

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

| | | | | | | | | | |
|--|--|---------------------------------------|--|---|--|---|--|--|--|
| Location of Construction: 239 Park Avenue (parking lot) | | Owner: City of Portland Expo Bldg. | | Phone: 874-8200 x 227 | | Permit No. 9 062 2 | | | |
| Owner Address: 389 Congress St. | | Lessee/Buyer's Name: | | Phone: | | Business Name: | | | |
| Contractor Name: | | Address: | | Phone: | | Permit Issued: PERMIT ISSUED JUN 15 1999 CITY OF PORTLAND | | | |
| Past Use: municipal bldg | | Proposed Use: same | | COST OF WORK: \$ | | PERMIT FEE: \$ 35.00 | | | |
| | | | | FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied | | INSPECTION: Use Group: (Type): | | | |
| | | | | Signature: <i>[Signature]</i> | | Signature: <i>[Signature]</i> | | | |
| Proposed Project Description: erect a 40 x 80 tent for Idexx event on 6/15/99 | | | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | | | Zone: CBL 052-C-005 | |
| | | | | Action: Approved <input type="checkbox"/> | | Zoning Approval: | | | |
| | | | | Approved with Conditions: <input type="checkbox"/> | | Special Zone or Reviews: | | | |
| | | | | Denied <input type="checkbox"/> | | <input type="checkbox"/> Shoreland | | | |
| Permit Taken By: <i>[Signature]</i> | | | | Date Applied For: 6/11/99 | | | | <input type="checkbox"/> Wetland | |
| | | | | Signature: _____ | | Date: _____ | | <input type="checkbox"/> Flood Zone | |
| | | | | | | | | <input type="checkbox"/> Subdivision | |
| | | | | | | | | <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> | |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: *6/11* _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: _____

CEO DISTRICT



THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: *Portland Expo - 239 Park Ave, Portland ME*

| | | |
|--|-------------------------------------|--------------------------------------|
| Tax Assessor's Chart, Block & Lot Number Chart# <i>052</i> Block# <i>C</i> Lot# <i>005</i> | Owner: <i>City of Portland</i> | Telephone#: <i>874-8200 x 227</i> |
| Owner's Address: <i>Portland Expo</i> | Lessee/Buyer's Name (If Applicable) | Cost Of Work: Fee \$ <i>35.00</i> |
| Proposed Project Description: (Please be as specific as possible) <i>40 x 80 tent for Idexx Event June 18, 1999</i> | | <i>transfer 2nd house</i> |
| Contractor's Name, Address & Telephone <i>Party Plus (Taylor Rental)</i> | | Rec'd By: <i>DM</i> |

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Jean Robinson* Date: *6/11/99*

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

O:\INSP\CORRESP\MNUAGENT\APADSF.D\WPD

*Call Jean When Ready!
874-8200 - 2227*



52-C-005

Joseph E. Gray Jr.
Director

CITY OF PORTLAND

March 6, 2000

Frank LaTorre
Portland Public Assembly
Park Avenue
Portland ME 04101

RE: Hadlock Field

339 Park Ave

Dear Frank:

This letter is to confirm that the Portland Planning Authority has reviewed and approved the site plan and building elevations for the proposal to enclose an area of Hadlock Field (under the stands) into a storage room. The approved plan is dated 2-21-00 (revised) and prepared by Brian Duffy.

Should you have any questions on this letter please call me.

Sincerely,

Joseph E. Gray, Jr.
Director of Planning and Urban Development

- cc: Alexander Jaegerman, Chief Planner
- Richard Knowland, Senior Planner
- P. Samuel Hoffses, Building Inspector
- Marge Schmuckal, Zoning Administrator
- Tony Lombardo, Project Engineer
- Development Review Coordinator
- William Bray, Director of Public Works
- Nancy Knauber, Associate Engineer
- Jeff Tarling, City Arborist
- Charlie Lane, Associate Corporation Counsel
- Lt. Gaylen McDougall, Fire Prevention
- Inspection Department
- Lee Urban, Director of Economic Development
- Don Hall, Appraiser, Assessor's Office
- Susan Doughty, Assessor's Office
- Approval Letter File
- John Walker, Rich Aluminum, 315 Park Street, Portland ME 04102

