engineers

Dan Goyette, Woodard & Curran

Assessor's Office

Approval Letter File

John Ossie, *Cad-deTech*, 235 Riverside Industrial Parkway, Portland, ME. 04102

Hard Copy

Project File

Archie Geobi

**GEOTECHNICAL ENGINEERING SERVICES
PROPOSED RESIDENTIAL BUILDING
31 FOREST STREET
PORTLAND, MAINE**

07-0042

March 2, 2007

Prepared for:
Granite Construction
Attention: Jim Messer
P. O. Box 8790
Portland, ME 04104

NOV 1 2007

TABLE OF CONTENTS

1.0 INTRODUCTION	1
1.1 Scope of Work	1
1.2 Proposed Construction	1
2.0 EXPLORATION AND TESTING	2
2.1 Exploration	2
2.2 Testing	2
3.0 SITE AND SUBSURFACE CONDITIONS	2
3.1 Site Conditions	2
3.2 Subsurface Conditions	3
3.3 Groundwater Conditions	3
3.4 Frost Conditions	3
4.0 EVALUATIONS AND RECOMMENDATIONS	3
4.1 General	3
4.2 Compressible Subsoils	3
4.3 Site and Subgrade Preparation	4
4.4 Excavation	4
4.5 Foundations	4
4.6 Foundation Drainage	5
4.7 Floor Slabs	5
4.7.1 Heated Areas	5
4.7.2 Unheated and Interior Parking Areas	6
4.8 Entrances and Sidewalks	6
4.9 Backfill and Compaction	6
4.10 Design Review and Construction Testing	7
5.0 CLOSURE	8

Attachment A	Limitations
Sheet 1	Exploration Location Plan
Sheets 2 to 4	Test Boring Logs



• *Geotechnical Engineering* • *Field & Lab Testing* • *Scientific & Environmental Consulting*

07-0042

March 2, 2007

Granite Construction
Attention: Jim Messer
P. O. Box 8790
Portland, ME 04104

Subject: Geotechnical Engineering Services
Proposed Residential Building
31 Forest Street
Portland, Maine

Dear Jim:

In accordance with our Agreement, dated January 15, 2007, we have made a subsurface investigation for the proposed residential building at 31 Forest Street in Portland, Maine. This report presents our findings and recommendations and is subject to the limitations presented in Attachment A.

1.0 INTRODUCTION

1.1 Scope of Work

The purpose of our work was to obtain subsurface information at the site of the proposed building in order to develop geotechnical recommendations relative to

the building. The site is currently relatively open with a few trees and shrubs around the perimeter of the lot. The site slopes downward from the southeast to the northwest with existing grade in the proposed building area from elevation 32 feet to elevation 30 feet. Based on the plans provided, the proposed finished floor elevation for the first level (parking and mechanical space) is elevation 31.3 feet. Cuts and fills on the order of 1 to 2 feet are anticipated.

2.0 EXPLORATION AND TESTING

2.1 Exploration

Three test borings (B-1 through B-3) were drilled at the site on January 26, 2007. The borings were made by Great Works Test Boring of Rollinsford, New Hampshire working under subcontract to S. W. COLE ENGINEERING, INC. The exploration locations were established in the field by S. W. COLE ENGINEERING, INC. by taping from existing site features. The approximate exploration locations are shown on the "Exploration Location Plan" attached as Sheet 1. Sheet 1 is based on a plan provided by Back Bay Boundary, Inc. Logs of the test borings are attached as Sheets 2 through 4. A key to the notes and symbols used on the logs is attached as Sheet 5.

2.2 Testing

Laboratory testing, including moisture content, grain size analyses, and a one-dimensional consolidation test were performed on selected samples. The results of laboratory moisture content tests are shown on the logs. Results of four grain size tests are attached as Sheets 6 to 9. The results of the one-dimensional consolidation test are attached as Sheet 10

3.2 Subsurface Conditions

The test borings generally encountered a subsurface profile of granular fill overlying native silty sand overlying silty clay underlain by silty sand. The fill generally consists of loose, brown to black silty sand. The native silty sand was generally loose and medium to fine grained. The silty clay is soft and gray. The native silty sand underlying the silty clay was medium dense to dense and medium to fine grained.

3.3 Groundwater Conditions

The subsoils at the site appear saturated at a depth of about 10 feet. In general, groundwater should be expected to fluctuate seasonally and during periods of heavy precipitation and snowmelt.

3.4 Frost Conditions

The design freezing index for the Portland area is about 1,250-Fahrenheit-degree-days, which corresponds to a frost penetration depth on the order of 4.5 feet.

4.0 EVALUATIONS AND RECOMMENDATIONS

4.1 General

Based on the subsurface findings and our understanding of the proposed construction, ~~it is our opinion that foundation support of the proposed building appears feasible using~~ conventional spread footing foundations and on-grade floor slabs provided the existing site fills are removed and replaced with compacted fills. Post construction settlements are anticipated to be less than one inch.

4.3 Site and Subgrade Preparation

Site preparation should begin with construction of an erosion control system to protect drainage ways and areas outside the construction limits. The existing fill in the building area should be excavated and replaced with a material meeting the gradation requirements of Structural Fill. Fill placed within the building area should be compacted to at least 95 percent of the maximum dry density as determined by ASTM D1557. **S. W. COLE ENGINEERING, INC.** should observe the excavation of the existing fill and placement of new structural fill to provide field density testing to confirm the required compaction is achieved.

4.4 Excavation

We recommend that all topsoil, organics, fill soils and any existing utilities be removed from beneath the proposed building. The existing fills need to be completely removed from beneath the building area to expose the naturally deposited silty sand. Excavation outside the building area should continue laterally one foot for each one foot of overexcavation. In general, the on-site fill soils are not suitable for reuse below foundations or slabs or as backfill against foundations, but it may be possible to reuse the sandy fill for compacted gravel borrow or trench backfill below paved areas or as common fill outside the building area provided the material is at a moisture content which is consistent with the required compaction.

Groundwater seepage may be encountered during excavation work, particularly during precipitation and in deeper excavation areas. Ditching, sumping and pumping dewatering techniques should be adequate to control groundwater within foundation

- Net allowable bearing pressure = 2.5 ksf or less
- Base friction factor = $(\tan \delta) = 0.4$
- Passive lateral earth pressure coeff. (K_p) = 3.0
- At-rest lateral earth pressure coeff. (K_o) = 0.5
- Total unit weight of backfill (γ_t) = 135 pcf
- Angle of Internal Friction (ϕ) = 30 degrees

4.6 Foundation Drainage

We recommend that a perimeter foundation drain system be provided adjacent to the exterior side of exterior footings. The foundation drains should be placed at least 4.5 feet from freezing temperatures and should consist of 4-inch diameter rigid underdrain pipe having perforations of $\frac{1}{4}$ to $\frac{1}{2}$ inches. We recommend that at least 6 inches of crushed stone bedding be provided around the foundation drains and that the stone be wrapped with a geotextile filter fabric having an apparent opening size of at least 70. Alternatively, the underdrain may consist of 4 inch diameter slotted foundation drain with a filter sock, bedded in structural fill. The foundation drainage system must have a positive gravity outlet.

Exterior foundation backfill should be sealed with a surficial layer of clayey or loamy soil in areas that are not to be paved or occupied by entrance slabs to reduce direct surface water infiltration into the backfill. Roof drains should be routed in separate non-perforated pipes, also placed below the frost depth.

4.7 Floor Slabs

vapor retarder must have sufficient durability to withstand direct contact with sub-slab fill and construction activity.

We recommend that control joints be installed within floor slabs to accommodate shrinkage in the concrete as it cures. In general, control joints are usually installed at 10 to 15 foot spacing; however, the actual spacing of control joints should be determined by the structural engineer. We recommend that floor slabs be wet-cured for a minimum of 7 days after casting as a measure to reduce the potential for curling of the concrete and excessive shrinkage.

4.7.2 Unheated and Interior Parking Areas

Considering the existing soils are frost susceptible and that existing fills will need to be removed beneath the building footprint, we recommend that excavation beneath slabs in unheated areas continue at least 4.5 feet below finished slab elevation. These areas should be backfilled with compacted Structural Fill. Slab-on-grade floors may be designed using a subgrade reaction modulus of 150 pci provided the concrete slab is underlain by properly prepared subgrades.

4.8 Entrances and Sidewalks

Entrance approaches, sidewalks and exterior slabs should be designed to reduce the effects of differential frost action between doorways and entrances. We recommend that excavations beneath the entire width of entrances, sidewalks, and exterior slabs continue to at least 4.5 feet below finish grade. These areas should be backfilled with compacted non-frost susceptible granular fill meeting the Structural Fill gradation to limit

Structural Fill	
Sieve Size	Percent Finer by Weight
4 inch	100
3 inch	90 to 100
¼ inch	25 to 90
No. 40	0 to 30
No. 200	0 to 5

Crushed stone for use around footing underdrains should meet the following gradation:

Crushed Stone	
Sieve Size	Percent Finer by Weight
3 inch	100
¾ inch	40 to 75
No. 4	25 to 50
No. 40	0 to 20
No. 200	0 to 8

Structural Fill should be placed in horizontal lifts and be compacted. Lift thickness should be such that desired density is achieved throughout the lift thickness with 3 to 5



07-0042
March 2, 2007

ENGINEERING, INC. is available to provide field and laboratory testing services for soil, concrete, and masonry construction materials.

5.0 CLOSURE

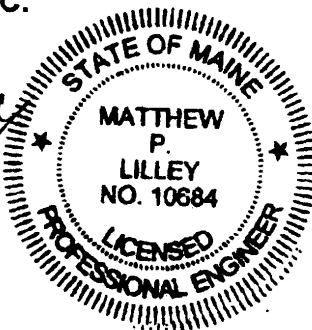
It has been a pleasure to be of assistance to you with this phase of your project. We look forward to working with you as the design progresses and during the construction phase of this project.

Very truly yours,

S. W. COLE ENGINEERING, INC.

A handwritten signature in black ink that reads 'Matthew P. Lilley'. The signature is written in a cursive style and is positioned to the left of the circular professional seal.