City of Portland

Public Assembly Facilities Division

Merrill Auditorium at City Hall
Hadlock Field

Portland Exposition Building
Fitzpatrick Stadium

239 Park Avenue Portland, Maine 04102

Phone (207) 874 - 8200

Fax (207) 874 - 8130

To: City of Portland Inspection Department
From: Jean Robinson, City of Portland Event Coordinator
Date: June 10, 1999
Re: Tent Permit Request for June 18, 1999
Idexx Corp. 15th Anniversary Employee Celebration

The letter is intended to confirm that Party Plus from Biddeford, ME has approval from the Public Assembly Facilities Division of the City of Portland to erect one 40' x 80' flame retardant tent in the parking lot between the Portland Expo and the Ice Arena on Friday, June 18. This tent will be used by the Idexx Corporation for their 15th Anniversary Employee Celebration. It has been agreed that the tent will be removed immediately following the event at 12:00am on Saturday, June 19, 1999.

Please direct all questions to PAFD Event Coordinator, Jean Robinson at 874-8200 ext. 227.

Certificate of Flame Resistance



REGISTERED
FABRIC
NUMBER

F121.4

ISSUED BY

TOPTEC, INC.
1905 N.E. MAIN ST.
SIMPSONVILLE, S.C. 29681

Date
manufactured

4/12/93

This is to certify that the materials described on the reverse side hereof have been flame-retardant treated (or are inherently nonflammable).

FOR Taylor Rental Center ADDRESS PO Box 528 Route 111
CITY Biddeford STATE ME

Certification is hereby made that: (Check "a" or "b")



- (a) The articles described on the obverse side of this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of chemical used..... Chem. Reg. No.....

Method of application.....



- (b) The articles described on the obverse side hereof are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

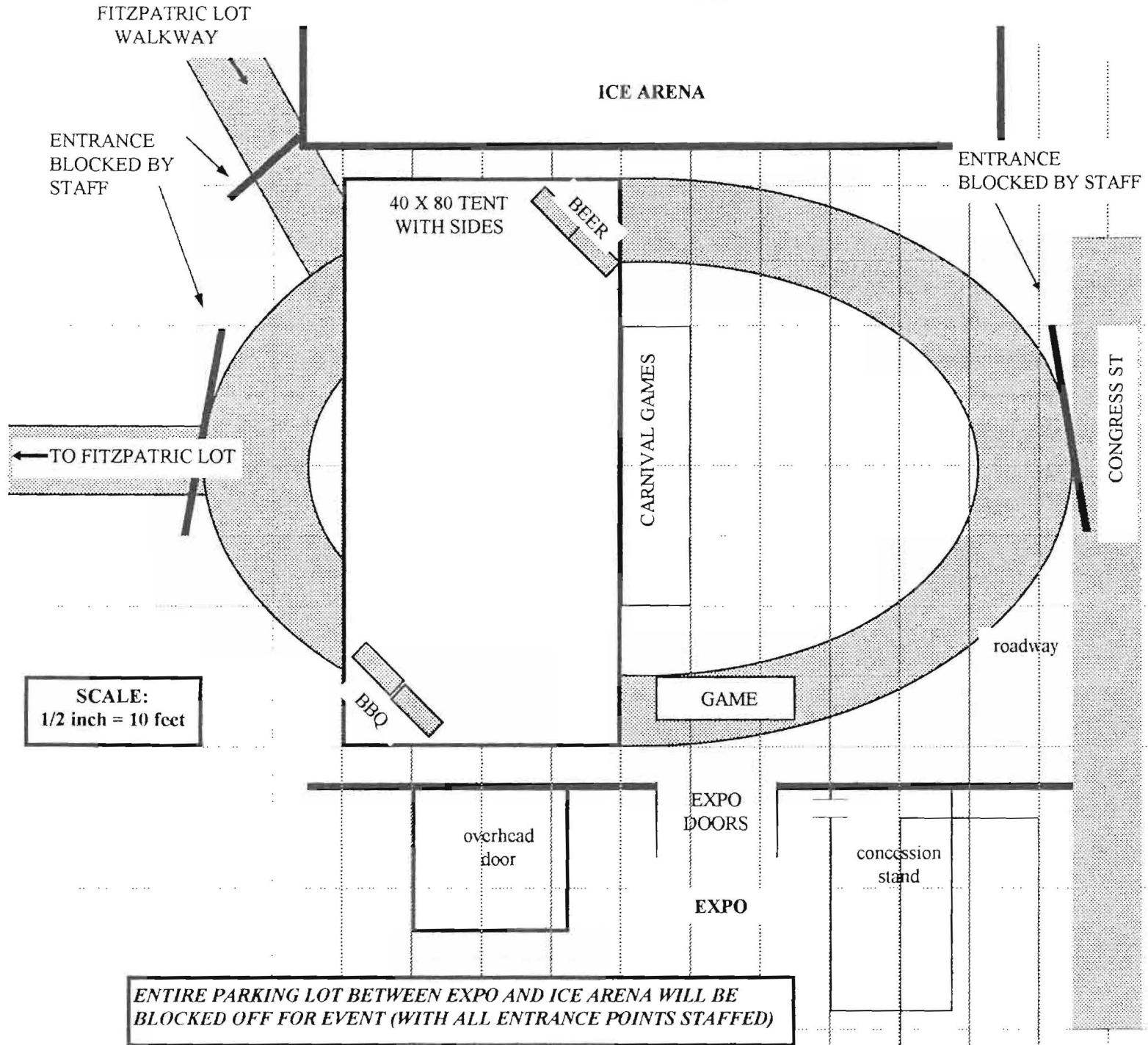
TOPTEC, INC.