Matthew P. Lilley, P. E.
Geotechnical Engineer



MPL:mpl/pfb

Attachment A - Limitations

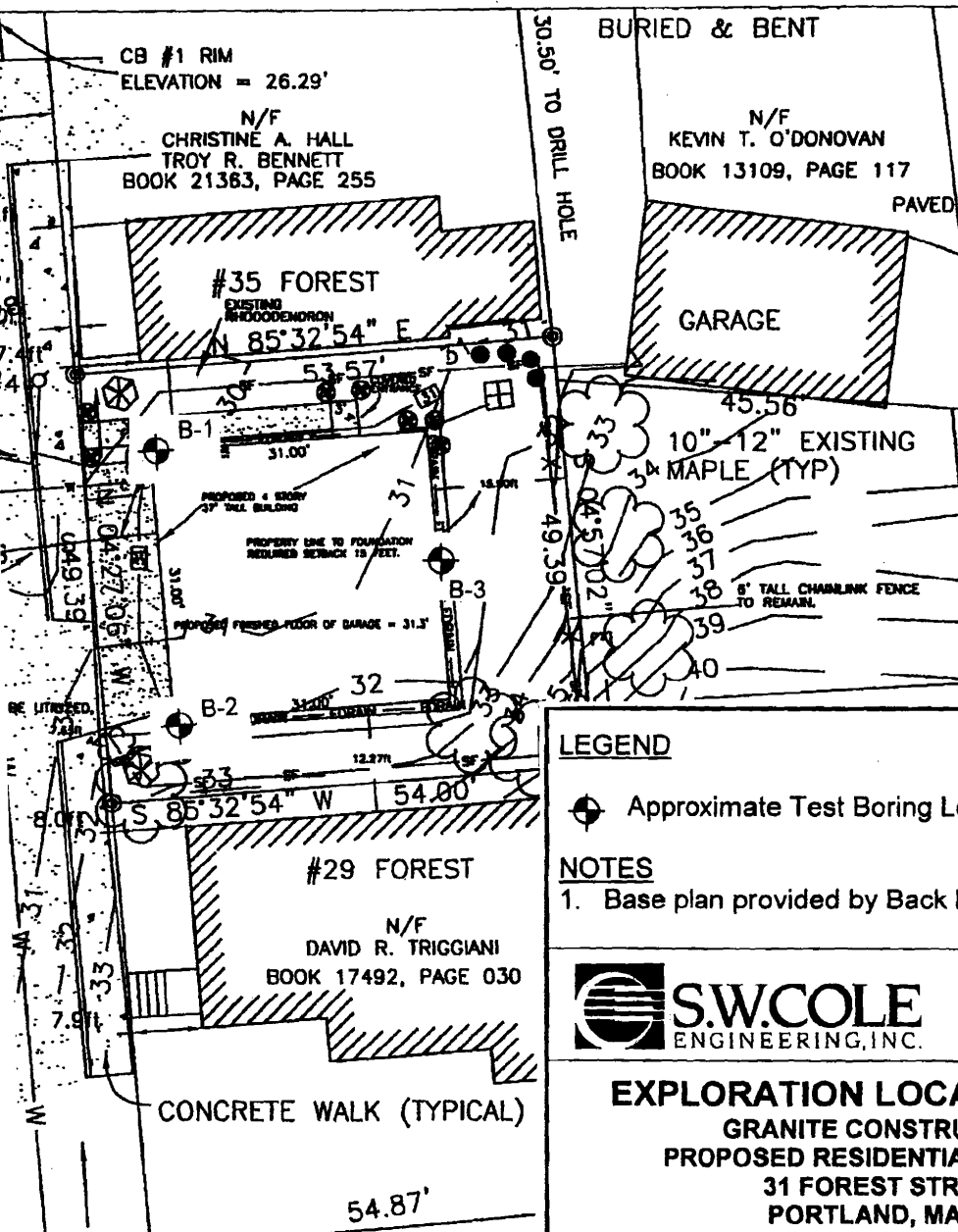
This report has been prepared for the exclusive use of Granite Construction for specific application to the Proposed Residential Building located at 31 Forest Street in Portland, Maine. S. W. COLE ENGINEERING, INC. has endeavored to conduct the work in accordance with generally accepted soil and foundation engineering practices. No warranty, expressed or implied, is made.

The soil profiles described in the report are intended to convey general trends in subsurface conditions. The boundaries between strata are approximate and are based upon interpretation of exploration data and samples.

The analyses performed during this investigation and recommendations presented in this report are based in part upon the data obtained from subsurface explorations made at the site. Variations in subsurface conditions may occur between explorations and may not become evident until construction. If variations in subsurface conditions become evident after submission of this report, it will be necessary to evaluate their nature and to review the recommendations of this report.

Observations have been made during exploration work to assess site groundwater levels. Fluctuations in water levels will occur due to variations in rainfall, temperature, and other factors.

S. W. COLE ENGINEERING, INC.'s scope of work has not included the investigation, detection, or prevention of any Biological Pollutants at the project site or in any existing or proposed structure at the site. The term "Biological Pollutants" includes, but is not limited



BURIED & BENT

CB #1 RIM
ELEVATION = 26.29'

N/F
CHRISTINE A. HALL
TROY R. BENNETT
BOOK 21363, PAGE 255

N/F
KEVIN T. O'DONOVAN
BOOK 13109, PAGE 117

PAVED

#35 FOREST

EXISTING
#160 CEDAR
N 85°32'54" E

GARAGE

10" - 12" EXISTING
MAPLE (TYP)

PROPOSED 4 STORY
37' TALL BUILDING

PROPERTY LINE TO FOUNDATION
REQUIRED SETBACK 12' FEET.

PROPOSED FINISHED FLOOR OF GARAGE = 31.3'

9' TALL CHAINLINK FENCE
TO REMAIN.

LEGEND

⊙ Approximate Test Boring Location

NOTES

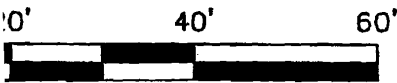
1. Base plan provided by Back Bay Boundary, Inc.



EXPLORATION LOCATION PLAN
GRANITE CONSTRUCTION
PROPOSED RESIDENTIAL BUILDING
31 FOREST STREET
PORTLAND, MAINE

PROJECT NO. 07-0042
DATE: March 2, 2007

SCALE: 1"=20'
SHEET: 1





BORING LOG

BORING NO.: **B-3**
 SHEET: **1 OF 1**
 PROJECT NO.: **07-0042**
 DATE START: **1/26/2007**
 DATE FINISH: **1/26/2007**
 ELEVATION: **NOT AVAILABLE**
 SWC REP.: **MPL**

PROJECT / CLIENT: **31 FOREST STREET / GRANITE CONSTRUCTION**
 LOCATION: **PORTLAND, MAINE**
 DRILLING CO.: **GREAT WORKS TEST BORING** DRILLER: **DAVID DIONNE**

CASING: TYPE SIZE I.D. HAMMER WT. HAMMER FALL
 CASED 4"

SAMPLER: SS 1 3/8" 140 lbs 30"

CORE BARREL:

WATER LEVEL INFORMATION
 SOILS APPEAR SATURATED @ 10'

CASING DEPTH IN FEET	SAMPLE				SAMPLER BLOWS PER FT				DEPTH	STRATA TEST
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
										BROWN TO BLACK SILTY SAND, TRACE ORGANIC (FILL)
	1D	24"	16"	7.0'	1	1	1	1	9.0'	-LOOSE-
	2D	24"	19"	12.0'	3	4	5	4	13.0'	TAN SILTY SAND -LOOSE, MEDIUM TO FINE SAND, SOME SILT- w = 24.8%
										-SOFT- GRAY SILTY CLAY
	1U	24"	24"	21.0'						w = 37.6%
	1V	2" X 4" VANE		21.5'						$S_v = 1.00 / 0.22$ ksf
	1V	2" X 4" VANE		22.0'						$S_v = 1.17 / 0.17$ ksf



S.W. COLE
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

KEY TO THE NOTES & SYMBOLS

Test Boring and Test Pit Explorations

All stratification lines represent the approximate boundary between soil types and the transition may be gradual.

Key to Symbols Used:

w	-	water content, percent (dry weight basis)
q _u	-	unconfined compressive strength, kips/sq. ft. - based on laboratory unconfined compressive test
S _v	-	field vane shear strength, kips/sq. ft.
L _v	-	lab vane shear strength, kips/sq. ft.
q _p	-	unconfined compressive strength, kips/sq. ft. based on pocket penetrometer test
O	-	organic content, percent (dry weight basis)
W _L	-	liquid limit - Atterberg test
W _p	-	plastic limit - Atterberg test
WOH	-	advance by weight of hammer
WOM	-	advance by weight of man
WOR	-	advance by weight of rods
HYD	-	advance by force of hydraulic piston on drill
RQD	-	Rock Quality Designator - an index of the quality of a rock mass. RQD is computed from recovered core samples.
γ _T	-	total soil weight
γ _B	-	buoyant soil weight

Description of Proportions:

0 to 5% TRACE



Report of Gradation

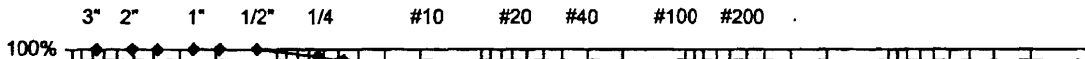
ASTM C-117 & C-136

Project Name PORTLAND - 31 FOREST STREET - PROPOSED RESIDENTIAL
 BUILDING - GEOTECHNICAL ENGINEERING SERVICES
 Client GRANITE CONSTRUCTION
 Material Source B-1 1D 5-7

Project Number 07-0042
 Lab ID 6359G
 Date Received 1/31/2007
 Date Complete 1/31/2007
 Tested By JUSTIN BISSON

<u>STANDARD DESIGNATION (mm/um)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	100	
38.1 mm	1-1/2"	100	
25.0 mm	1"	100	
19.0 mm	3/4"	100	
12.5 mm	1/2"	100	
6.3 mm	1/4"	98	
4.75 mm	No. 4	98	2.1% Gravel
2.00 mm	No. 10	95	
850 um	No. 20	87	
425 um	No. 40	62	83.6% Sand
250 um	No. 60	32	
150 um	No. 100	20	
75 um	No. 200	14.3	14.3% Fines

SILTY SAND, TRACE GRAVEL





Report of Gradation

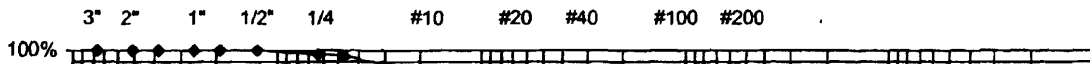
ASTM C-117 & C-136

Project Name PORTLAND - 31 FOREST STREET - PROPOSED RESIDENTIAL
 BUILDING - GEOTECHNICAL ENGINEERING SERVICES
 Client GRANITE CONSTRUCTION
 Material Source B-1 2D 10-12