Name of Production Superintendent

MODEL TTA73000Y

SERIAL# 930930

IDEXX 15TH ANNIVERSARY
JUNE 18, 99



FITZPATRIC LOT
WALKWAY

ICE ARENA

ENTRANCE
BLOCKED BY
STAFF

ENTRANCE
BLOCKED BY STAFF

40 X 80 TENT
WITH SIDES

BEER

CARNIVAL GAMES

CONGRESS ST

← TO FITZPATRIC LOT

roadway

SCALE:
1/2 inch = 10 feet

BBQ

GAME

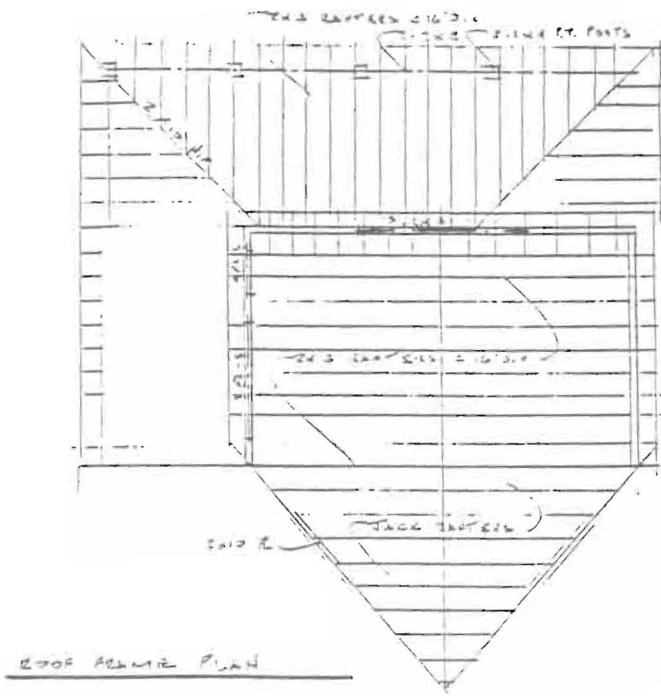
overhead
door

EXPO
DOORS

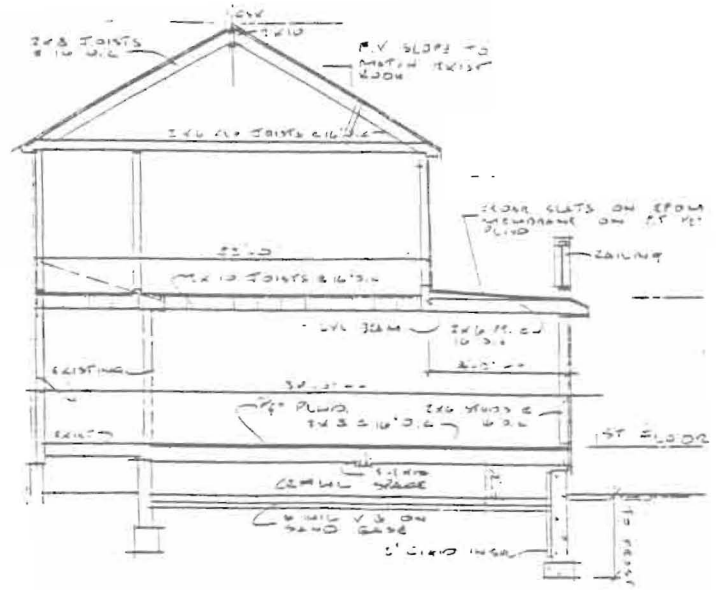
concession
stand

EXPO

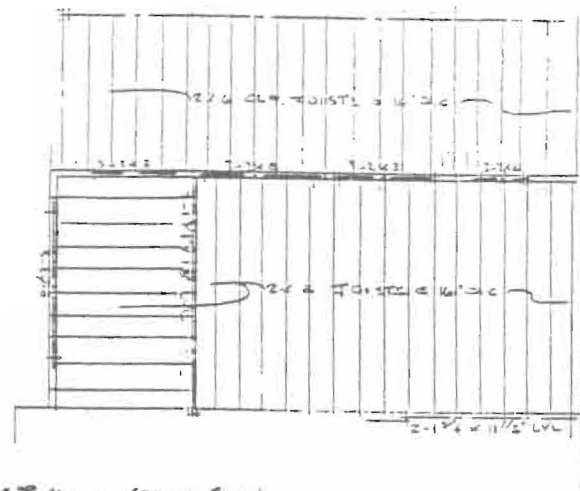
ENTIRE PARKING LOT BETWEEN EXPO AND ICE ARENA WILL BE
BLOCKED OFF FOR EVENT (WITH ALL ENTRANCE POINTS STAFFED)



ROOF FRAME PLAN



'A' SECTION



2ND FLOOR FRAME PLAN

Figure 4. Typical Framing and Cross Section

These plans are all done by professionals, you can do your own plans for the purposes of residential construction, the plan does not have to be of this quality, but the level of detail and accuracy is important. When proposing an addition, similar plans are required, the same goes for a detached garage or an attached deck.

BUILDING PERMIT REPORT

DATE: 12/June/199 ADDRESS: 239 Park Ave. CBL:
REASON FOR PERMIT: Tent (Temp)
BUILDING OWNER: City of Portland
PERMIT APPLICANT: Contractor Owner
USE GROUP U. BOCA 1996 CONSTRUCTION TYPE

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1/

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts.
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

Submission Requirements Residential Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- A plot or site plan, showing the shape and dimensions of the entire lot, all existing and proposed structures on the lot and the distance that the structures are from all lot lines. For a new dwelling the plan must be prepared by a registered design professional. For dwelling additions, the plan can be prepared by the owner or agent. (See Figure 1)