Project Number 07-0042
 Lab ID 6360G
 Date Received 1/31/2007
 Date Complete 1/31/2007
 Tested By JUSTIN BISSON

<u>STANDARD DESIGNATION (mm/um)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	100	
38.1 mm	1-1/2"	100	
25.0 mm	1"	100	
19.0 mm	3/4"	100	
12.5 mm	1/2"	100	
6.3 mm	1/4"	99	
4.75 mm	No. 4	99	1.1% Gravel
2.00 mm	No. 10	96	
850 um	No. 20	90	
425 um	No. 40	79	74.1% Sand
250 um	No. 60	66	
150 um	No. 100	45	
75 um	No. 200	24.7	24.7% Fines

SILTY SAND, TRACE GRAVEL





Report of Gradation

ASTM C-117 & C-136

Project Name PORTLAND - 31 FOREST STREET - PROPOSED RESIDENTIAL
BUILDING - GEOTECHNICAL ENGINEERING SERVICES

Project Number 07-0042

Client GRANITE CONSTRUCTION

Lab ID 6363G

Date Received 1/31/2007

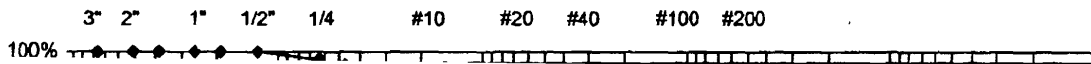
Date Complete 1/31/2007

Material Source B-3 1D 5-7

Tested By JUSTIN BISSON

<u>STANDARD DESIGNATION (mm/um)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	100	
38.1 mm	1-1/2"	100	
25.0 mm	1"	100	
19.0 mm	3/4"	100	
12.5 mm	1/2"	100	
6.3 mm	1/4"	99	
4.75 mm	No. 4	97	2.6% Gravel
2.00 mm	No. 10	92	
850 um	No. 20	81	
425 um	No. 40	65	89.5% Sand
250 um	No. 60	48	
150 um	No. 100	26	
75 um	No. 200	7.9	7.9% Fines

SAND, SOME SILT, TRACE GRAVEL





Report of Gradation

ASTM C-117 & C-136

Project Name PORTLAND - 31 FOREST STREET - PROPOSED RESIDENTIAL BUILDING - GEOTECHNICAL ENGINEERING SERVICES

Project Number 07-0042

Client GRANITE CONSTRUCTION

Lab ID 6366G

Date Received 1/31/2007

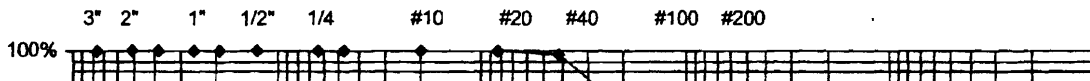
Date Complete 1/31/2007

Material Source B-3 4D 30-32

Tested By JUSTIN BISSON

<u>STANDARD DESIGNATION (mm/μm)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	100	
38.1 mm	1-1/2"	100	
25.0 mm	1"	100	
19.0 mm	3/4"	100	
12.5 mm	1/2"	100	
6.3 mm	1/4"	100	
4.75 mm	No. 4	100	0% Gravel
2.00 mm	No. 10	100	
850 μm	No. 20	100	
425 μm	No. 40	99	72.5% Sand
250 μm	No. 60	92	
150 μm	No. 100	61	
75 μm	No. 200	27.5	27.5% Fines

SILTY SAND





Consolidation Test

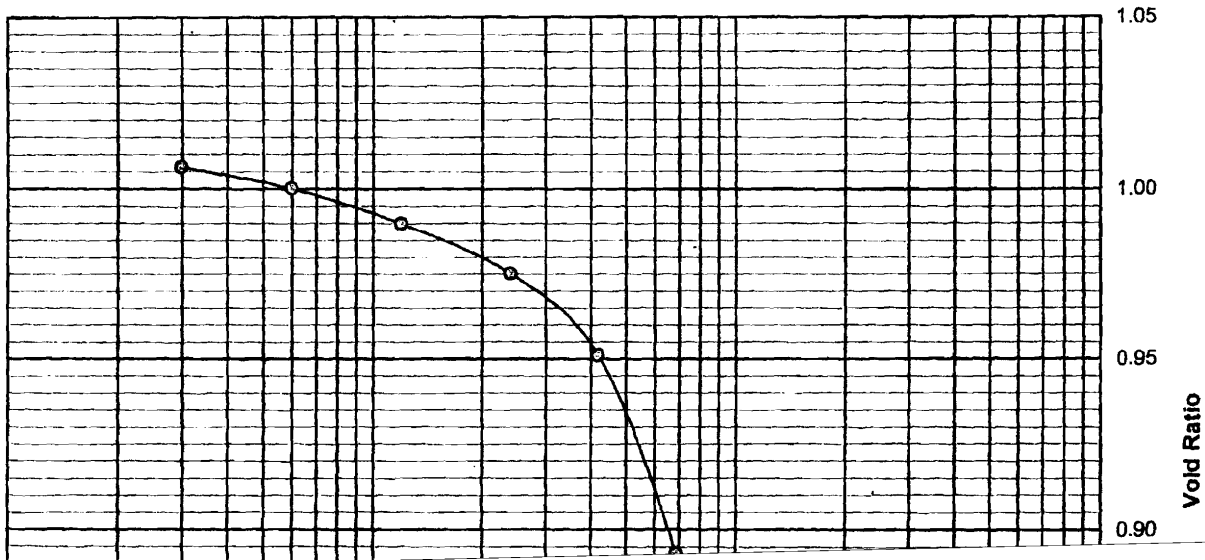
ASTM D-4767

Project Name 31 Forest St.
Client Granite Construction

Boring B-3
Sample 1U
Depth 19' - 21'

Project Number 07-0042
Lab ID 6988B
Date 2/15/2007

$P_c =$	4.0 ksf
$C_c =$	0.4
$C_r =$	0.03
$W =$	37.6%



BACK BAY BOUNDARY, INC.

Project Summary

For

The Proposed

Park View Terrace

A Condominium

**31 Forest Street
Portland, Maine**

BACK BAY BOUNDARY, INC.

March 30, 2007

Mr. Alex Jaegerman
Director of Planning
City of Portland
389 Congress Street
Portland, Maine 04101

Subject: The proposed Park View Condominiums 31 Forest Street Portland,
Maine.

Dear Mr. Jaegerman

Back Bay Boundary, Inc. has been retained to by Stephen E. Mardigan to prepare and coordinate the necessary plans and documents for the construction of a 3-unit residential condominium. The following companies have also been retained to facilitate the design of the building.

Back Bay Boundary, Inc. is responsible for the topography, boundary lines and existing conditions of the site. We are also responsible for the collection of utility letters and planning board representation.

S. W. Cole Engineering 286 Portland Road Gray Maine was retained to perform the required geotechnical engineering services.

S. J. R. Engineering Inc. 21 Mayflower Road Augusta Maine has been retained to perform the civil engineering of the site.

Granite Construction P.O. Box 8790 Westbrook Maine has been retained to the general contractor responsible for the construction of the building and other improvements to the site.

Existing Conditions

BACK BAY BOUNDARY, INC.

Stephen E. Mardigan is the current owner of the parcel. Deeds and information relative to the applicant's interest in the parcel are included herein.

SITE TOPOGRAPHY AND SUPERFICIAL FEATURES

The site's current use is that of a gravel parking lot. With 49.39 feet of frontage on Forest Street the means of access to the site is an existing curb cut that was installed by the City of Portland during the most recent rebuilding of Forest Street during 1993. Utilities consisting of sewer and water were previously stubbed off at the street line during that work.

The site slopes gently from its most southeasterly corner to its most northwesterly corner at the street. As stated above the site is gravel covered with two mature maple trees on its most southerly side. A 6 foot high chainlink fence runs along the rear of the site and a concrete retaining wall is occupying a portion of the abutting lot in the southeast corner of lot.

No wetlands or special soils were observed on the surface of the lot. Based on graphic scaling and general observation the site is not located in a special flood hazard area as shown on the FEMA flood maps for Portland

BACK BAY BOUNDARY, INC.

PROJECT DESCRIPTION

Stephen E. Mardigan is proposing to construct a 971 square foot footprint, 4 story, structure comprised of 3-two bedroom condominiums with parking, mechanical and solid waste storage on the ground floor. Each unit will have one inside parking space in the ground floor area. The first, second and third floor units will be approximately 851 square feet.

The building design and placement respects the Small Residential Lot Development guidelines in relation to the surrounding buildings. The front setback of 7.63 feet was calculated by utilizing the existing buildings to the North and South of the site. Their relation to Forest Street was calculated to be 7.9 feet for #29 Forest and 7.4 feet for #35, thus giving us the average of 7.63 feet for the project setback. The side setbacks were calculated from the existing buildings utilizing the City of Portland formula of adding the height of the existing buildings and the height of the proposed building then dividing the result by the number 5. The resulting setbacks are shown on the enclosed plans and are as follows:

→ #29 Forest – 24.34 feet from the median grade of the site + 37 feet for the proposed building divided by 5 = 12.27 feet.

#35 Forest – 14 feet + 37 divided by 5 = 10.2 feet.

(The rear setback was fixed at 15 feet per the City ordinance requiring one side of the project remaining open and clear.

Access to the site will be from Forest Street, a one-way, paved, accepted public city street. Automobiles will enter directly into their own space inside the building via a dedicated garage door for each unit. A separate entrance to the building is proposed for the northerly side of building, the center of which is located 8 feet-11 inches from the rear corner of the building. A paved 3 foot wide path will lead

BACK BAY BOUNDARY, INC.

BUILDING ARCHITETURE

The proposed four story condominium has been designed to reflect the simple style of the neighborhood. A brick veneer façade with patios gives this building a simple yet functional design, vinyl clapboards will cover the remaining sides of the building keeping in context with the surrounding buildings. Simple pilasters have been chosen to dress up the front façade as have 8 over 8 double hung windows. The proposed elevations of the building are included in this package.

ZONING

The property is currently situated in the Residential – 6 zone. As previously stated, the parcel also falls under the City of Portland's Small Residential Lot Development guidelines.