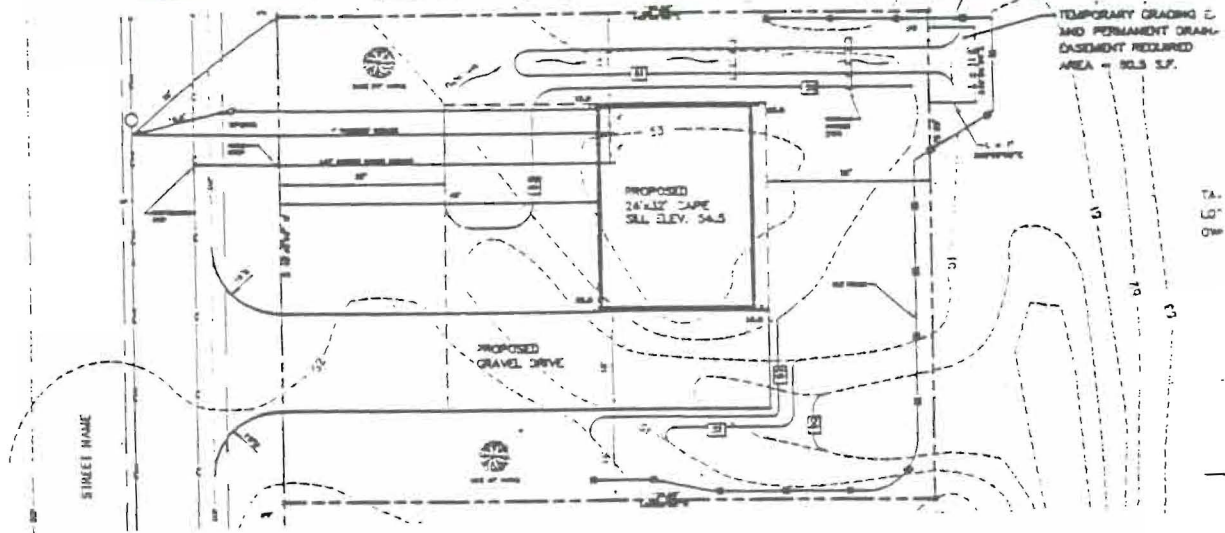


Figure 1. Typical Plot Plan

As can be seen, it is easy to establish the extent of compliance with the required setbacks and lot coverage.

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 2, 3 & 4)

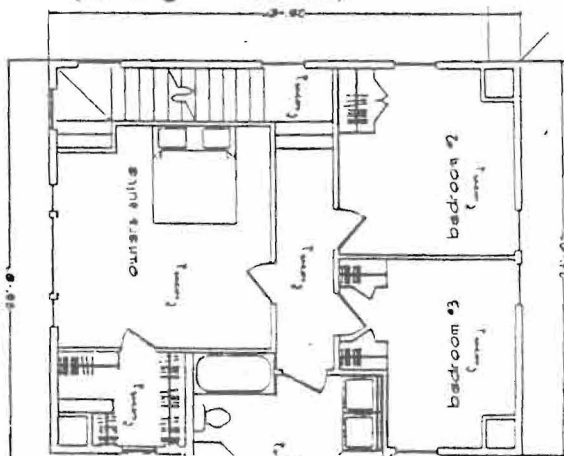


Figure 3. Typical Floor Plan

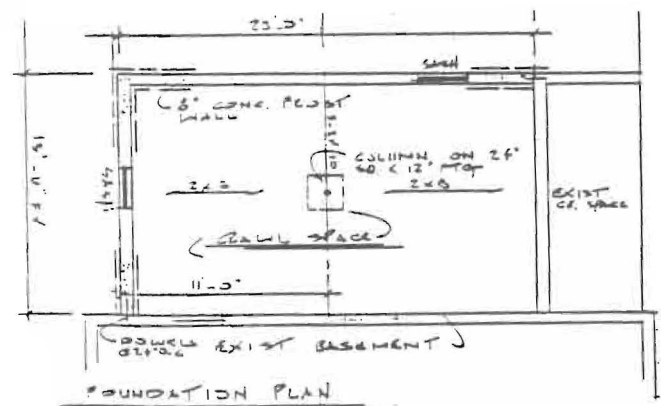



Figure 2. Typical Foundation Plan

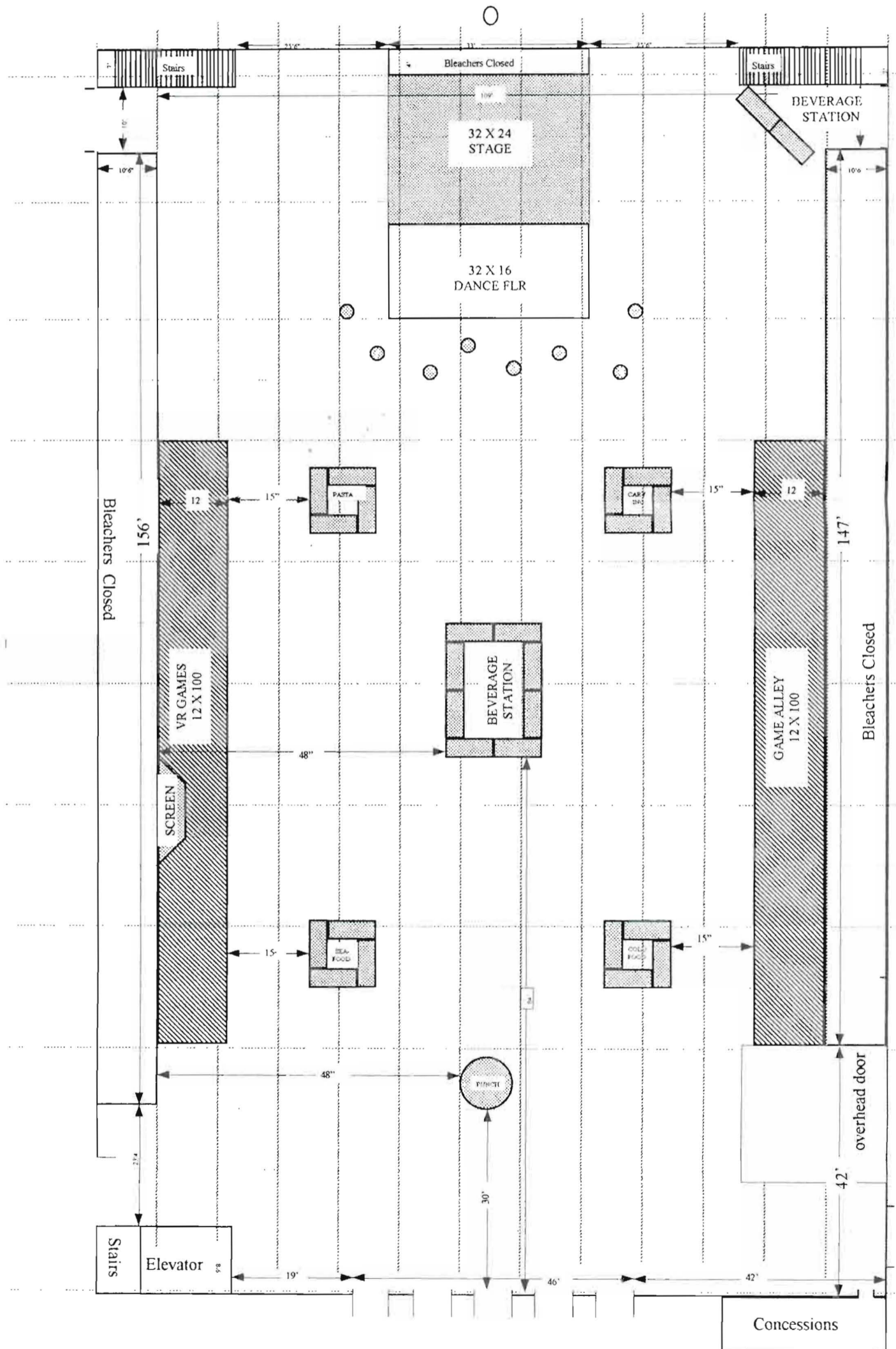
18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. *All Test requirement in section 3104.0 shall be adhered too. (The BOCA National Building Code 1996).*
35. _____
36. _____

 P. Samuel Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSII 12-14-98 *Handwritten initials*

****On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

IDEXX 15TH ANNIVERSARY
JUNE 18, 99



SCALE: 1/2 inch = 10 feet