UTILITIES

As indicated on the included plans the site is already stubbed off for the sewer and water services. The sewer line currently servicing Forest Street is shown on the City of Portland as-built plans as being an 18" reinforced concrete pipe flowing by the force of gravity towards Park Avenue. The water service in Forest Street is shown on Portland Water District plans as being a 6" water main. Copies of letters sent to the various utility companies and the City of Portland Public Works department requesting ability to serve letters are included herein. The nearest fire hydrant is located approximately 180 feet northerly of the site located at the northeast corner of Forest Street and Park Avenue. Letters from the various utility companies will be forwarded to the City of Portland as they are received.

BACK BAY BOUNDARY, INC.

STORMWATER RUNOFF

Given the current gravel condition of the lot nearly all the stormwater that falls on this site is shed to the street and the abutting property to the North. The current plan to deal with stormwater is to collect what falls on the flat roof in scupper boxes attached to downspouts that will connect to the foundation drain. The remainder of the lot will be landscaped with grass and planting beds that will aid in reducing the amount of stormwater shed from the site.

EROSION CONTROL

Erosion control will be achieved with the use of DEP approved erosion control mix banking or silt fencing as shown on the included plans.

LIGHTING

Given the close proximity of the neighboring buildings site lighting will be limited to fixtures attached to the building. Recessed lights will be installed over the patios on the front of the building. Two wall mounted light fixtures will be installed to the side of the entrance near the rear of building. Security lighting utilizing a cut off feature will be installed in the rear of the building. Details of the lights are including herein.

LANDSCAPING

Landscaping has been designed to comply with City of Portland's Design guidelines. Shade tolerant species of plants have been selected for use in this project. Mint Julep Junipers will be utilized to soften the corners of the buildings. Hostas and other low maintenance shade tolerant species will be used for

BACK BAY BOUNDARY, INC.

Composition of Neighborhood:

The two block neighborhood comprised of Forest Street, Park Avenue, Weymouth Street and Congress Street with Boynton Street bisecting the middle is comprised of the following types of buildings.

1. Single family homes,	1 to 1½ stories in height.	8
2. Two family homes,	1½ stories	2
3. Three family ,	3 stories	5
4. Four family,	2 stories	2
5. Five to 26 unit buildings,	3 stories	8
6. Credit Union with drive-thru	1 story	1
7. Concrete parking Garage	2 story	1
8. Brick and block Commercial Condominium (MMC)	3 story 10 units	1
9. Parking Lots	Paved and gravel	7

Photographs of various examples are attached hereto.



BACK BAY BOUNDARY, INC.



35 Forest Street



BACK BAY BOUNDARY, INC.



17 Boynton Street



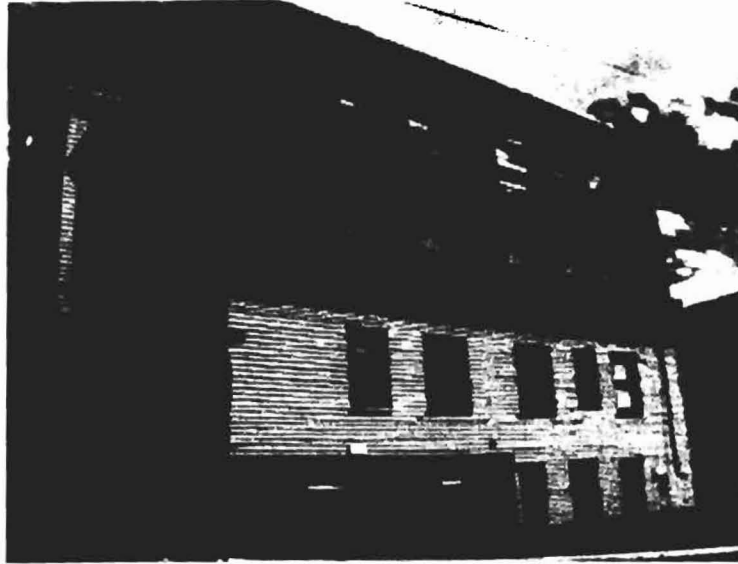
BACK BAY BOUNDARY, INC.



250 Park Avenue

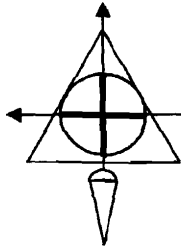


BACK BAY BOUNDARY, INC.



**Corner of Weymouth and Boynton
#16 Weymouth Street**





BACK BAY BOUNDARY, INC.

LAND SURVEYING

July 20, 2005

Mr. Frank J. Brancely, B.A., M.A.
City of Portland
Department of Public Works
55 Portland Street
Portland, Maine 04101

RE: The capacity to handle waste water flows, from 31 Forest Street, Portland, Maine, site of 3 proposed two bedroom condominiums.

Dear Mr. Brancely:

I am writing to request a letter of capacity concerning the above referenced project. Under the guidelines provided to me by you the following data is known.

Anticipated Wastewater Flows from the Proposed Condominium:

3 proposed two bedroom units @ 180 GPD/Unit	= 540 GPD
Proposed increase of wastewater flow	= 540 GPD

Forest Street is currently serviced by an 18" reinforced concrete pipe that is shown on the as-built plan entitled "Forest Street Reconstruction Park Ave.



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Public Works Department
Michael J. Bobinsky, Director

8 August 2005

Mr. Robert T. Greenlaw, P.L.S.,
Back Bay Boundary, Inc.,
643 Forest Avenue,
Portland, Maine 04101

**RE: The Capacity to Handle the Anticipated Wastewater Flows,
From a Proposed Condominium, at 31 Forest Street.**

Dear Mr. Greenlaw:

The existing eighteen inch diameter reinforced concrete sanitary sewer pipe, located in Forest Street, has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated wastewater flows of **540 G.P.D.**, from the proposed development.

Anticipated Wastewater Flows from the Proposed Condominium:

3 Proposed Two Bedroom Units @ 180 G.P.D./Unit	= 540 G.P.D.
Total Proposed Increase in Wastewater Flows for this Project	= 540 G.P.D.

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and

BACK BAY BOUNDARY, INC.
LAND SURVEYING

July 20, 2005

Mr. Paul DuPerre
Technical Advisor
Central Maine Power Co.
162 Canco Road
Portland, Maine 04103

RE: The capacity to serve the electrical needs, at 31 Forest Street, Portland, Maine, site of 3 proposed two bedroom condominiums.

I am writing to request a letter of capacity concerning the above referenced project. The site is shown on the City of Portland Assessor Map 053 Block A as lot #11. The site is currently an empty parking lot on the right side of Forest Street between Boynton Street and Park Avenue.

There are currently overhead power lines on Forest Street with a power pole numbered #4 at our site. As the proposed units are only 851 square feet each I do not anticipate a large draw on the power grid from this project.

Should you need any additional information please feel free to email or call us.



Central Maine Power

July 27, 2005

Mr. Robert T. Greenlaw, PLS
C/O Back Bay Boundary, INC.
643 Forest Avenue
Portland, Maine 04101

RE: 31 Forest Street, Portland, Maine

Dear Mr. Greenlaw,

This letter is to advise you Central Maine Power has sufficient single phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate.

If any Central Maine Power assets are required to be placed on the customers property an easement will be required.

If you have any questions please feel free to call me at 828-2882.

BACK BAY BOUNDARY, INC.
LAND SURVEYING

July 20, 2005

Mr. Jim Pandisco
Portland Water District
225 Douglass Street
Portland, Maine 04104

RE: The capacity to serve the electrical needs, at 31 Forest Street, Portland, Maine, site of 3 proposed two bedroom condominiums.

Dear Jim,

I am writing today to request a letter of capacity to service a proposed 3 unit condominium. In looking over the plans for Forest Street it appears that a 6" water main exists in Forest Street.

I believe a service connection was stubbed out at the site recently. As we will be installing fire suppression in these two bedroom units, I hope there will be adequate capabilities from your system.

This is a single building with first floor parking being planned.

Should you need any additional information please feel free to email or call



CUSTOMER SERVICE
OFFICE HOURS
8:30 A.M. - 4:30 P.M.

Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

August 2, 2005

Robert T. Greenlaw, PLS
Back Bay Boundry, Inc.
643 Forest Ave.
Portland, Me. 04101

Re: 31 Forest St.-Portland

Robert:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 3 unit Condominium at 31 Forest St. in Portland. Checking District records, I find there is a 6"CI water main on the west side of the street as well as a water hydrant located at either end of Forest Street.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Park Ave, @ Forest St.

Hydrant # 333

Static pressure = 96 PSI

Flow = 1244 GPM

Last Tested = 8/14/1992

BACK BAY BOUNDARY, INC.
LAND SURVEYING

July 20, 2005

Pat Dyer
Commercial Sales
Northern Utilities Natural Gas
325 West Road
P.O. Box 508
Portsmouth, NH 03802-0508

Dear Pat:

RE: The capacity to serve 31 Forest Street, Portland, Maine,
site of 3 proposed two bedroom condominiums.

I am writing to request a letter of capacity concerning the above referenced project. The site is shown on the City of Portland Assessor Map 053 Block A as lot #11. The site is currently an empty parking lot on the right side of Forest Street between Boynton Street and Park Avenue.

Should you need any additional information please feel free to email or call us.

PARK AVE

Elevation

35.651

S E C

d. Piercing Ave. - S. E. C.

7. on Copper Bolt in Mon. on 3 ft. offset
hecks +0.027 with USGS disk at Post Office.

10/06 LB 836 pp. 46-47

Reference

Oct. 21, 1927

L. B. $\frac{216}{120}$

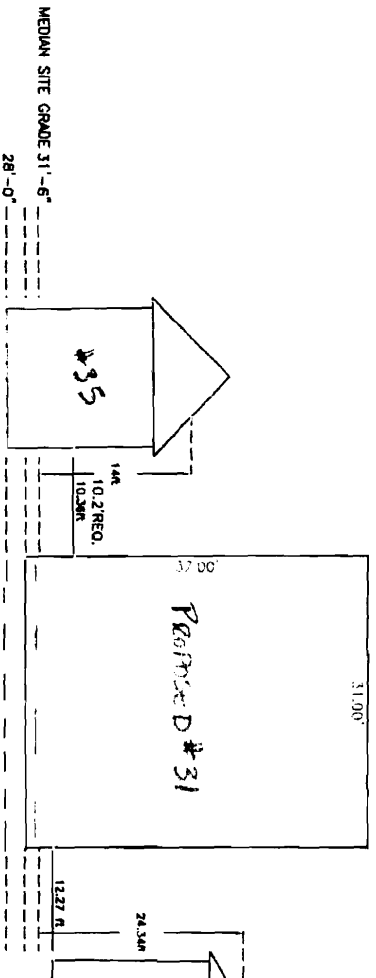
O-LIBRARY, BUREAU OF MINING, WASHINGTON, D.C. 20540

PARK AVE.

Elevation

17.593

S W C



PRELIM
 02-21
 BACK E

BK 1152 PG 203

41041

QUITCLAIM DEED
(Without Covenant)

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, that CSC, a corporation duly organized and existing under the laws of the State of Maine with a place of business at Portland, Maine, FOR CONSIDERATION PAID, hereby grants to STEPHEN E. MARDIGAN, whose mailing address is 684 Baxter Boulevard, Portland, Maine, 04103, all of its right, title and interest, Without Covenant, in and to a certain lot or parcel of land, together with any improvements thereon and rents, leases and other rights appurtenant thereto, located at 726 Forest Avenue, City of Portland, Cumberland County, Maine; being more particularly described as follows:

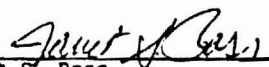
SEE EXHIBIT A ATTACHED HERETO AND
INCORPORATED HEREIN BY REFERENCE

IN WITNESS WHEREOF, CSC has caused this instrument to be executed by Janet S. Ross, a Vice President thereunto duly authorized as of this 30 day of June, 1994.

CSC



Witness

By: 
Janet S. Ross,
a Vice President thereunto
duly authorized

State of Maine
Cumberland County, ss.

June 30, 1994

Personally appeared the above-named Janet S. Ross and acknowledged the foregoing instrument to be her free act and deed in said capacity on behalf of said corporation.

Before me,


Name: C. Wesley Crowell
Title: Commission Expires
Commission Expires On:

EXHIBIT A
DEED
CSC to Mardigan

A certain lot or parcel of land, with the buildings and improvements thereon, situated on the Westerly side of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at a point on said Westerly side of Forest Avenue where the Northerly boundary of land belonging to one Chase intersects said Westerly side of Forest Avenue, the same being the Southeasterly corner of the lot hereby conveyed; thence running Westerly along said Chase land, one hundred and sixty-five (165) feet, more or less, to land now or formerly of James N. Reed; thence Northerly along said Reed land sixty-seven (67) feet, more or less, to a fence which forms the Southerly boundary of the Easterly portion of said Reed land; thence Easterly along said Southerly boundary of said Reed land and continuing in a straight line to an iron stake in the Westerly side of said Forest Avenue, said last bound being about one hundred and sixteen (116) feet; thence Southerly along said Forest Avenue ninety-eight (98) feet, more or less, to the point of beginning.

Excepting so much thereof as was taken by the City of Portland in extending Concord Street to Forest Avenue.

Also another certain lot or parcel of land, with the buildings and improvements thereon, situated on Concord Street, situated on the Northerly side of Concord Street, in the City of Portland, more fully described as follows: Beginning at a point on the Northerly side of Concord Street which point is twenty-six (26) feet from a stake on the Westerly side of Forest Avenue and at a most Southeasterly corner of land of said Mitchell E. Burns; thence in a Northwesterly direction along the line of said Burns' land seventy and seventy-five hundredths (70.75) feet to a point; thence, Southeasterly to a stake on the Northerly side of Concord Street; thence Easterly along Concord Street to the point of beginning. Said piece of land being triangular in shape.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life [®] www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

October 9, 2007

Mr. Stephen Mardigan
460 Baxter Boulevard
Portland, ME 04103

RE: Parkview Condominiums, 31 Forest St. (Application ID # 2007-0150)

Dear Mr. Mardigan:

Thank you for your recent application for development review under the City of Portland's Land Use Code. Marge Schmuckal, Zoning Administrator, and I reviewed your submission for completeness. I am writing to confirm our conversation that was held in September. We cannot review your application until the correct right, title and interest information is submitted for the parcel. Marge Schmuckal, Zoning Administrator, must review this material and confirm that the lot meets the requirements for the small residential lot provisions of the R-6 zone. In particular, she needs to confirm that the following conditions are met:

The lot is:

Vacant or is used exclusively for parking or contains structure not used for

From: Marge Schmuckal
To: Barbara Barhydt
Date: 10/25/2007 10:36:03 AM
Subject: 31 Forest St

Barbara,
The records show that this lot has been separately described and vacant since at least 3/81. I put my comments in Urban Insight.
Marge

31 FOREST ST

WARRANTY DEED

JAMES E. CUMMINGS AND CHERYL A. CUMMINGS

of 60 Aldaron Road, Windham, ME 04062

for consideration paid, grant to

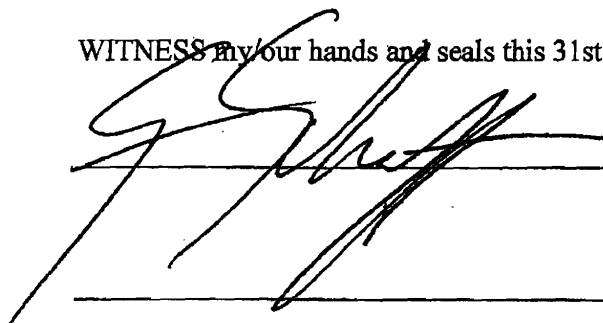
STEPHEN MARDIGAN

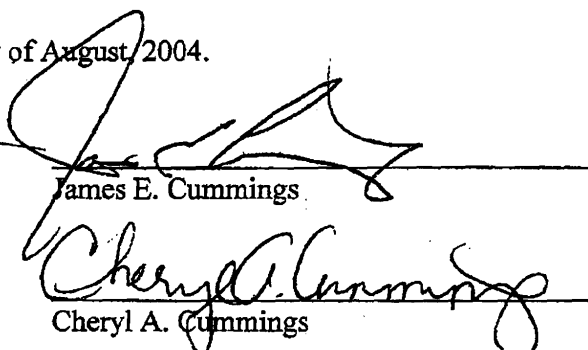
of 726 Forest Avenue, Portland, ME 04103, with WARRANTY COVENANTS, the following described real property in Portland, County of Cumberland and State of Maine:

See Exhibit A attached hereto and made a part hereof

Also hereby conveying all rights, easements, privileges, and appurtenances, belonging to the premises hereinabove described.

WITNESS my/our hands and seals this 31st day of August, 2004.




James E. Cummings

Cheryl A. Cummings
Cheryl A. Cummings

TAX PAID

State of Maine
Cumberland, ss.

August 31, 2004

Personally appeared before me the above named James E. Cummings

EXHIBIT A

A certain lot or parcel of land, together with the buildings and improvements thereon, situated on the easterly side of Forest Street in the City of Portland, County of Cumberland and State of Maine, known as 31-33 Forest Street in said City of Portland, and bounded and described as follows:

Beginning at a point on the easterly sideline of Forest Street in the said City of Portland, which point is located one hundred forty-three and five tenths (143.5) feet southerly along the easterly sideline of said Forest Street from the southerly sideline of Park Avenue formerly called Portland Street; thence easterly at right angles with the easterly sideline of said Forest Street, a distance of Fifty-three and fifty-seven hundredths (53.57) feet to land now or formerly of Mead; thence southerly by said Mead land to a point; thence westerly parallel to the first described bound, a distance of fifty-four (54) feet to the easterly sideline of said Forest Street; thence northerly by the easterly sideline of said Forest Street and at right angles to the last described bound, a distance of forty-nine and thirty-nine one-hundredths (49.39) feet to the point of beginning.

Containing 2,656.19 square feet more or less, and being shown as City of Portland Tax Map 53, Block A, Lot 11.

For title of Grantors reference is hereby made to a deed of Mohammed I Kargar and Shamayel Kargar dated June 15, 2004 recorded in Cumberland County Registry of Deeds in Book 21420. Page 251.

H-MARDIGAN.S

As sent

June 30, 2008

Jim Messer
25 Alice Street
Portland, ME 04103

**Re: Site Plan Review: 31 Forest Street, Park View Terrace (revised)
 2-unit Residential Condominium
 Application # 2008-0072**

Dear Mr. Messer,

I refer to the Site Plan application submitted in late May 2008 for a 2-unit residential condo at the above address. Although this is effectively a revision of an earlier Site Plan application by the same owner for a similar building with the same footprint (#2007-0150), the reduction from 3 units to 2 units means that it no longer requires subdivision review and is being logged as a separate application. It will therefore be reviewed at administrative level and does not require reference to the Planning Board at this time.

The Site Plan for this project is being reviewed as a proposal under the small lot

2.

3. Please submit a Landscape Plan which indicates the treatment of the areas around the building, including surfacing/walls, tree species and tree protection measures.
4. The proposed curb cut is over 30 feet in width and substantially exceeds the City's maximum of 20 feet for a 2-unit residential development (minimum width is 12 feet). The maximum width would only be allowed where the need for the width is demonstrated through the submission of information such as plans showing vehicle paths into and out of the garage and local factors (such as parked cars on Forest Street).
5. Please complete the Fire Department checklist (copy attached), particularly in respect of hydrant locations and fire flows.

Please note that the Building Permit application for this project is subject to a separate review by the City's Inspection Division and any Building Permit (if approved by the Inspection Division) would not be issued for this project until the Planning Division Site Plan approval process is complete.

Please contact me if you have any questions; I can be reached on (207) 874 8728 or at jf@portlandmaine.gov.

Sincerely,

[signed]

Jean Fraser
Planner

cc. (electronic copy)
Alex Jaegerman, Planning Director

**COMMITMENT & INTEGRITY
DRIVE RESULTS**

41 Hutchins Drive
Portland, Maine 04102
www.woodardcurran.com

T 800.426.4262
T 207.774.2112
F 207.774.6635



MEMORANDUM

TO: Jean Fraser
FROM: Dan Goyette, PE
DATE: June 19, 2008
RE: 31 Forest Street

Woodard & Curran has reviewed the proposed building at 31 Forest Street. The proposed project involves the construction of a 4 story building, as well as site improvements.

Documents Reviewed

- Residential Development Plan and Construction Details prepared by S.J.R. Engineering, dated February 2007.

Comments

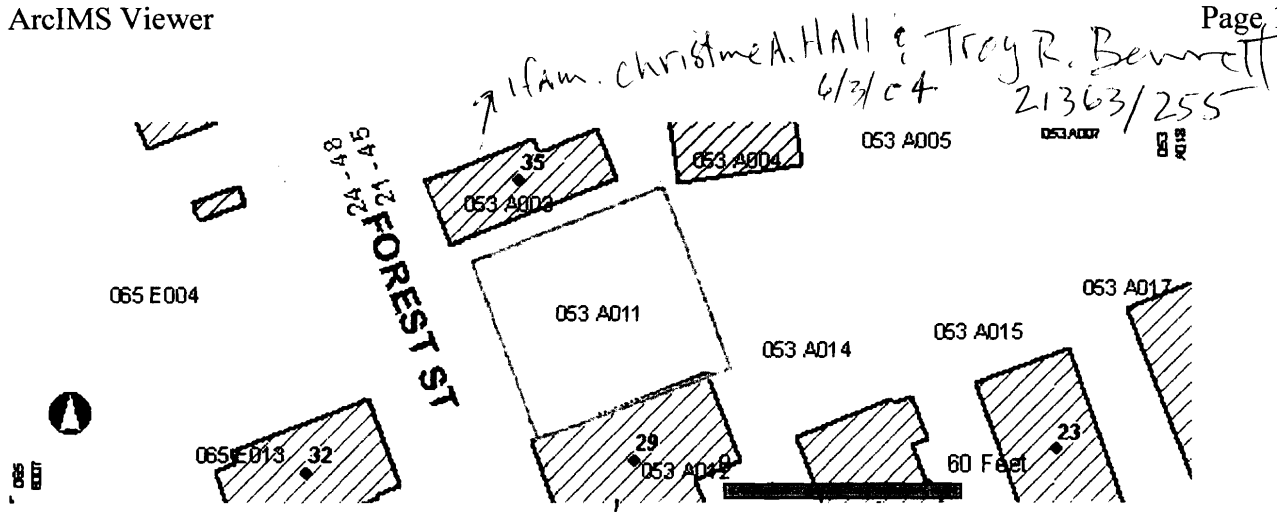
- Both the storm drain connection and the new sewer service connection to the existing sewer system should be made into the main and not into the existing sewer manhole.
- The storm drain / sewer trench detail should indicate 12" of stone cover on the pipes not 6" as shown.
- The pipe leaving CB2 connecting to the existing sewer main will need to be either reinforced concrete or



PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

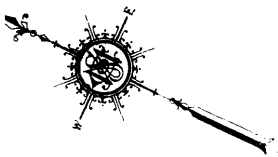
1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures



1 fam. Christina A. Hall & Troy R. Bennett
 6/3/04 21363/255

2 fam. David M. Triggiani
 4/2/02 - 17492/030

9/2/04	Land & Bldg	21740/285
6/16/04	" "	21420/251
10/15/2001	" "	16845/115

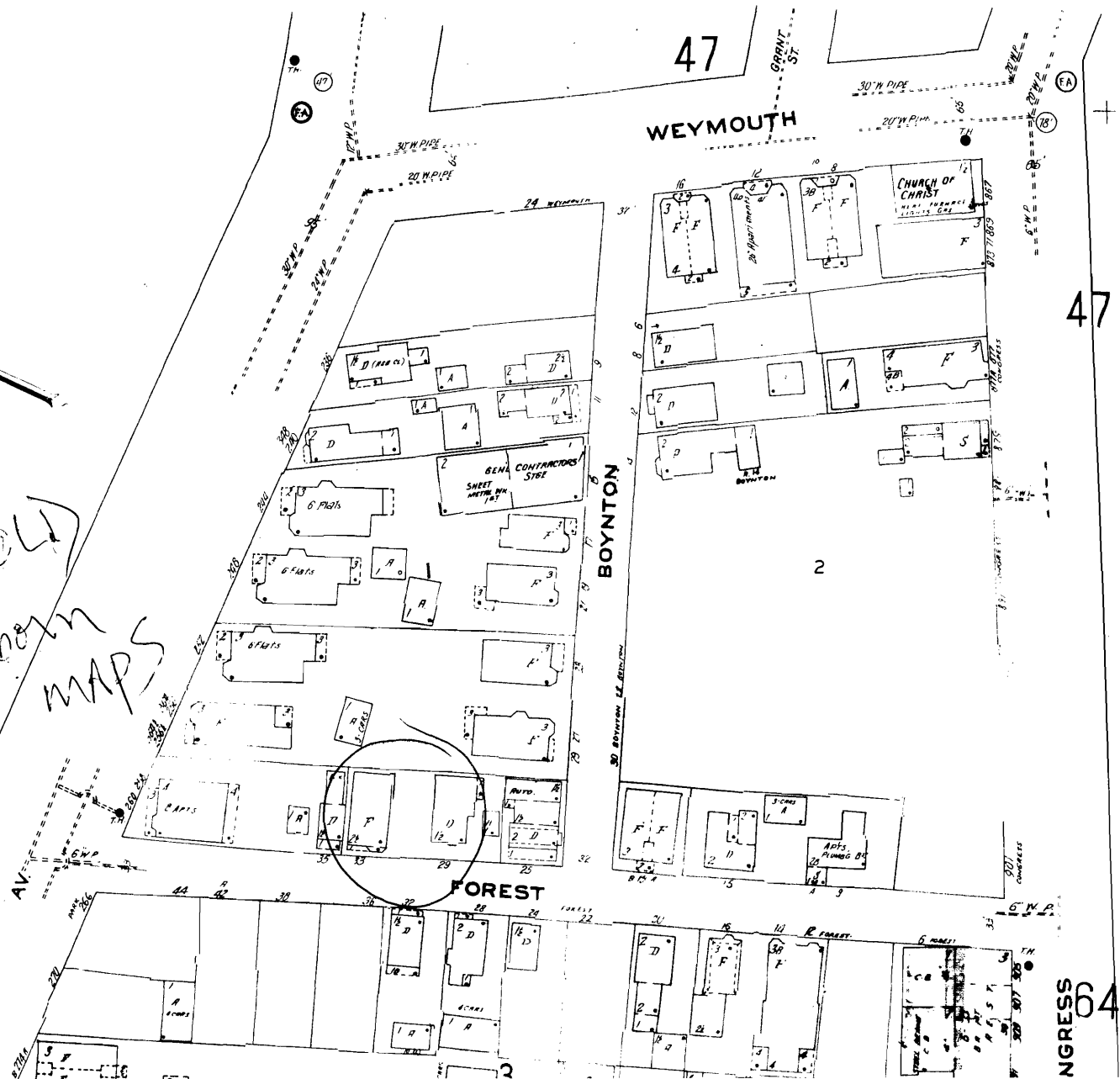


82

Sanborn
MAPS

ATHLETIC

PARK



WEYMOUTH

BOYNTON

FOREST

CHURCH OF CHRIST

GENL CONTRACTORS SHED

SHEET METAL BLDG

20 Apartments

2

INGRESS 64

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2007-0150

Date: 10/25/2007

A research of Inspection microfiche, old Sanborn Maps, and old Assessor's records shows that this lot has been separate from the adjoining lots and has not had a structure on the lot since at least 3/81. This lot is meeting the requirements of R-6 Small Residential Lot threshold relating to being a separately described lot, being vacant and/or used for parking prior to January 1, 2005. This project can use the small lot development allowances for review.

Marge Schmuckal
Zoning Administrator



To: Dan Goyette; Jeff Tarling; Mike Farmer; Jim Carmody; Marge Schmuckal; Greg Cass; Bill Needelman*; Rick Knowland*
cc. Barbara Barhydt

From: Jean Fraser

Date: July 9, 2008

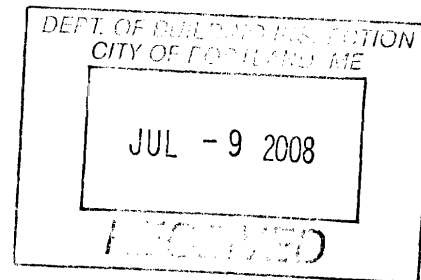
Additional information submitted for the following project:

Application ID #: 2008-0072

Project Name: Parkview Terrace (4 story Duplex)

Project Address: 31 Forest Street

Comments needed by: Preliminary Review at next Dev Review Meeting (July 16)



1. The applicant has submitted updated and consistent site plan, elevations and floor plans so that zoning, design and landscape review can be completed;
2. The applicant has revised plans to remove the side entrance, narrow the access apron/drive and revise engineering details- needs review of sewers, sidewalks, curbs, parking and access to

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0072

Date: 10/3/2008

I received a revised e-mail showing revised setbacks on the sides. These setbacks meet the R-6 in-fill requirements.

This proposal now meets all the R-6 in-fill zoning requirements including height, setbacks and parking. The application is approved with condition(s) that a surveyor must confirm the setbacks at time of construction to ensure compliance.

Marge Schmuckal
Zoning Administrator



Jean Fraser
Planner
City of Portland Maine
RE: Site Plan Review 31 Forest street, Application # 2008-0072

September 30, 2008

Dear Jean,

This letter summarizes my response to the review comments issued by you on behalf of the City of Portland regarding the project referenced above. These comments were issued in a letter from you dated July 21st, 2008 and re-iterated in a letter from you dated September 8th, 2008. This letter also includes my response to the comments issued by Woodard and Curran on June 19th and September 11th of this year, as a result of the engineering review they executed on behalf of the City of Portland.

The notes below are a paraphrased portion of the original City of Portland comments provided for reference.

1. **Comment:** The introduction of a pitched roof may result in different calculations for setbacks as these are related to height.

height
→ **Response:** I have provided a new sheet entitled “Height/Side Setback Calculations” which depicts the critical elevation markers and a narrative which shows that the setbacks and building height work in accordance with the stipulations of the R6 Infill Ordinance.

4. Comment: Address the attached engineering review comments.
 - a. The storm drain connection has been made into the main and not the existing sewer manhole per review comments.
 - b. The storm drain/sewer detail now shows 12" of stone cover on the pipes per review comments.
 - c. The pipe leaving CB2 connecting to the existing sewer is reinforced concrete per review comments.
 - d. The sump on all catch basins is 3-feet and the Casco traps are shown on the site plan per review comments.
 - e. A new field inlet has been added at the Southeast corner of the building per review comments.
 - f. The sewer service is 6" dia. per review comments.

5. Comment: Provide code summary w/details of all proposed life safety features to the Fire Department

Response: Some fire safety comments have been included in this package but are being addressed in a separate package to the Fire Department.

I have added dimensions to the site plan for the side setbacks and concrete apron in front of the garage door as well as the location of the nearest fire hydrant to the property.

Please let me know if you require any additional information.

Sincerely



MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0072

Date: 10/2/2008

I reviewed the latest submittal received 10/1/08 for this project. It was a much better submittal and explanation of heights, but the setback from #29 Forest Street was just off. I called John Ossie and let him know. He will be e-mailing Jean F. with the revision who will pass it on to me. All other requirements appear to be met.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0072

Date: 7/16/2008

This is a reworking of a previous proposal. The proposal has been reduced from 3 du to 2 du. The design of the building has been revised from a flat roof to a pitched roof. There is no longer an entry along the left side of the building.

This is an R-6 in-fill lot which meets the definition of an R-6 in-fill lot.

I have concerns with first with the parking as shown within the building. Two regular 9'x19' (required technical standards) cars can not be parked at the same time as shown and scaled. There may also be an issue with the internal stair head room in the garage imposing upon cars parking in the given area. More information is required to clarify these two required parking spaces.

There is also a change in the roof from originally a flat roof to a pitch roof. The height of structures is determined differently by definition for a flat roof compared to a pitched roof. The revised plans with a pitched roof is being shown incorrectly for measurement of height. On a pitch roof the top measurement is at the half way point between the highest point (ridge) and where the roof meets the outside wall. My quick measurement shows the height of the building to be 39' and not 37' as the applicant contends. Therefore the calculations for the setback between buildings which uses heights, is not correct. I am questioning whether the required setbacks between buildings is being met. The applicant must submit further information to show me that the requirements are being met.

At this time, the other R-6 in-fill requirements appear to be met.

Marge Schmuckal
Zoning Administrator

From: Marge Schmuckal
To: Jean Fraser
Date: 7/16/2008 1:24:16 PM
Subject: 31 Forest St

Jean,

I have put comments in the system. I have found the building permit with the revised plans (thanks for reminding me). I do have some concerns as reflected in my submitted comments.

Marge

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2007-0150

Date: 10/25/2007

A research of Inspection microfiche, old Sanborn Maps, and old Assessor's records shows that this lot has been separate from the adjoining lots and has not had a structure on the lot since at least 3/81. This lot is meeting the requirements of R-6 Small Residential Lot threshold relating to being a separately described lot, being vacant and/or used for parking prior to January 1, 2005. This project can use the small lot development allowances for review.

Marge Schmuckal
Zoning Administrator

City Received
10/30/15

PROJECT DESCRIPTION

Stephen E. Mardigan is proposing to construct a 971 square foot footprint, 4 story, structure comprised of 3-two bedroom condominiums with parking, mechanical and solid waste storage on the ground floor. Each unit will have one inside parking space in the ground floor area. The first, second and third floor units will be approximately 851 square feet.

The building design and placement respects the Small Residential Lot Development guidelines in relation to the surrounding buildings. The front setback of 7.63 feet was calculated by utilizing the existing buildings to the North and South of the site. Their relation to Forest Street was calculated to be 7.9 feet for #29 Forest and 7.4 feet for #35, thus giving us the average of 7.63 feet for the project setback. The side setbacks were calculated from the existing buildings utilizing the City of Portland formula of adding the height of the existing buildings and the height of the proposed building then dividing the result by the number 5. The resulting setbacks are shown on the enclosed plans and are as follows:

→ #29 Forest – 24.34 feet from the median grade of the site + 37 feet for the proposed building divided by 5 = 12.27 feet.

#35 Forest – 14 feet + 37 divided by 5 = 10.2 feet.

The rear setback was fixed at 15 feet per the City ordinance requiring one side of the project remaining open and clear.

Access to the site will be from Forest Street, a one-way, paved, accepted public city street. Automobiles will enter directly into their own space inside the building via a dedicated garage door for each unit. A separate entrance to the building is proposed for the northerly side of building, the center of which is located 8 feet-11 inches from the rear corner of the building. A paved 3 foot wide path will lead to the entrance from the small paved drive at the front of the project.

from The Submittal

BACK BAY BOUNDARY, INC.

PROJECT DESCRIPTION

Stephen E. Mardigan is proposing to construct a 971 square foot footprint, 4 story, structure comprised of 3-two bedroom condominiums with parking, mechanical and solid waste storage on the ground floor. Each unit will have one inside parking space in the ground floor area. The first, second and third floor units will be approximately 851 square feet.

The building design and placement respects the Small Residential Lot Development guidelines in relation to the surrounding buildings. The front setback of 7.63 feet was calculated by utilizing the existing buildings to the North and South of the site. Their relation to Forest Street was calculated to be 7.9 feet for #29 Forest and 7.4 feet for #35, thus giving us the average of 7.63 feet for the project setback. The side setbacks were calculated from the existing buildings utilizing the City of Portland formula of adding the height of the existing buildings and the height of the proposed building then dividing the result by the number 5. The resulting setbacks are shown on the enclosed plans and are as follows:

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#35 Forest – 14 feet + 37 divided by 5 = 10.2 feet.

The rear setback was fixed at 15 feet per the City ordinance requiring one side of the project remaining open and clear.

Access to the site will be from Forest Street, a one-way, paved, accepted public city street. Automobiles will enter directly into their own space inside the building via a dedicated garage door for each unit. A separate entrance to the building is proposed for the northerly side of building, the center of which is located 8 feet-11 inches from the rear corner of the building. A paved 3 foot wide path will lead

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0072

Date: 8/29/2008

John Ossie & I met today. He showed me where he was getting his information (concerning heights of adjoining buildings and siting of the proposed building) which was from 2004 and I showed him where I got my information which was significantly different from his information (submitted more recently). John will confirm several things for me before we can move on a) The actual heights of the buildings on either side of the proposed project. b) The post grade(s) around the proposed building c) The location of the proposed building in order to meet the correct setbacks.

Marge Schmuckal
Zoning Administrator

Applicant: Parkview Condos
Address: 31 Forest St

Date: 10/3/08
C-B-L: 53-A-11

CHECK-LIST AGAINST ZONING ORDINANCE

Date - #08-0578

Zone Location - R-6 - using R-6 Small lot in-fill

Interior or corner lot -

Proposed Use/Work - to build a 4-story - 2 DU Condo

Sevage Disposal - City

Lot Street Frontage - None listed

MAX Front Yard - NO more than 10' - 8' scaled

one must be 15' Rear Yard - None req (w/ Res. Development behind) - 15' ^{required} scaled to Prop. Line

Side Yard - #29 Forest St = $24.34' + 37.57' = 61.91' \div 5 = 12.38'$ setback between bldgs
#35 Forest St = $14' + 37.57' = 51.57' \div 5 = 10.31'$ setback between bldgs - show 12.40'
10.37' shown

Projections - (mset Decks)

Width of Lot - None required

Height - 45' MAX - Pitch roof 10/2/08 plans show a height of 37.57' based on 31' AVERAGE grade

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

*Newest
Submission*

2008-0072
Application I. D. Number

Zoning Copy

6/4/08

Mardigan Stephen

Applicant

460 Baxter Blvd , Portland , ME 04103

Applicant's Mailing Address

6/4/2008

Application Date

31 Forest Street

Project Name/Description

Consultant/Agent

Agent Ph: Agent Fax:

Applicant or Agent Daytime Telephone, Fax

31 - 31 Forest St, Portland, Maine

Address of Proposed Site

053 A011001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) 0 2 units

Proposed Building square Feet or # of Units

Acreage of Site

Proposed Total Disturbed Area of the Site

R6

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____

Condition Compliance _____ signature _____ date _____

*building permit # 08-0578
on Hold
10/3/08 passed on to Codes*

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

John Ossi...

10/1/08



To: Dan Goyette; Jeff Tarling; Public Services; Jim Carmody; Tom Errico; Marge Schmuckal; Greg Cass
cc. ~~Barbara Danhydt~~

From: Jean Fraser

Date: October 1, 2008

Additional information submitted for the following project:

Application ID #: 2008-0072

Project Name: Parkview Terrace (4 story Duplex)

Project Address: 31 Forest Street

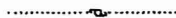









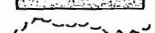



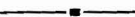


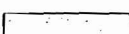

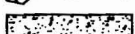
Comments needed by: If we can clear at today's Dev Rev that would be helpful; otherwise please confirm your sign-off/comments to me by e-mail asap.

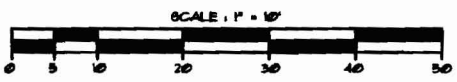
Please see revisions and information which address my July letter (setbacks; design issues) and Dan's one comment re the sewer pipe size- appears to be nearly there...

- UTILITY COMPANY AND CITY STAFF REVIEW.
2. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY SHALL BE PERFORMED BY THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANIES (AND CITY) STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
 3. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION BY UTILITY COMPANY PERSONNEL PRIOR TO BACKFILL OF TRENCHES.
 4. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER OTHERWISE APPROVED ACCURATE METHOD.
 5. SANITARY LINES SHALL MAINTAIN A TEN FOOT (10') MINIMUM HORIZONTAL AND EIGHTEEN INCH (18") VERTICAL SEPARATION DISTANCE FROM WATER LINES.
 6. RELOCATION OF UTILITY COMPANY FACILITIES (SUCH AS POLES) SHALL BE RELOCATED WITH THE AGREEMENT OF OWNER (OR CITY) AND UTILITY COMPANY.
 7. ALL WATER LINES TO HAVE MIN. OF EARTH COVER OVER PIPE WHERE POSSIBLE. THE WATER LINES ARE TO BE CONSTRUCTED, BACKFILLED AND COMPACTED TO PORTLAND WATER DISTRICT STANDARDS.

*as approved by M. Hu
10-18-08
Stamped sets to
follow Phil's s/o
to PG.*

LEGEND

	EX. UTILITY POLE		NEW ASPHALT PAVING
	EX. GAS MAIN		NEW WATER SERVICE
	EX. WATER MAIN		NEW SEWER SERVICE
	EX. SEWER / DRAIN		NEW STORM DRAIN
	EX. PAVEMENT		NEW FOUNDATION UNDERDRAIN
	EX. TREE LINE		NEW ROOF DRAIN
	EX. TREE		NEW UNDERGROUND ELECTRIC SERVICE
NF	NOW OR FORMERLY		NEW SILT FENCE
	PROPERTY LINE		NEW LANDSCAPE TREE
	EX. CONCRETE SIDEWALK		NEW LANDSCAPE TREE
			NEW CONCRETE SIDEWALK



REV. 2 8/13/08 REV. PER COMMENT WAC REVIEW
 REV. 1 6/26/08 REV. DRIVE, WALKS, NAMES PER CLIENT REQUEST



S.J.R. ENGINEERING

21 MAYFLOWER ROAD
 AUGUSTA, MAINE
 TEL: (207) 622-1676

RESIDENTIAL DEVELOPMENT PLAN
 31 FOREST ST. CONDO'S

BACK BAY BOUNDARY, INC.

643 FOREST AVENUE - PORTLAND, MAINE
 CUMBERLAND COUNTY

SCALE: AS SHOWN DRAWN BY: BOMAC PROJECT: BBB-RSP2
 DATE: FEB. 2007 CHECKED BY: SJR DRAWING # 2

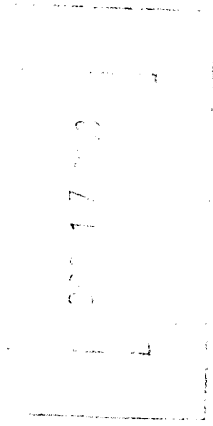


31 FOREST STREET
CITY OF PORTLAND REVIEW
REVISIONS AND ADDITIONS

BY	NO	REMARKS	DATE
	A	ISSUED FOR CITY REVIEW	08-26-08
	B	ISSUED FOR CITY REVIEW	09-24-08
JJO			

CODE: IRC 2003
 TOWN: PORTLAND
 DATE: 08-26-08
 SCALE: AS NOTED
 DRAWN: JJO
 TITLE:
 REVISED TYP.
 SIDE ELEVATION
 FILE:
 SHEET:

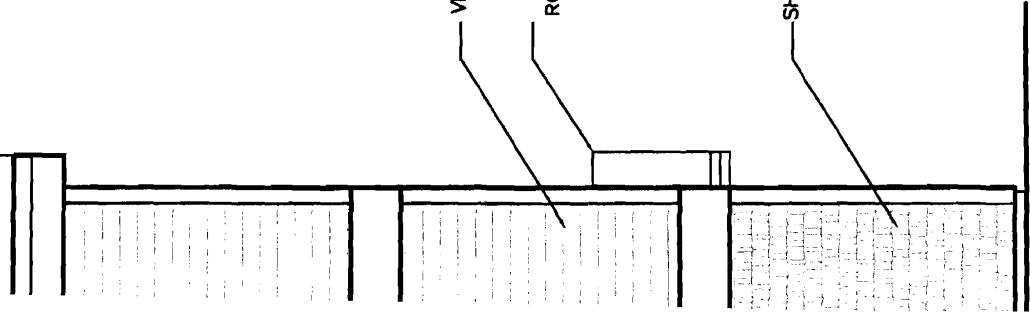
*Approved
 10-15-08
 JJO*



VINYL SIDING

ENTRANCE
 ROOF OVER-
 HANG

SHAKE SHINGLE
 SIDING



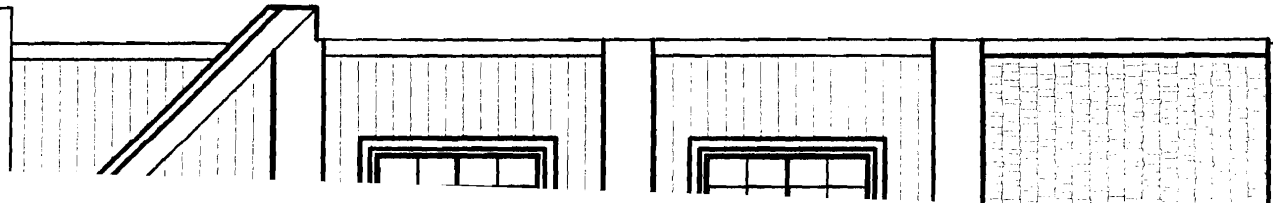
31 FOREST STREET
CITY OF PORTLAND REVIEW
REVISIONS AND ADDITIONS

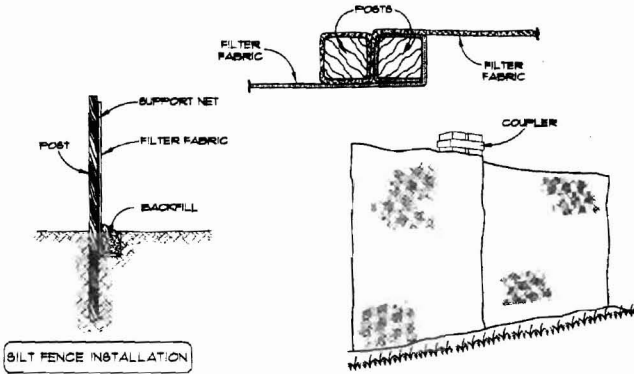
NO	REMARKS	DATE	BY
1	ISSUED FOR CITY REVIEW	08-26-08	JJO
2	ISSUED FOR CITY REVIEW	09-24-08	JJO

CODE: IRC 2003
 TOWN: PORTLAND
 DATE: 08-26-08
 SCALE: AS NOTED
 DRAWN: JJO
 TITLE:
 REAR ELEVATION
 NO CHANGE
 FILE:
 SHEET:

*Approved
 10-5-08
 JJO*

00-17





SILT FENCE INSTALLATION

TYPICAL SILT FENCE

(NOT TO SCALE)

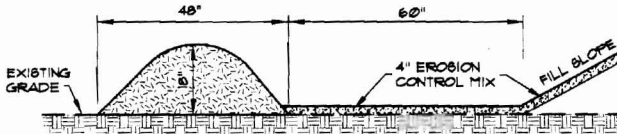
NOTE: USE ENVIROFENCE BY MIRAFI, INC. OR EQUIVALENT

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS. COMPARABLE COMPOSTED MIXES CAN BE USED UPON WRITTEN APPROVAL OF THE ENGINEER.

THE MIX SHALL CONFORM TO THE FOLLOWING: pH BETWEEN 5.0-8.0; PARTICLE SIZE - 100% PASSING THROUGH A #8 SCREEN AND 80% RETAINED ON A #4 SCREEN. SOLUBLE SALTS CONTENT SHALL BE LESS THAN 4.0 mg/mg/oz.

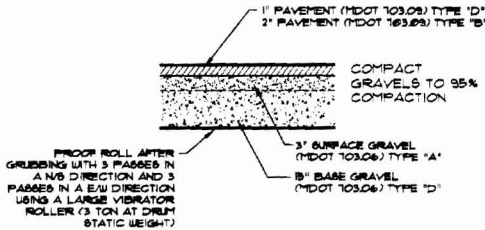
THE COMPOSTED BERM SHALL BE PLACED UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

THE BERM MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE BERM BY LARGER SEDIMENT PARTICLES (SILT FENCE PLACED ON THE UPHILL SIDE OF BERM).



EROSION CONTROL MIX

NOT TO SCALE



PAVED DRIVEWAY CROSS SECTION

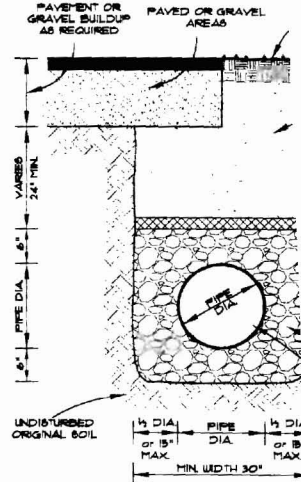
NOT TO SCALE

NOTE: WRAP DECIDUOUS TREES (1" CAL.) WITH BURLAP OR ASPHALTIC KRINKLE KRAFT TREE WRAP.

EVERGREEN - GROUND LINE TO BE AS EXISTED AT NURSERY

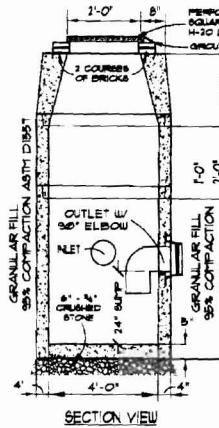


DECIDUOUS - PRUNE BACK 2B" ON-SITE SPRAY WANTIDECIDUOUS IF FOLIAGE PRESENT.



STORM DRAIN / SEWER TRENCH

NOT TO SCALE



PRECAST CATCH BASIN



DRAWING LIST:

TINGUISHER FLOOR ELEVATION QT
 IG RAD
 ITION R
 RD
 SIM
 IZED STL
 STOR STEEL
 I WALLBOARD STRUC
 SUSP STRUCTURAL
 SYST SUSPENDED
 STD SYSTEM
 SHT STANDARD
 SIM SHEET
 SIMILAR
 (ION)(ING)(ED) T
 (ION)(ING)(ED) TEL
 TEMP
 TO TEMPERED
 TOY TOM
 TOS TOP OF MASONRY
 TYP TOP OF STEEL
 TYPICAL
 UNO UNLESS NOTED OTHERWISE
 UL UNDERWRITERS LABORATORY
 VTR VENT THROUGH ROOF
 W/ WITH
 WC WHEELCHAIR

A-1 FOUNDATION, GARAGE AND FIRST FLOOR PLANS
 A-2 SECOND AND THIRD FLOOR PLANS
 A-3 ELEVATIONS
 A-4 ELEVATIONS
 A-5 BUILDING SECTION
 S-1 NOTES
 S-2 FOUNDATION PLAN AND DETAILS
 S-3 FOUNDATION DETAILS
 S-4 FLOOR FRAMING PLANS
 S-5 ROOF FRAMING PLAN
 S-6 FRAMING SECTIONS AND DETAILS

BUILDING CODE COMPLIANCE:

DESIGN CRITERIA - THIS PROJECT HAS BEEN DESIGNED FOR COMPLIANCE WITH THE FOLLOWING CODES:
 INTERNATIONAL BUILDING CODE (IBC) - 2003 EDITION
 NFPA 101 - 2006 EDITION
 ICC/ANSI A117.1 - 1998 EDITION
 UNDERWRITERS LABORATORY FIRE RESISTANCE RATING DESIGNS - 2003 EDITION

@ 31 FOREST ST.
 (STEPHAN E. MARDIGAN)

53A 11
 080578

LS
 MIN. CENTERLINE GRID
 LIMIT LINE
 # NUMBER
 ON KEY
 NUMBER WHERE SHOWN
 NUMBER
 L KEY
 NUMBER WHERE SHOWN
 ION FLAG
 NAME
 L KEY
 NUMBER
 ON TYPE KEY
 L KEY
 HOR. ELEVATION KEY
 TYPE KEY

REVS:
CODE: 2003
TOWN: PORTLAND
DATE: 07 JAN 08
SCALE: AS NOTED
DRAWN: JJO
TITLE: COVER SHEET
FILE: 07-0149
SHEET: