

52-C-3

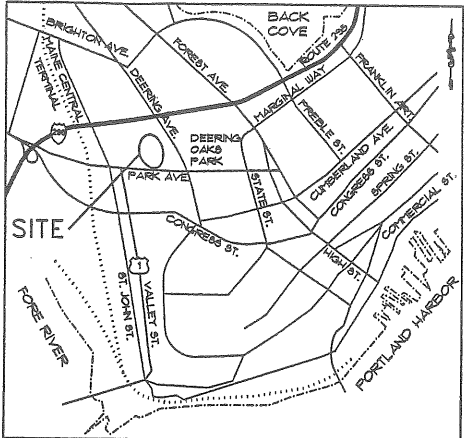
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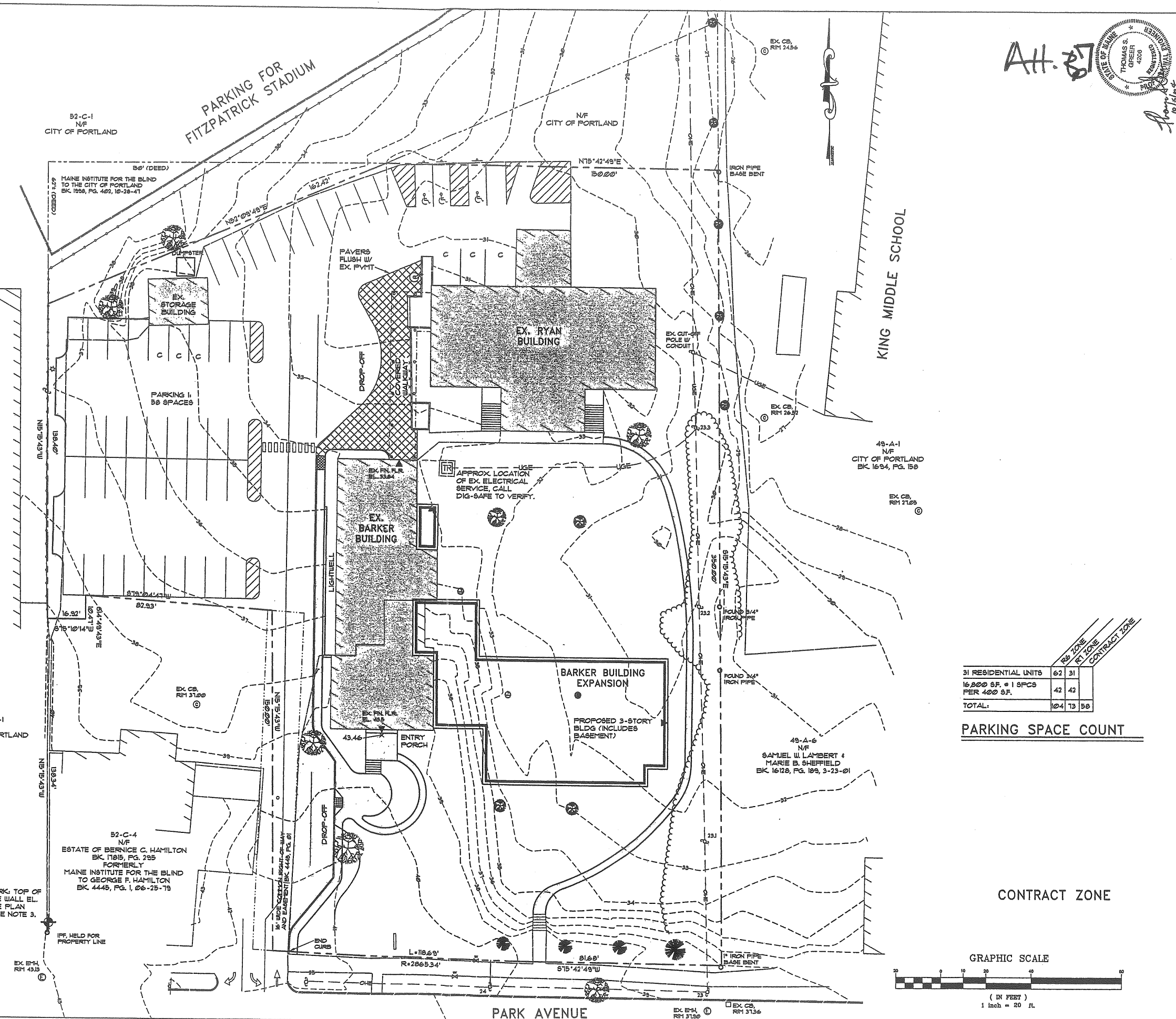
Text Amendment

Maine Ctr. for the Blind +
Iris Network

on Spreadsheet



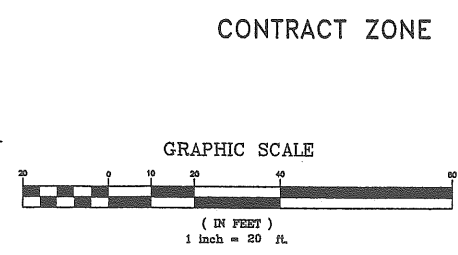
LOCATION PLAN
SCALE: 1"=200'



Att. 87
 THOMAS S. GREER
 4200
 10/16/04

PARKING SPACE COUNT

	RS ZONE	RZ ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,000 SF. = 1 SPCS PER 400 SF.	42	42	
TOTAL:	104	73	58



ARCHITECT: SEMPLE & DRANE ARCHITECTS
 496 CONGRESS STREET
 PORTLAND, MAINE
 04101 781-4231
 asemple1@maine.dr.com

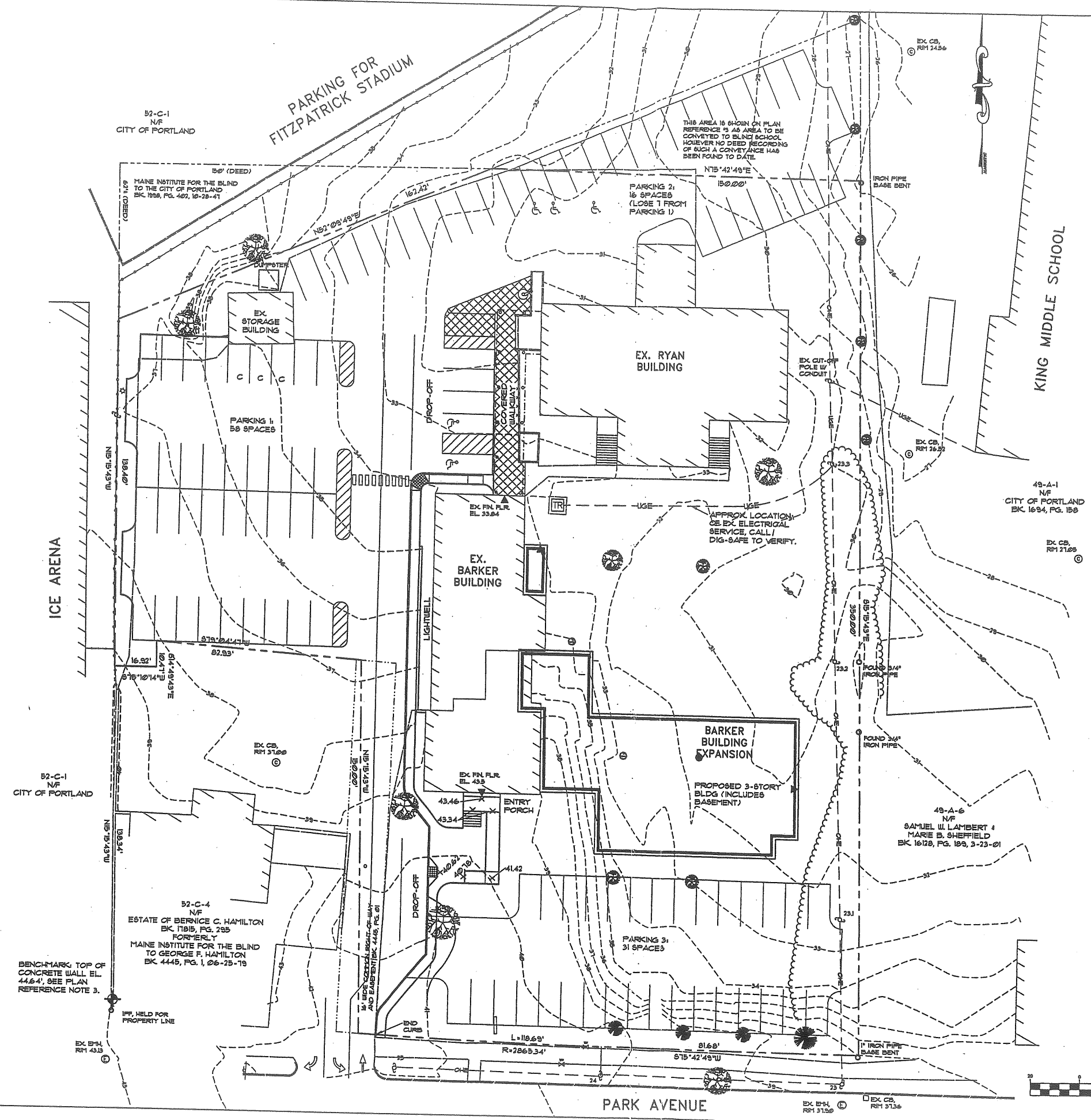
OWNER: IRIS NETWORK
 PORTLAND, ME 04101

PROJECT: IRIS NETWORK
 RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING: CONTRACT ZONE LAYOUT
 SCALE: AS SHOWN
 REVISIONS: 10/15/04, REV'D ABUTER
 DATE: AUGUST 3, 2004

SHEET: 01

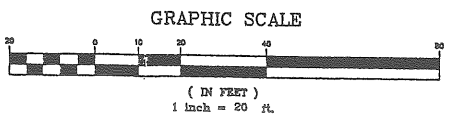
Att. B



	TOTAL
PARKING 1	59
PARKING 2	16
PARKING 3	31
PARKING 2 & 3	47
TOTAL PLUS PARKING 1	105
TOTAL PLUS PARKING 2	121
TOTAL PLUS PARKING 3	137
TOTAL PLUS PARKING 1 & 3	166

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



ARCHITECT: SEMPLE & DRANE ARCHITECTS
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OWNER: IRIS NETWORK
PORTLAND, ME 04101

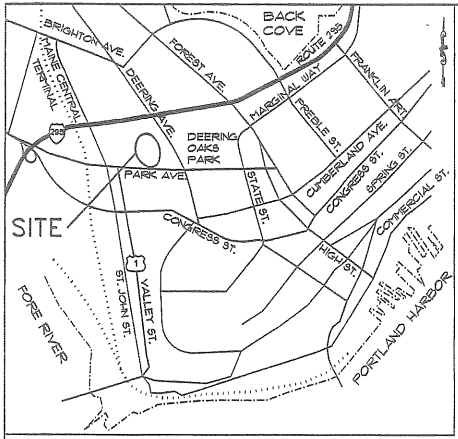
PROJECT: IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: MAXIMUM PARKING LAYOUT
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

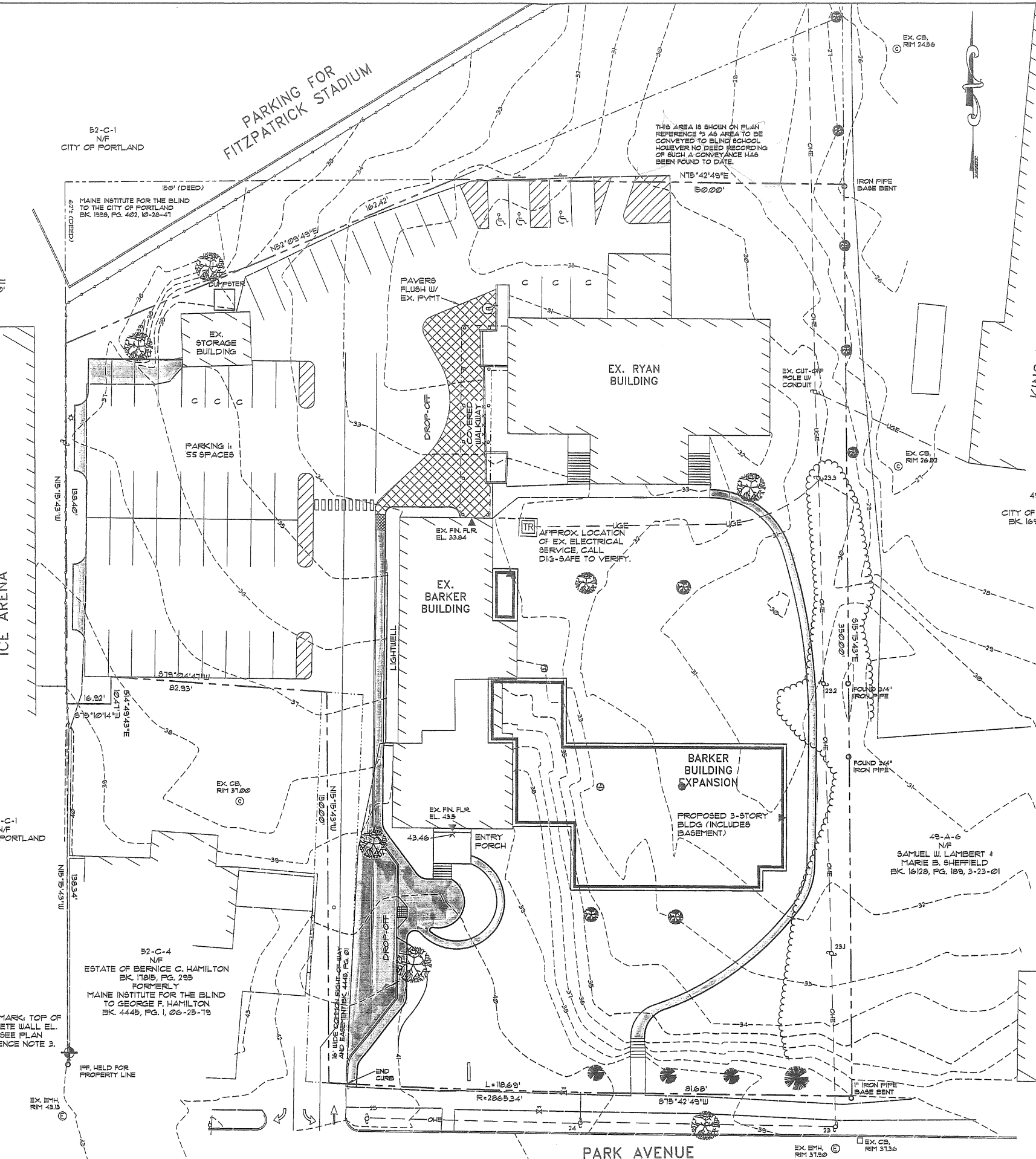
REVISIONS:

SHEET: 02

AH.6

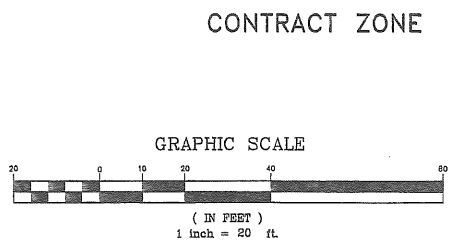


LOCATION PLAN
SCALE: 1"=200'



PARKING SPACE COUNT

	R2 ZONE	R1 ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,000 SF. #1 SPCS PER 400 SF.	42	42	
TOTAL:	104	73	55



ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

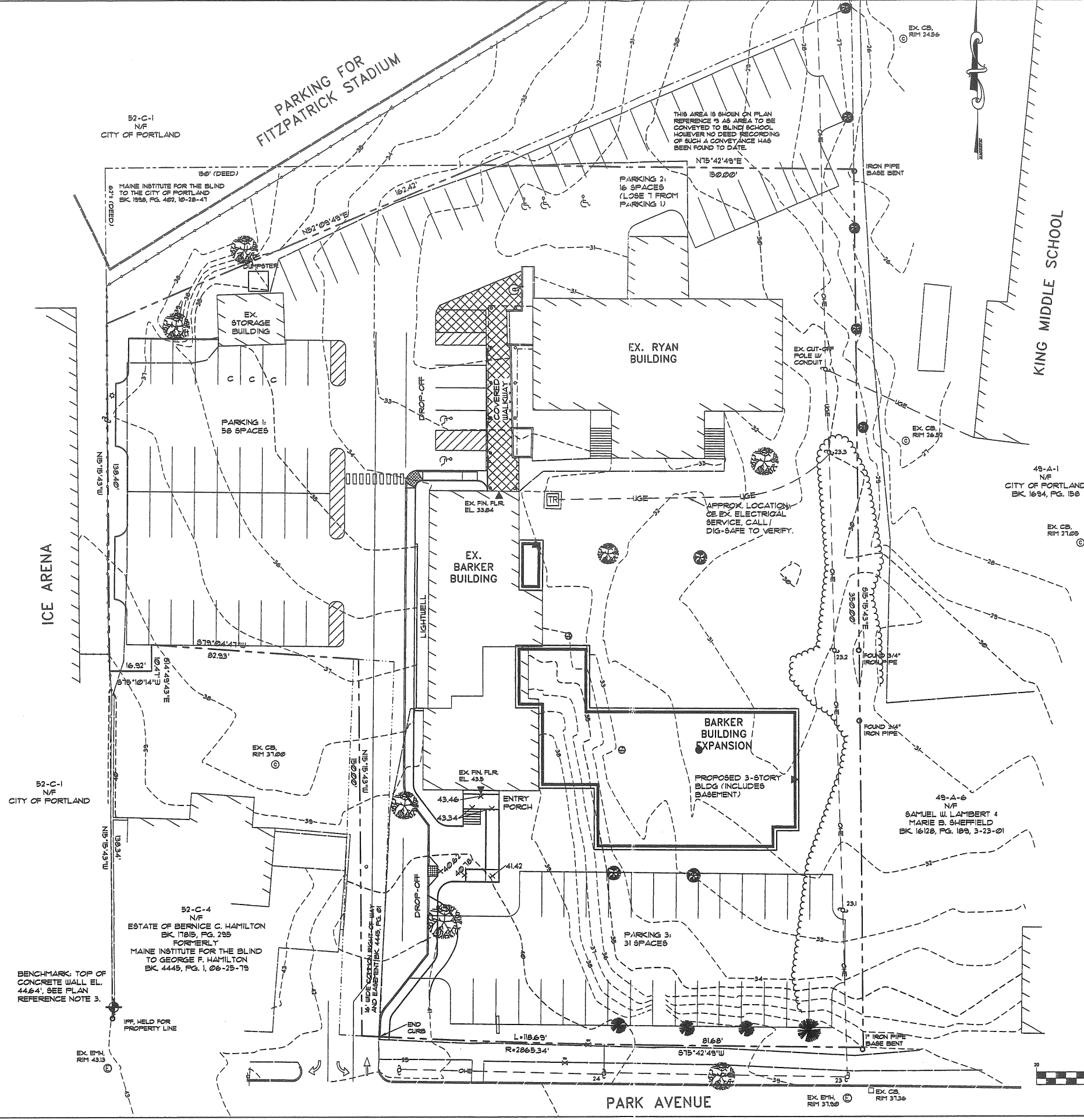
PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **CONTRACT ZONE LAYOUT**
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

REVISIONS:

SHEET: **01**

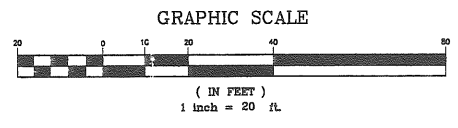
AH.7



	TOTAL
PARKING 1	58
PARKING 2	16
PARKING 3	31
PARKING 2 & 3	47

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



SEAL

ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
496 CONGRESS STREET
PORTLAND, MAINE
PHONE 761-4231

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS NETWORK
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

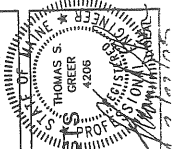
DRAWING: **MAXIMUM PARKING LAYOUT**

SCALE: AS SHOWN

REVISIONS:

DATE: AUGUST 3, 2004

SHEET: **02**



ARCHITECT:
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OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

REVISIONS:
 SCALE: AS SHOWN
 DATE: JAN. 19, 2005

SHEET:
C1

Att. 3

GENERAL NOTES

- OWNER: IRIS NETWORK, 109 PARK AVENUE, PORTLAND, MAINE 04102.
- ARCHITECT: SEMPLE AND DRANE ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY AND BOUNDARY INFORMATION TAKEN FROM "PLAN SHOWING A STANDARD BOUNDARY AND TOPOGRAPHIC SITE SURVEY MADE FOR THE IRIS NETWORK, PARK STREET PORTLAND, MAINE", 08-03-04 BY DANIEL J. DALFONSO, LLC LAND SURVEYOR, OCEAN STREET SOUTH PORTLAND, MAINE. BENCHMARK: SEE SURVEY NOTES #3.
- LANDSCAPE DESIGN BY MITCHELL & ASSOCIATES, PORTLAND MAINE.
- ZONE: EXISTING R-5, TO BE REZONED AS CONTRACT ZONE.
- TAX MAP REFERENCE: MAP 52, BLOCK C, LOT 3.
- TOTAL PARCEL: 84,105 s.f., 1.94 acres.
- EXISTING SERVICES ARE UNCHANGED, PUBLIC GAS, SEWER AND WATER COLLECTION BY A PUBLIC HAULER.
- SOILS ARE TAKEN FROM "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE AND ARE CLASSIFIED AS DEERFIELD (Ddb) AND HINCKLEY (Hib).
- AN EASEMENT EXISTS BETWEEN LOT 52-C-4 AND THE SUBJECT PARCEL FOR COMMON RIGHT-OF-WAY AND EASEMENT, BK. 4445, PG. 01.
- THIS PROJECT IS THE SUBDIVISION OF 1.94 ACRES OF LAND INTO 31 RESIDENTIAL UNITS.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPED RAMPERS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.

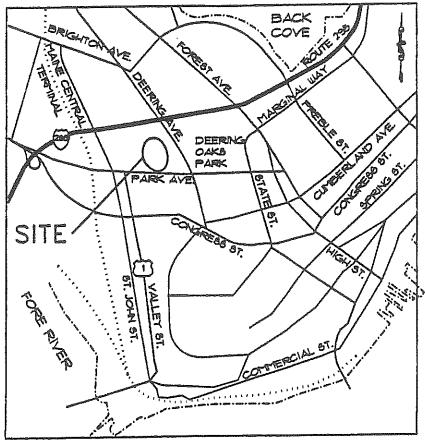
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THESE PLANS. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

ZONING REQUIREMENTS

- ZONE: CONTRACT ZONE**
- THIS REZONING SHALL APPLY ONLY WHILE IRIS OR AN ENTITY CONTROLLED BY OR AFFILIATED WITH IRIS OWNS THE PROPERTY AND THE HOUSING THEREON IS RESERVED FOR USE BY SIGHT IMPAIRED INDIVIDUALS. OTHERWISE THE PROPERTY SHALL REVERT TO THE R-5 OR ANY SUCCESSOR ZONE.
 - THE PROPERTY SHALL OTHERWISE CONFORM TO THE ZONING REQUIREMENTS OF THE R-5 ZONE WITH THE EXCEPTIONS NOTED HEREIN:
 - A. PARKING:** A TOTAL OF 55 PARKING SPACES SHALL BE PROVIDED AND DESIGNATED AS FOLLOWS:
 - 42 SPACES DEDICATED TO THE OFFICE USES ON THE PROPERTY
 - 13 SPACES DEDICATED TO THE RESIDENTIAL USE ON THE PROPERTY
 - UNDERLYING R-5 ZONE SETBACKS & COVERAGE:**
 - MINIMUM STREET FRONTAGE: 50 FEET
 - FRONT YARD: 20 FEET
 - REAR YARD: 20 FEET
 - SIDE YARD: 14 FEET
 - 3 STORY STRUCTURE: 40% MAXIMUM LOT COVERAGE
 - MINIMUM LOT WIDTH: 60 FEET

LEGEND

- EXISTING**
- PROPERTY LINE
 - BUILDING SETBACK
 - ADJUTERS PROPERTY
 - EASEMENT
 - EDGE OF PAVEMENT
 - BUILDING CURB
 - CHAINLINK FENCE
 - OHE OVERHEAD WIRES
 - UGE UNDERGROUND WIRES
 - GAS LINE
 - SANITARY SEWER
 - SD STORM DRAIN
 - OHE OVERHEAD WIRES
 - UGE UNDERGROUND WIRES
 - W WATER LINE
 - F/A FIRE ALARM
 - 86.4 SPOT GRADE
 - CATCH BASIN
 - DRAIN MANHOLE
 - TRANSFORMER
 - SEWER MANHOLE
 - UTILITY POLE
 - TREE
 - TREELINE
 - CHAINLINK FENCE
 - BENCHMARK
 - BOUND FOUND
 - IRON PIPE FOUND
 - HYDRANT
 - GATE VALVE
 - GAS VALVE



LOCATION PLAN
 SCALE: 1"=200'

PLAN REFERENCES:

- STANDARD BOUNDARY SURVEY OF KING MIDDLE SCHOOL DEERING AVENUE PORTLAND MAINE BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION MAY 31, 1994 CITY FILE 9471
- PLAN OF LAND IN PORTLAND MAINE FOR MAIN INSTITUTION FOR THE BLIND BY OREN HASKELL, INC. JANUARY 25, 1974 CITY OF PORTLAND ENGINEERING FILE 80916.
- PLAN OF PORTLAND SPORTS COMPLEX PARK AVENUE PORTLAND MAINE MADE FOR CITY OF PORTLAND BY OREN HASKELL, INC. JULY 16, 1984.

LOCUS DEED REFERENCE:

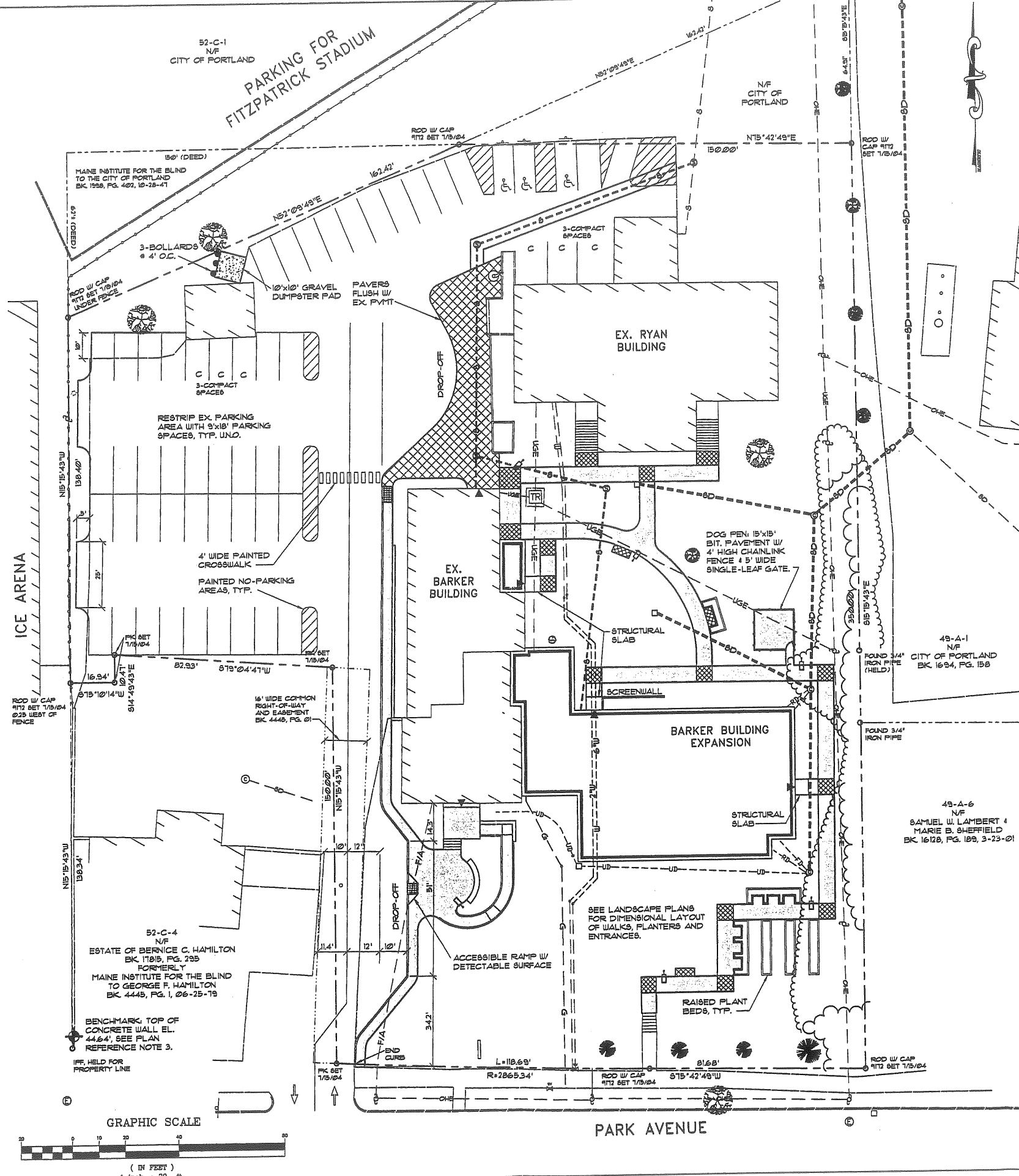
- CITY OF PORTLAND TO THE MAINE INSTITUTION FOR THE BLIND, BOOK 821 PAGE 196 APRIL 4, 1928.

SURVEY NOTES:

- TOTAL AREA: 1.94 ACRES OR 84,105 SQ. FT.
- LOCUS PARCEL TAX MAP 52-C-3.

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

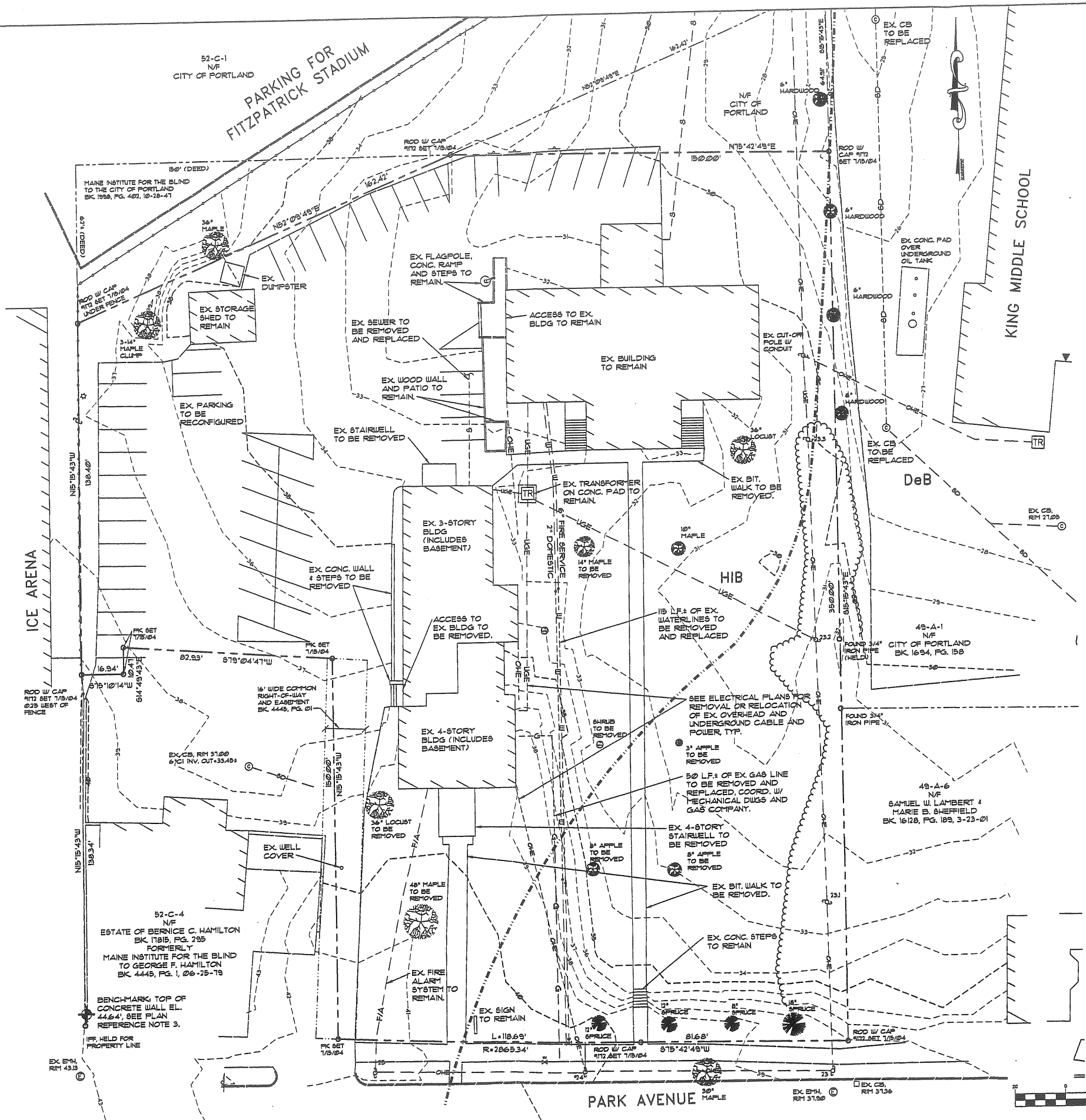


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3a

LEGEND

- EXISTING
- PROPERTY LINE
 - - - BUILDING SETBACK
 - - - ADJUTERS PROPERTY
 - - - EASEMENT
 - - - EDGE OF PAVEMENT
 - - - BUILDING
 - - - CURB
 - - - CHAINLINK FENCE
 - - - OVERHEAD WIRES
 - - - UNDERGROUND WIRES
 - - - GAS LINE
 - - - SANITARY SEWER
 - - - STORM DRAIN
 - - - OVERHEAD WIRES
 - - - UNDERGROUND WIRES
 - - - WATER LINE
 - - - F/A - FIRE ALARM
 - - - S/POT GRADE
 - - - CATCH BASIN
 - - - DRAIN MANHOLE
 - - - ELECTRIC MANHOLE
 - - - TRANSFORMER
 - - - SEWER MANHOLE
 - - - UTILITY POLE
 - - - TREE
 - - - TREELINE
 - - - CHAINLINK FENCE
 - - - BENCHMARK
 - - - FOUND
 - - - IRON PIPE FOUND
 - - - HYDRANT
 - - - GATE VALVE
 - - - GAS VALVE
 - - - LIGHT POLE
 - - - EX. FLAGPOLE
 - - - CONTOURS
 - - - SOILS BOUNDARY
 - - - SOILS DESIGNATION



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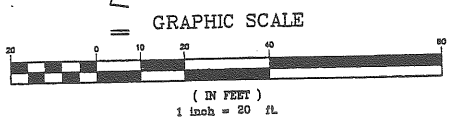
OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
EXISTING SITE AND DEMOLITION PLAN

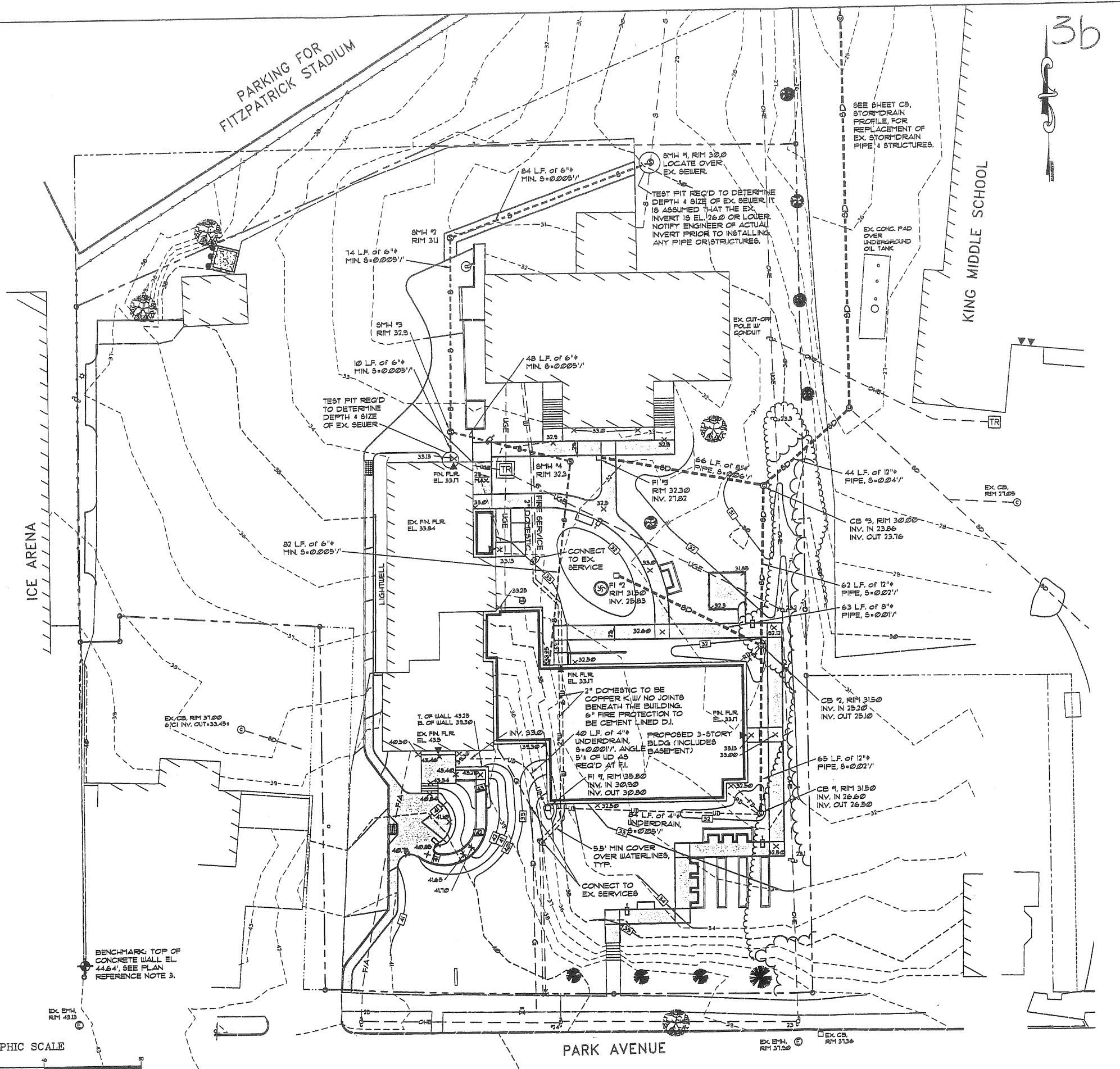
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 REVISIONS: REV. 1 - FEB. 21, 2005
 DATE: JAN. 19, 2005

SHEET:
C2

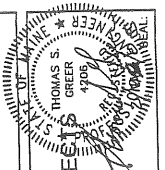


LEGEND

EXISTING		PROPOSED	
---	PROPERTY LINE	---	EASEMENT
- - - -	BUILDING SETBACK	---	EDGE OF PAVEMENT
- . - . -	ABUTTERS PROPERTY	---	VERTICAL GRANITE CURB
- - - -	EASEMENT	---	GRADE BREAKS AT RAMP
- . - . -	EDGE OF PAVEMENT	---	CONTOURS
----	BUILDING	---	BUILDING
----	CURB	---	BUILDING ENTRY/EGRESS
-----	CHAINLINK FENCE	---	STORM DRAIN
-----	OVERHEAD WIRES	---	GAS LINE
-----	UNDERGROUND WIRES	---	SANITARY SEWER
---	GAS LINE	---	UNDERGROUND ELECTRIC
---	SANITARY SEWER	---	UNDERDRAIN
---	STORM DRAIN	---	FOUNDATION DRAIN
---	OVERHEAD WIRES	---	ROOF DRAIN
---	UNDERGROUND WIRES	---	WATER LINE
---	WATER LINE	---	SPOT GRADE
---	F/A FIRE ALARM	---	CATCH BASIN
○	SPOT GRADE	○	DRAIN MANHOLE
○	CATCH BASIN	○	SCILLARD
○	DRAIN MANHOLE	○	SANITARY MANHOLE
○	ELECTRIC MANHOLE	○	LIGHTPOLE
○	TRANSFORMER	○	HANDICAP PARKING
○	SEWER MANHOLE	○	PAINTED CROSSWALK
○	UTILITY POLE	○	SURFACE DRAINAGE
○	TREE	○	BITUMINOUS PAVEMENT
○	TREELINE	○	CONC. PAVERS AT RAMP
○	CHAINLINK FENCE		
○	BENCHMARK		
○	BOUND FOUND		
○	IRON PIPE FOUND		
○	HYDRANT		
○	GATE VALVE		
○	GAS VALVE		
○	LIGHT POLE		
○	EX. FLAGPOLE		
○	CONTOURS		



36



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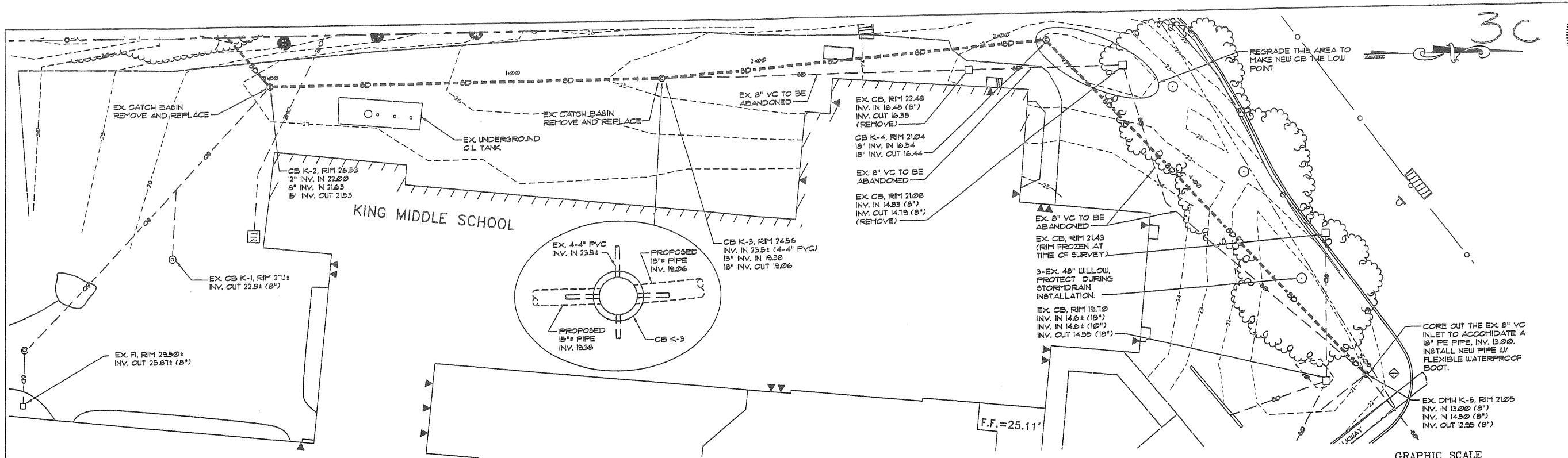
OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN
 SCALE: AS SHOWN
 REVISIONS:
 REV. 1 - FEB. 22, 2005

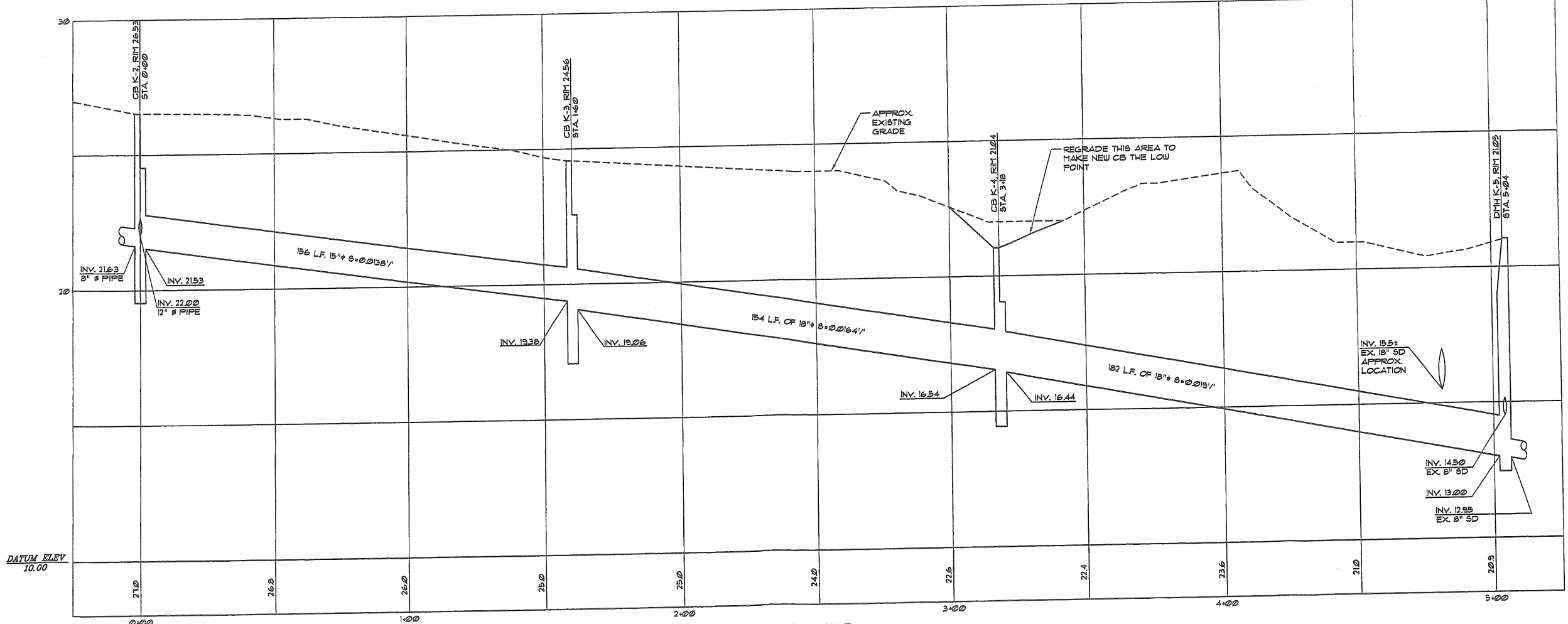
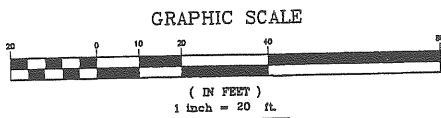
DATE:
 JAN. 13, 2005

SHEET:
C3



NOTE: FOR LEGEND SEE GRADING AND UTILITIES PLAN, SHEET C-3

STORMDRAIN PLAN AROUND KING MIDDLE SCHOOL
SCALE: 1"=20'



STORMDRAIN PROFILE
SCALE: HORIZ 1"=20'
VERT. 1"=2'

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ARCHITECT: SEMPLE & DRANE ARCHITECTS 496 CONGRESS STREET PORTLAND, MAINE 04101 (207) 761-4231 asemple1@maine.rr.com	OWNER: IRIS NETWORK PORTLAND, ME 04101	PROJECT: IRIS NETWORK RENOVATION & ADDITIONS PORTLAND, ME 04101	DRAWING: STORMDRAIN PROFILE SCALE: AS SHOWN REVISIONS: DATE: FEB. 22, 2005
C4			

EROSION CONTROL GENERAL NOTES

GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILTFENCES AND STONE CHECKDAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND WETLANDS
 - BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILTFENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILTFENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 3/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 117.02(6) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 9/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

MULCH:

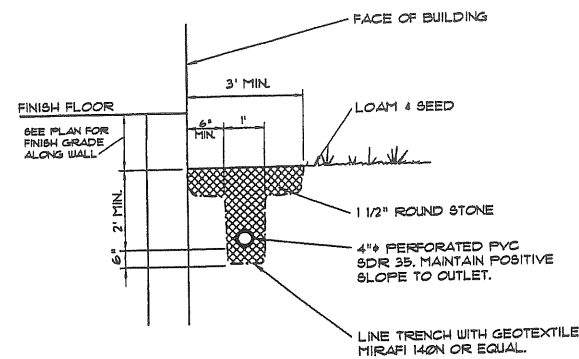
STRAW OR HAY (ANCHORED)	10 - 20 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	105 - 215 LBS	WINDY AREAS
SHREDDED OR CHOPPED	105 - 215 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES

EXCELSIOR MAT

AS REQUIRED

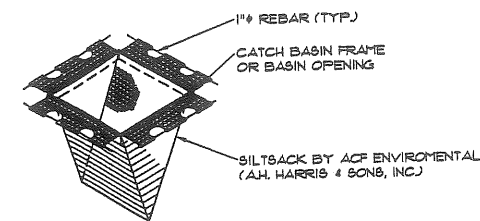
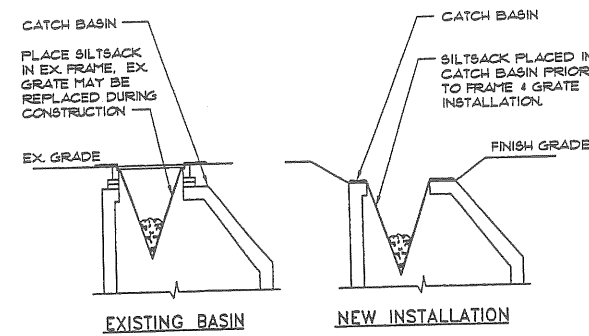
MULCH ANCHORING

FEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK



4 STONE DRIPSTRIP SECTION

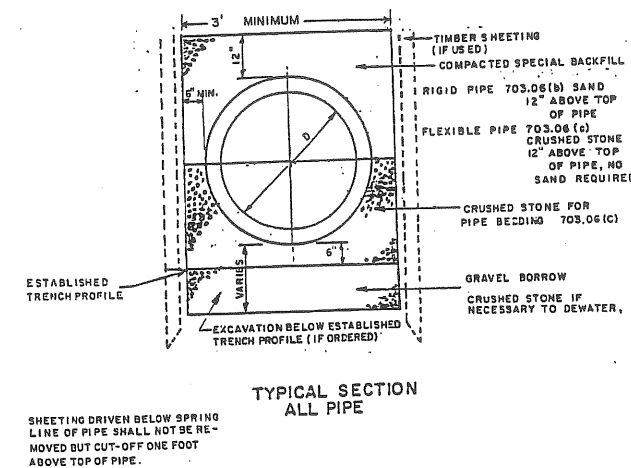
NOT TO SCALE



1 CATCH BASIN PROTECTION

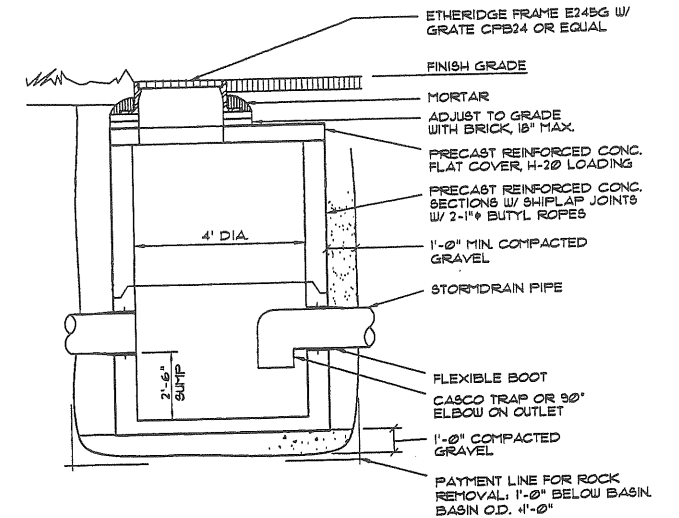
CATCHBASIN INLET MAY BE PROTECTED BY EITHER HAYBALE AND STONE FILTER OR SILTSACK

NOT TO SCALE



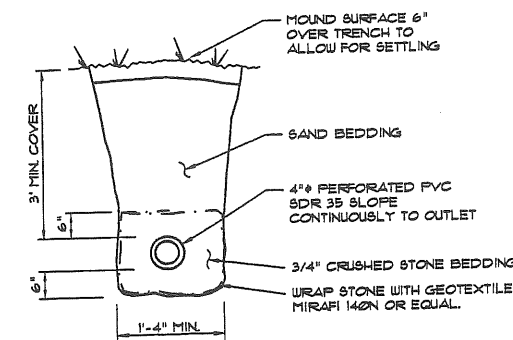
3 TRENCH SECTION

NOT TO SCALE



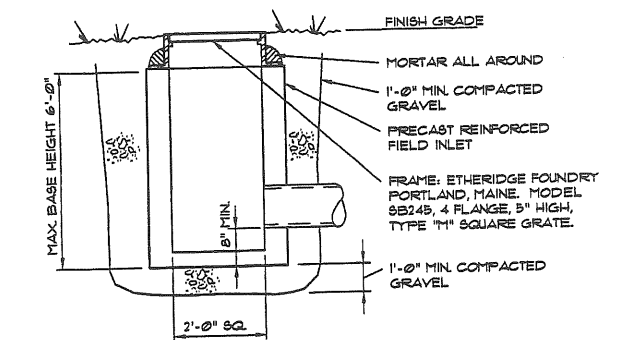
2 PRECAST CATCH BASIN

NOT TO SCALE



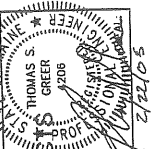
6 UNDERDRAIN TRENCH SECTION

NOT TO SCALE



5 FIELD INLET DETAIL

NOT TO SCALE



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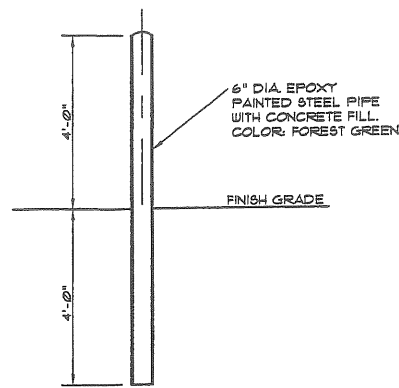
OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

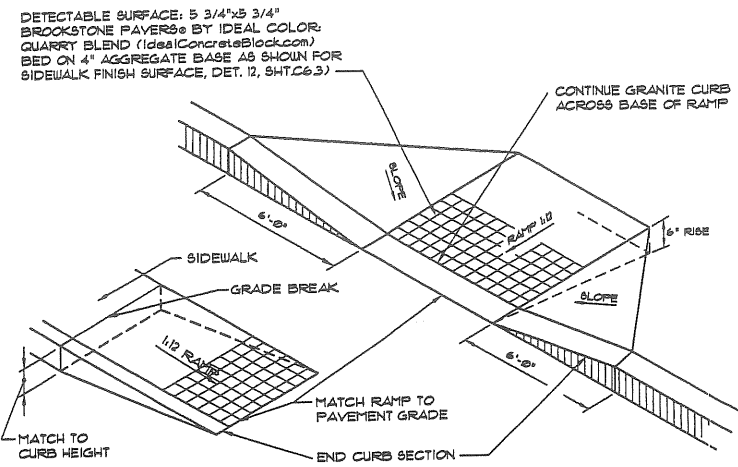
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 DETAILS
 SCALE: AS SHOWN
 DATE: JAN. 13, 2005

REVISIONS:
 REV. 1 - FEB. 22, 2005

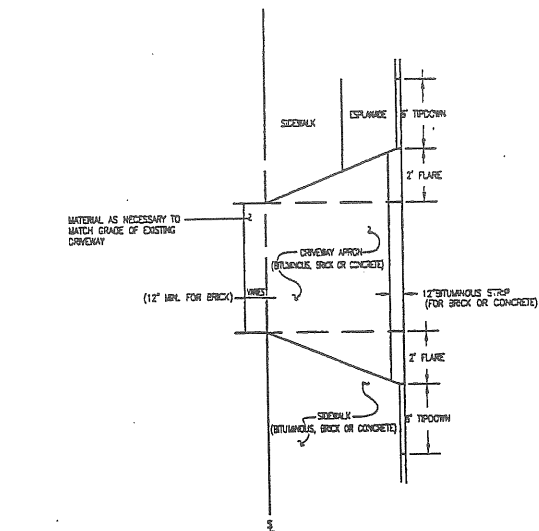
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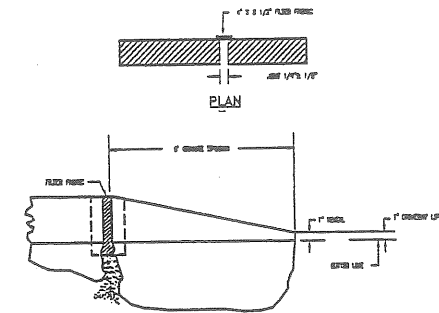
4 STEEL BOLLARD DETAIL
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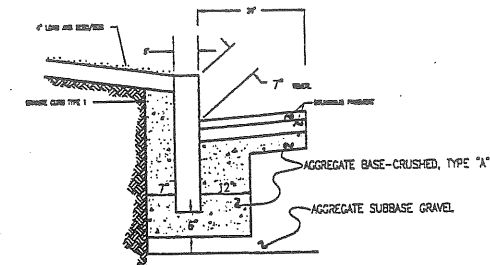
3 SIDEWALK RAMP DETAILS
NOT TO SCALE



2 SIDEWALK & DRIVEWAY CONSTRUCTION
NOT TO SCALE

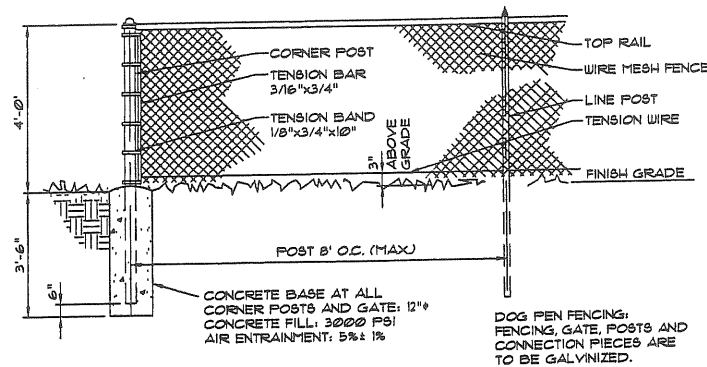


TYPICAL TIPDOWN CURB INSTALLATION

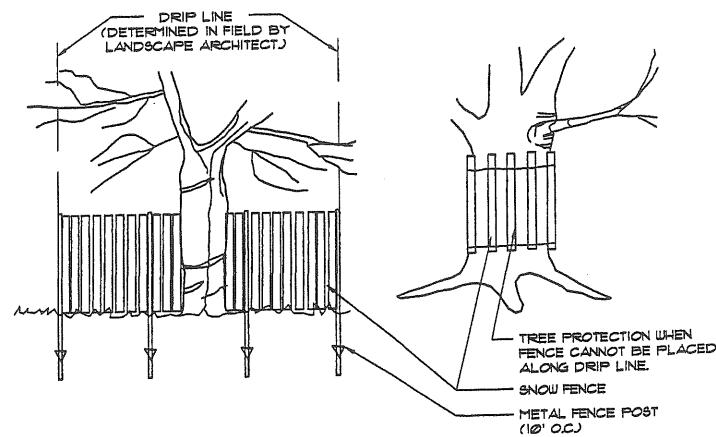


INSTALLATION OF CURB

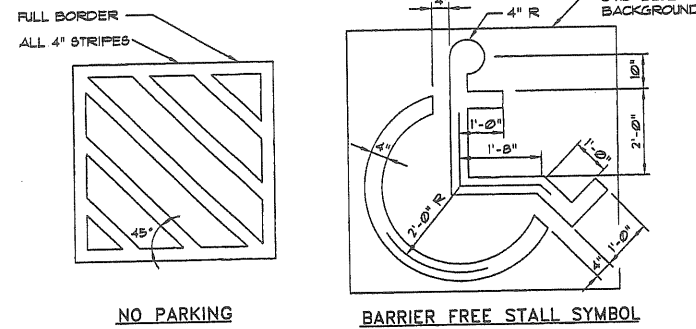
1 VERTICAL GRANITE CURB INSTALLATION
NOT TO SCALE



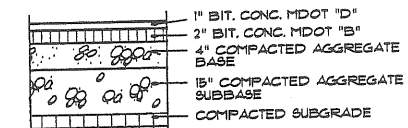
7 DOG PEN CHAINLINK FENCE DETAIL
NOT TO SCALE



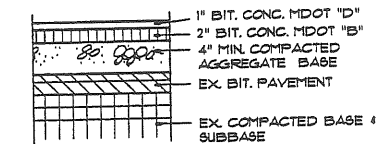
8 TREE PROTECTION FENCE
NOT TO SCALE



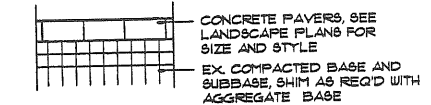
6 STRIPING DETAILS
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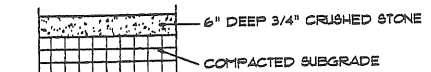
BITUMINOUS PAVEMENT NEW CONSTRUCTION



BITUMINOUS PAVEMENT OVER EXISTING



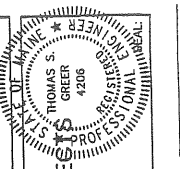
CONCRETE PAVERS AT DROP-OFF



DUMPSTER PAD

NOTES:
1. ALL COURSE THICKNESS AFTER FINAL COMPACTION.
2. SEE LANDSCAPE DRAWINGS FOR BARK/MULCH AND LAWN AREAS.
SEE LANDSCAPE DRAWINGS FOR SIDEWALK PAVES SIZE, STYLE AND INSTALLATION.

5 SURFACING DETAILS
NOT TO SCALE

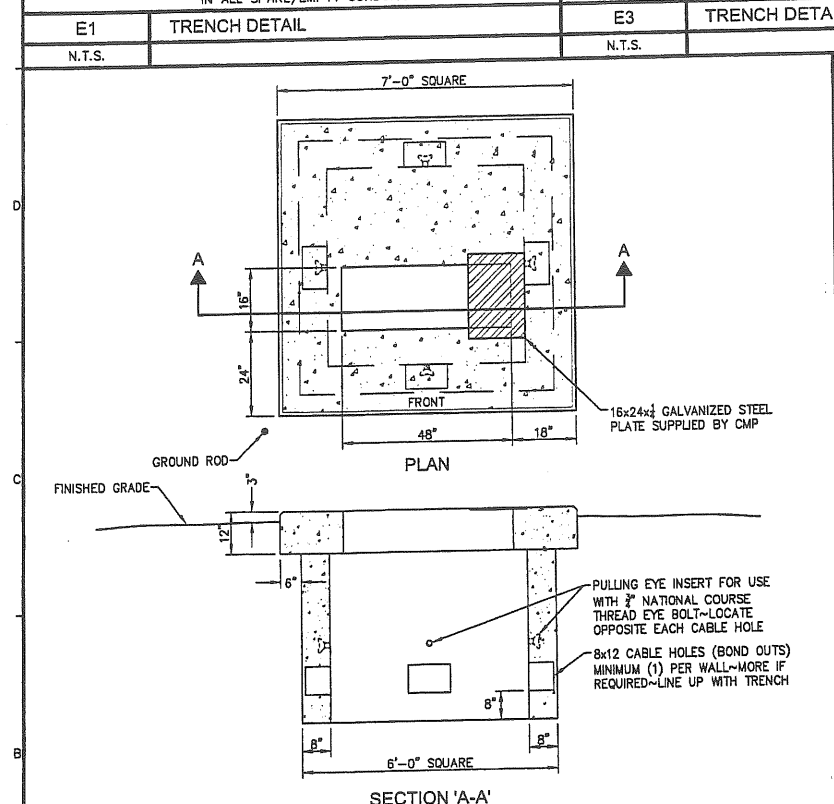
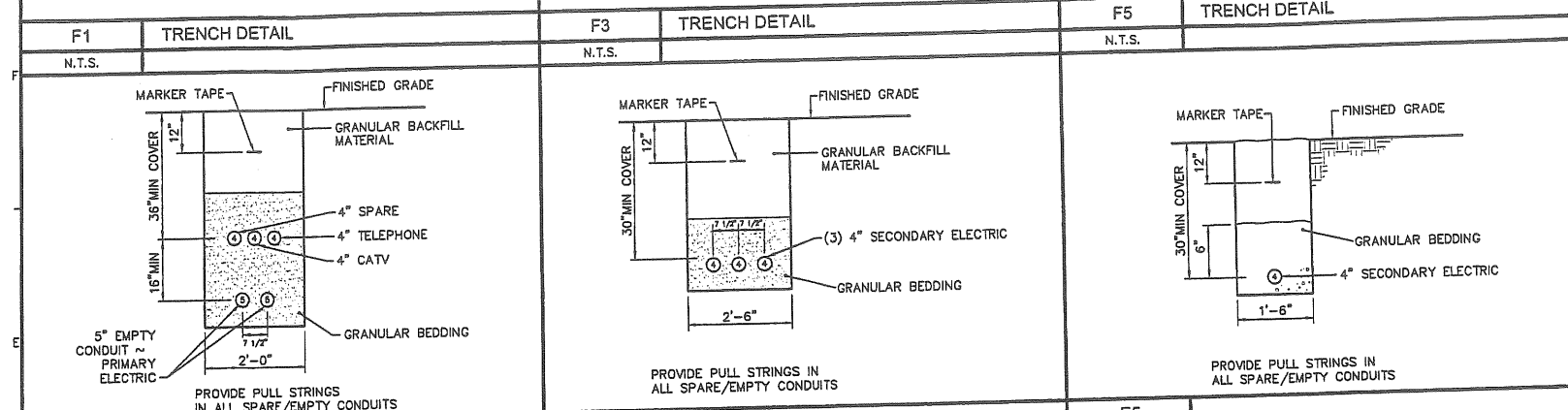
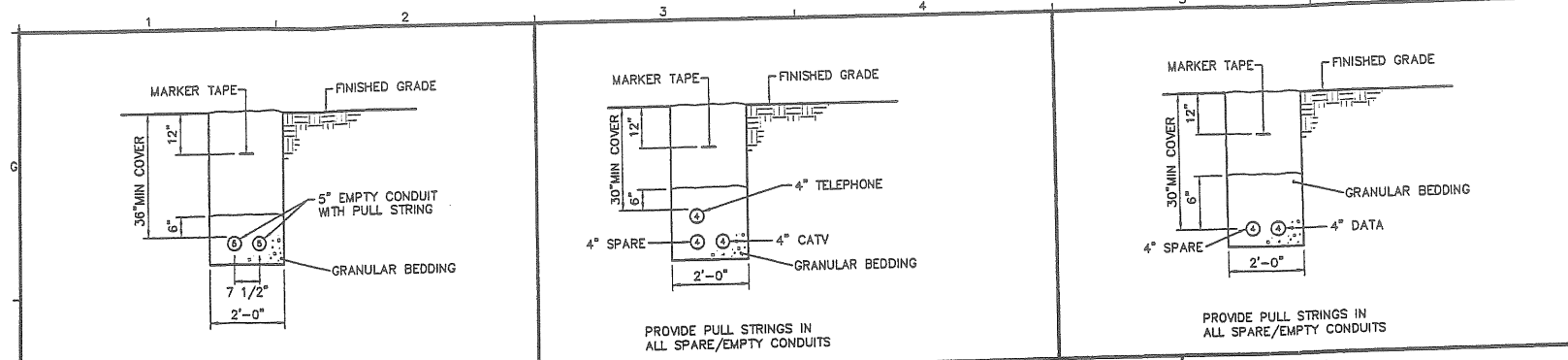


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OWNER:
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PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: DETAILS
SCALE: AS SHOWN
DATE: JAN. 13, 2025
REVISIONS:
REV. 1 - FEB. 22, 2025



NOTES:

- "FRONT" DENOTES THE SIDE ON WHICH THE ACCESS DOORS ARE LOCATED~THE FOUNDATION MUST BE LOCATED SO THAT THE "FRONT" IS ACCESSIBLE BY TRUCK AND SUITABLY PROTECTED FROM PLOW AND TRAFFIC DAMAGE.
- 2" x 8" GROUND ROD (PROVIDED BY CMP) SHALL BE INSTALLED 6" IN FRONT OF THE LEFT CORNER OF THE FOUNDATION~TOP OF THE GROUND ROD SHALL BE 6" BELOW FINISHED GRADE.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI @ 28 DAYS. FOR CAST-IN-PLACE EARLY HIGH STRENGTH MAY BE USED WITH A MINIMUM 7 DAY CURE TIME.
- REINFORCING STEEL SHALL HAVE FY=60 KSI
- FOR PRECAST UNITS: THE PRECAST SUPPLIER SHALL PROVIDE LIFTING LUGS IN THE SLAB (FOUNDATION) AND BASE

A1 TRANSFORMER PAD
 N.T.S.

1. POLE BASES, TRANSFORMER PADS AND MANHOLES PROVIDED BY DIVISION 16.

2. PROTECT ALL EXISTING UNDERGROUND ELECTRIC AND COMMUNICATIONS WIRING DURING CONSTRUCTION, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, EXCEPT WHERE SUCH IS INDICATED TO BE REMOVED ~ COORDINATE REMOVAL OF EXISTING UTILITIES WITH PROJECT PHASING ~ PROVIDE TEMPORARY WIRING AND CONNECTIONS AS REQUIRED.

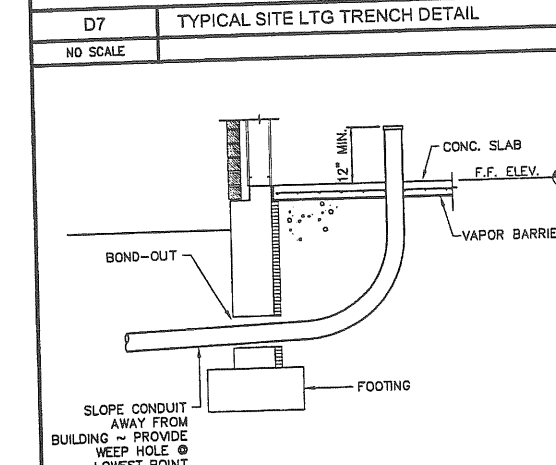
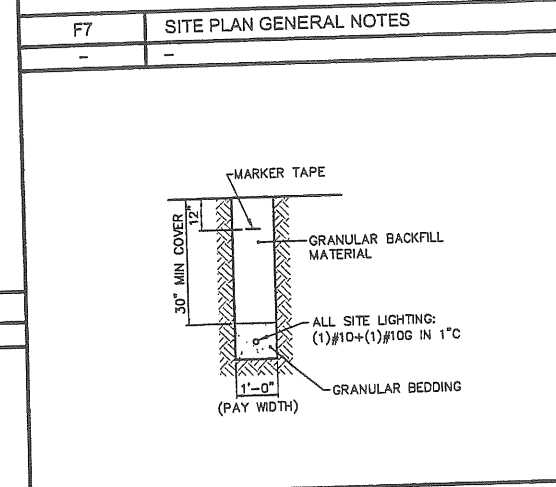
3. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.

4. WHERE EXISTING OVERHEAD WIRING IS INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ALL ASSOCIATED POLES, GUYS, ANCHORS, ETC.

5. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION OF UNDERGROUND UTILITIES.

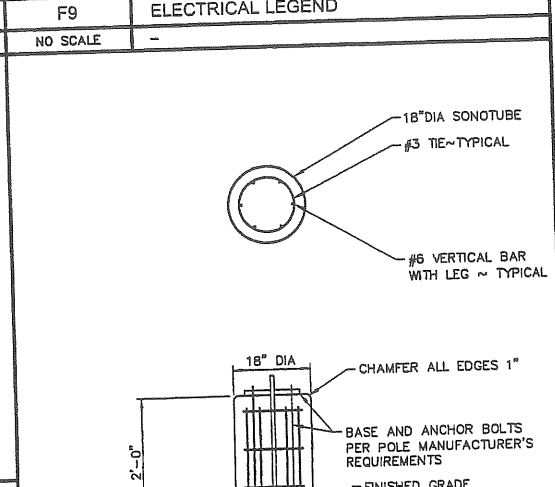
6. WHERE EXISTING ITEMS SUCH AS POLES LIGHTS ETC. ARE INDICATED TO BE REMOVED, PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES, CONNECTIONS, ETC. AS REQUIRED FOR CONTINUED OPERATION OF EXISTING ITEMS ON THE SAME CIRCUIT OR FED FROM THE SAME CONDUIT THAT ARE INDICATED TO REMAIN.

7. SLOPE ALL CONDUITS AWAY FROM THE BUILDING THAT ENTER THE BUILDING FOOTPRINT ~ PROVIDE A WEEP HOLE AT THE LOWEST POINT OF THE CONDUIT.



A7
 NO SCALE

F9 ELECTRICAL LEGEND
 NO SCALE
 (E) EXISTING
 (R) REMOVE
 FA FIRE ALARM
 C CATV
 D DATA
 E ELECTRIC POWER
 T TELEPHONE
 OH OVERHEAD
 UG UNDERGROUND
 --- OVERHEAD WIRING ~ TYPE AS INDICATED
 --- UNDERGROUND WIRING ~ TYPE AS INDICATED
 U UTILITY POLE
 IN-GROUND JUNCTION BOX
 ELECTRICAL MANHOLE
 PADMOUNT TRANSFORMER
 METER ENCLOSURE ~ MOUNT TO STAIRS AS INDICATED
 SINGLE POLE MOUNTED LIGHT
 DOUBLE POLE MOUNTED LIGHT
 PHOTOCELL ~ CONNECT TO SITE & BUILDING EXTERIOR LIGHTING ~ SHOWN FOR COORDINATION PURPOSES ONLY
 A1 11-000 DETAIL CALL-OUT



G9 CONDUIT ENTRANCE INTO BUILDING
 NO SCALE

A9
 NO SCALE

3f

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 sda@sempledrane.com

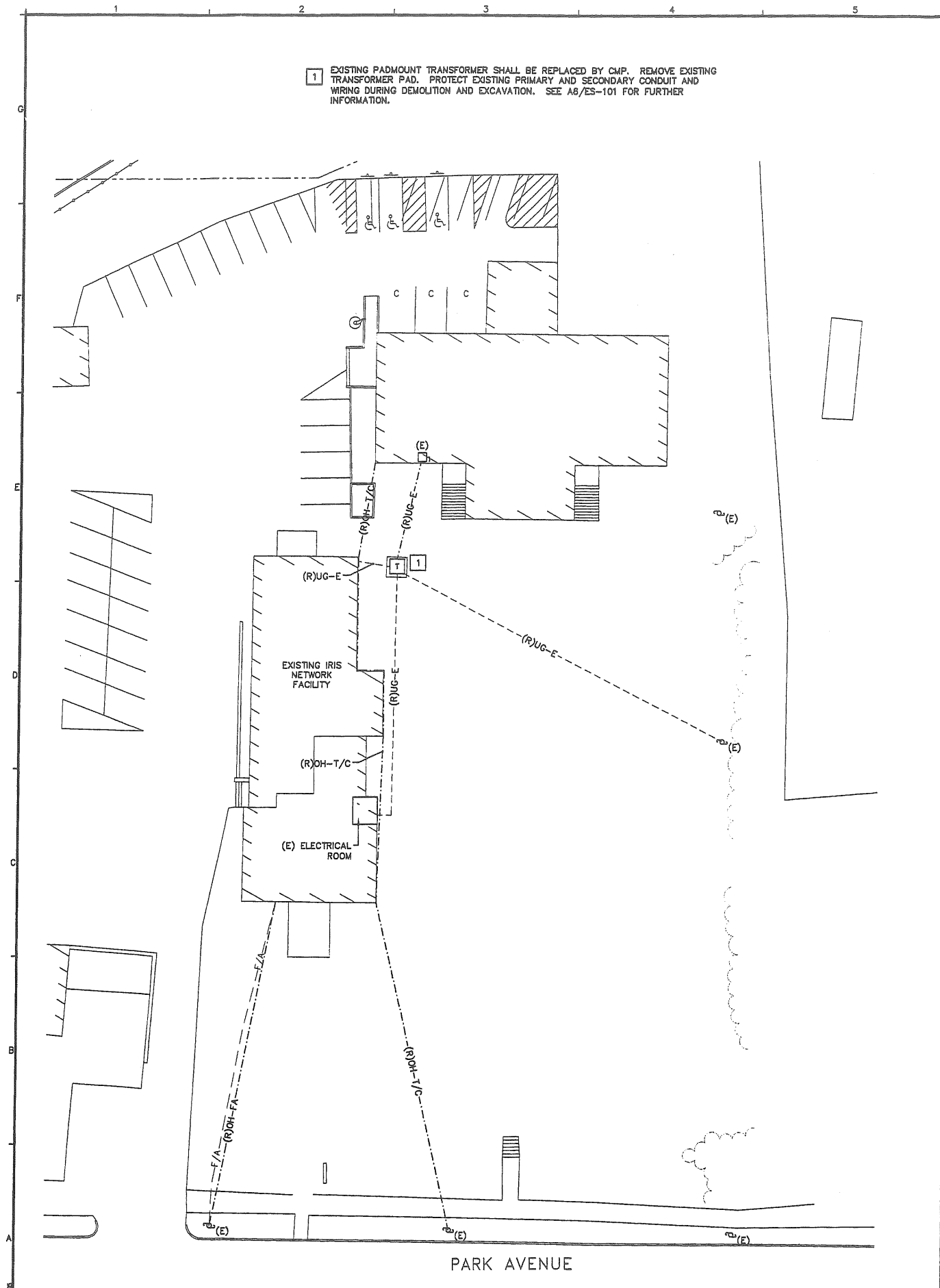
ENGINEERING:
allied
 engineering, inc.
 1000 BROAD STREET
 PORTLAND, MAINE 04101
 TEL: (207) 761-4231 FAX: 774-0152
 allied@alliedeng.com

OWNER:
IRIS NETWORK
 PORTLAND, MAINE 40101

PROJECT:
IRIS PARK APARTMENTS RENOVATION & ADDITIONS
 PORTLAND, MAINE 04101

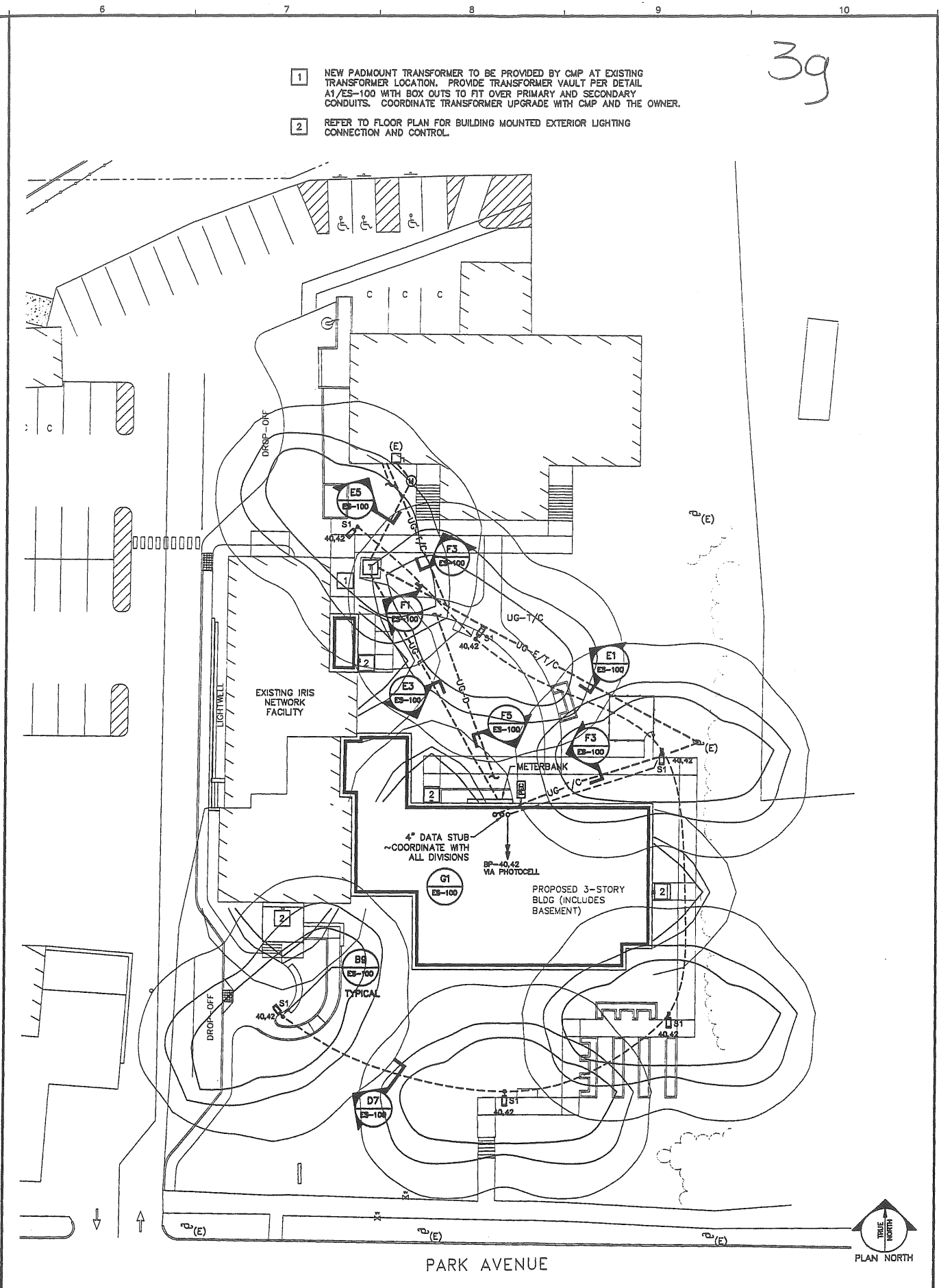
DRAWING:
ELECTRICAL LEGEND AND NOTES
 SCALE: AS NOTED
 CAD FILE: 030605.DWG
 DATE: 24 FEB 2005

SHEET:
ES-100



1 EXISTING PADMOUNT TRANSFORMER SHALL BE REPLACED BY CMP. REMOVE EXISTING TRANSFORMER PAD. PROTECT EXISTING PRIMARY AND SECONDARY CONDUIT AND WIRING DURING DEMOLITION AND EXCAVATION. SEE A6/ES-101 FOR FURTHER INFORMATION.

A1 ELECTRICAL SITE DEMOLITION PLAN
1" = 20'-0"



1 NEW PADMOUNT TRANSFORMER TO BE PROVIDED BY CMP AT EXISTING TRANSFORMER LOCATION. PROVIDE TRANSFORMER VAULT PER DETAIL A1/ES-100 WITH BOX OUTS TO FIT OVER PRIMARY AND SECONDARY CONDUITS. COORDINATE TRANSFORMER UPGRADE WITH CMP AND THE OWNER.
2 REFER TO FLOOR PLAN FOR BUILDING MOUNTED EXTERIOR LIGHTING CONNECTION AND CONTROL.

3g

A6 ELECTRICAL SITE NEW CONDITIONS PLAN
1" = 20'-0"

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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SDG@SEMPLEDRANE.COM

ENGINEERING: **allied engineering, inc.**
1111
1000 S. GARDEN STREET, SUITE 200
PORTLAND, ME 04106
TEL: (207) 761-4231 FAX: 774-0152
SDG@SEMPLEDRANE.COM

OWNER: **IRIS NETWORK**
PORTLAND, MAINE 40101

PROJECT: **IRIS PARK APARTMENTS RENOVATION & ADDITIONS**
PORTLAND, MAINE 04101

DRAWING: **SITE DEMO AND NEW CONDITIONS PLAN**
SCALE: AS NOTED
CAD FILE: 0306ESD.WG
DATE: 24 FEB 2005

REVISIONS:

SHEET: **ES-101**

GENERAL NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE LOCATION AND DEPTH OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE UTILITIES DAMAGED BY THIS WORK AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR HIS/HER CORRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS TO 10 INCHES IN ALL TREE PITS AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SOIL PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLANTING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PROTECTIVE STAKING OR CRYING WRAPPING, SPRINKLING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND BEDS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING TO PROTECT EXISTING TREES AND SHRUBS THAT WILL BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT AND MATERIAL SHALL NOT BE PERMITTED WITHIN THE STORAGE OR VELOCIT PARKING AREAS.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATIONS THAT INCLUDE FERTILIZING AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY INFORMATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS COVER AND TWO PARTS SPAGNUM PEAT MOSS AND ONE PART HORTICULTURAL TURF. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-CROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL SURFACE GRASS HAS BEEN ESTABLISHED AND ACCEPTED BY THE OWNER. MEETING AND MOWING AS NECESSARY, ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE DUMPING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. MINIMUM OF ONE GROWING SEASON. TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, HAY MULCH, ETC.) SHALL BE REMOVED ONCE STABILIZATION OF DISTURBED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO (2) MOWING FOR ALL TURF AREAS OF UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM OF A UNIFORM 75% GRASS COVER IS REQUIRED FOR ACCEPTANCE.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A. GN	1	ACER GINNALA	AMUR MAPLE	2" CAL
A. SAC	3	ACER SACCHARUM	SUGAR MAPLE	3" CAL
M. x LM	1	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	LEONARD MESSEL MAGNOLIA	5'-5" HT.
M. SS	4	MALLUS SPRING SNOW	SPRING SNOW CRABAPPLE	2" CAL
M. ZC	1	MALLUS 'ZUMI CALOCARPA'	ZUMI CRABAPPLE	2.5" CAL
P. CA	2	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	3" CAL
Q. RUB	1	QUERCUS RUBRA	RED OAK	3'-4" HT.
T. FL	12	THUJA OCCIDENTALIS 'FILIFORMIS'	FILIFORMIS ARBORVITAE	4'-5" HT.
T. CAN	8	TSUGA CANADENSIS	CANADIAN HEMLOCK	4'-5" HT.
SHRUBS				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	3/8" CONT.
D. xBUR	3	DAPHNE x BURKWOOD 'SOMERSET'	SOMERSET DAPHNE	3/8" CONT.
F. COU	8	FORSYTHIA COURTASOL 'GOLD TIDE'	GOLD TIDE FORSYTHIA	3/8" CONT.
F. GAR	10	FOTHERGILLA GARDENII	DWARF BOTTLEBRUSH	18"-24" HT.
J. CGC	22	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	3/8" CONT.
J. PRO	4	JUNIPERUS PROCEMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	3/8" CONT.
K. LTI	3	KALINA LATIFOLIA 'TIDOLYNNKS'	TIDOLYNNKS MOUNTAIN LAUREL	3/8" CONT.
R. WHI	6	RHOODOENDRON 'WINDBEAM'	WINDBEAM RHOODOENDRON	3/8" CONT.
S. BAI	8	SYRINGA BAILLELLE	TINKERBELL LILAC	3/8" CONT.
V. CA	9	VIBURNUM CARLESI 'AURORA'	AURORA VIBURNUM	2.5'-3" HT.
PERENNIALS				
H. SDO	18	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL POT
GROUNDCOVERS				
A. GEN	75	AJUGA GENEVENSIS	BUGLE WEED	FLAT
A. UU	5	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	3/8" CONT.

NOTES:

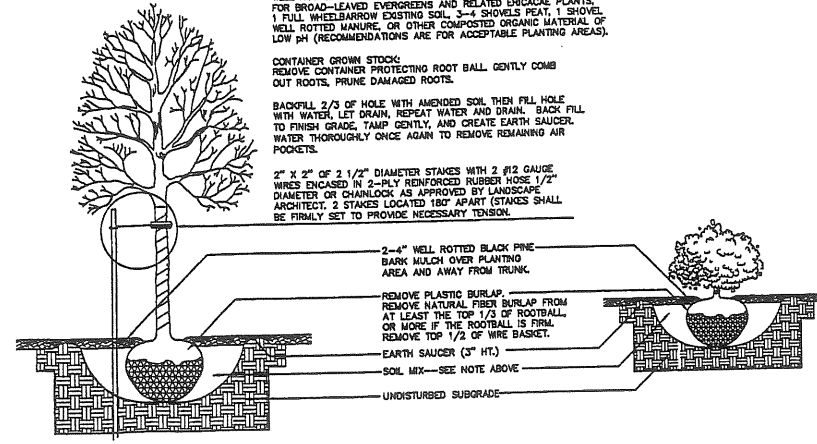
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW PH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

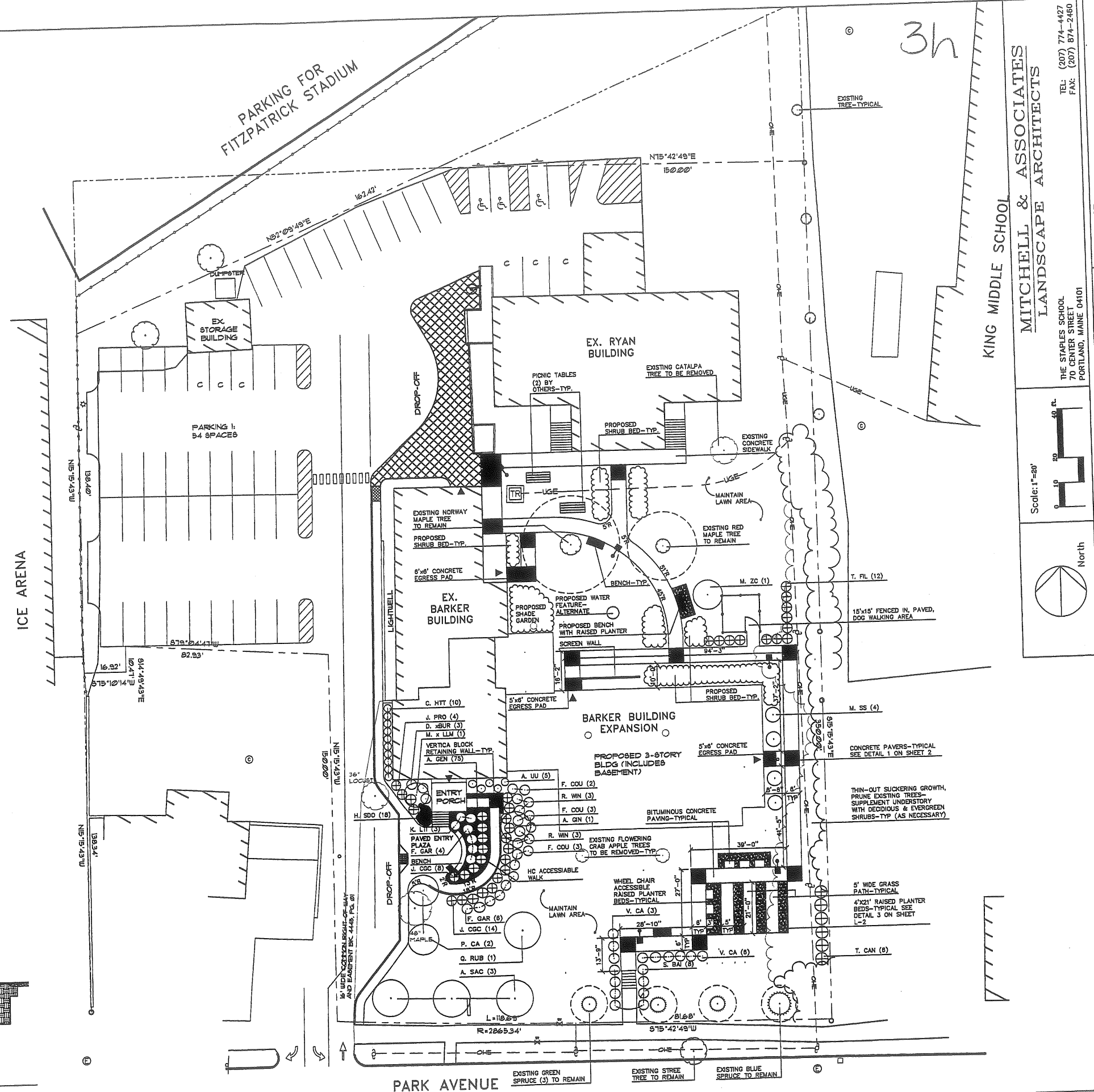
CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL GENTLY COME OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCING RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 18" APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).



TREE INSTALLATION
NOT TO SCALE



3h

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70 CENTER STREET
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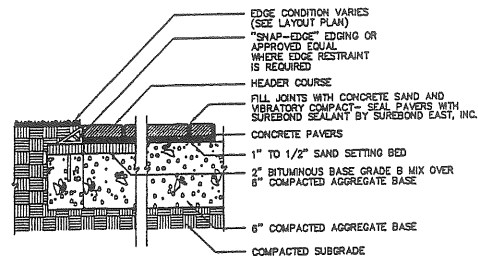
ARCHITECT:
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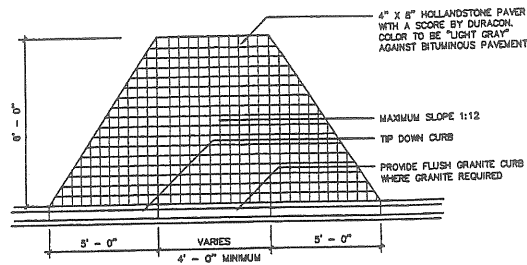
PROJECT:
IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

REVISIONS:
SCALE: AS SHOWN
DATE: DECEMBER 11, 2004
FEBRUARY 25, 2005

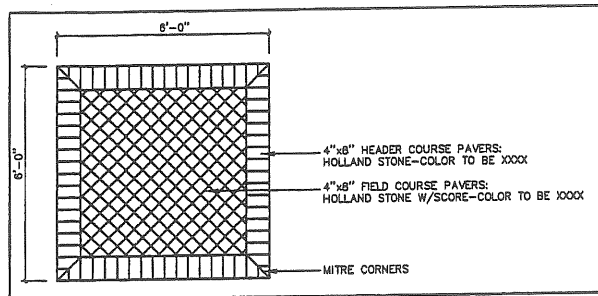
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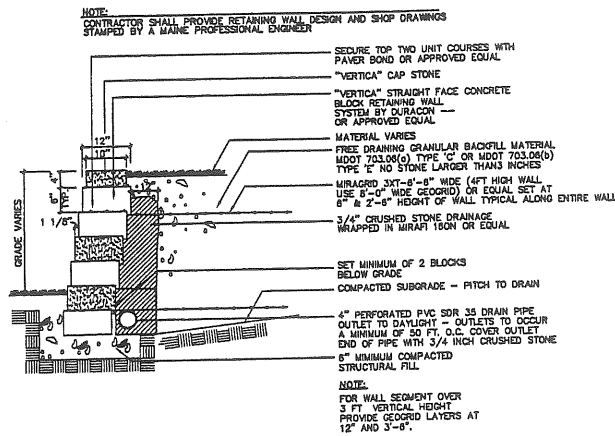
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L2
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NOT TO SCALE



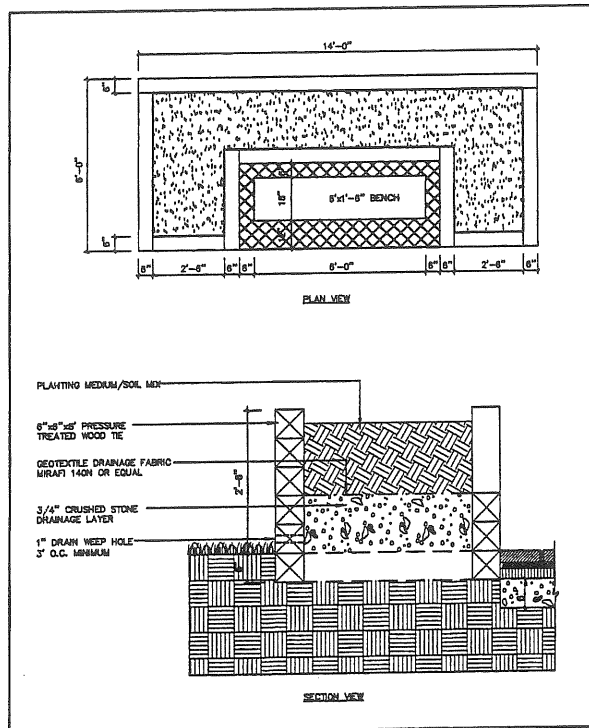
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7
HANDICAP RAMP
NOT TO SCALE



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L2
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NOT TO SCALE



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NOT TO SCALE



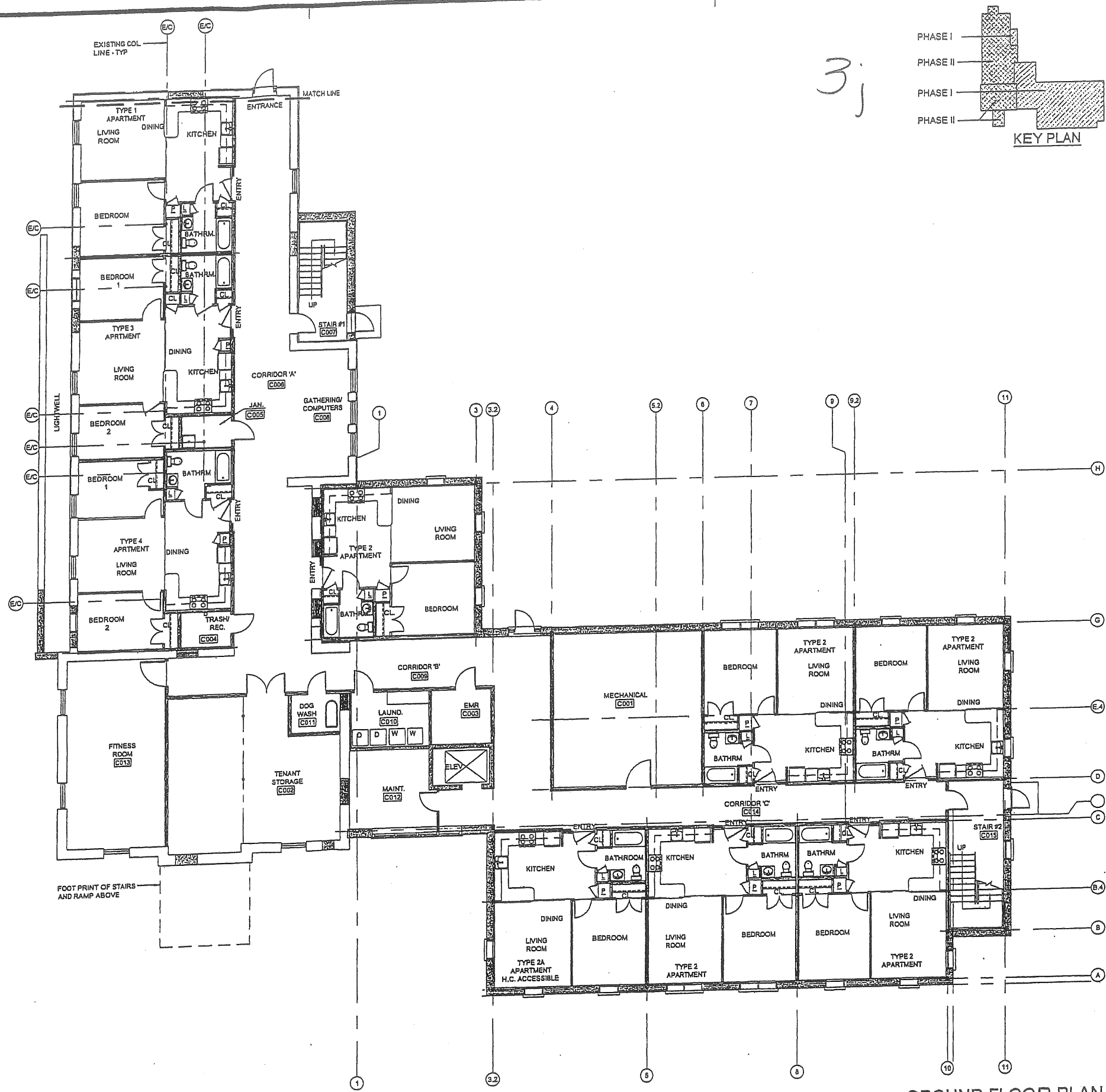
3
L2
BENCH WITH RAISED PLANTER
NOT TO SCALE

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2/24/2005 3:34:37 PM Jody

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

THE STABLES SCHOOL
70 CENTER STREET
PORTLAND, MAINE 04101
TEL: (207) 774-4427
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ARCHITECT: SEMPLER & DRANE ARCHITECTS 496 CONGRESS STREET PORTLAND, MAINE 04101 asemple1@maine.rr.com	OWNER: IRIS NETWORK PORTLAND, ME 04101	PROJECT: IRIS NETWORK RENOVATION & ADDITIONS PORTLAND, ME 04101	REVISIONS: SCALE: AS SHOWN DATE: DECEMBER 11, 2004
DRAWING: SITE DETAILS		SHEET: L-2	



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

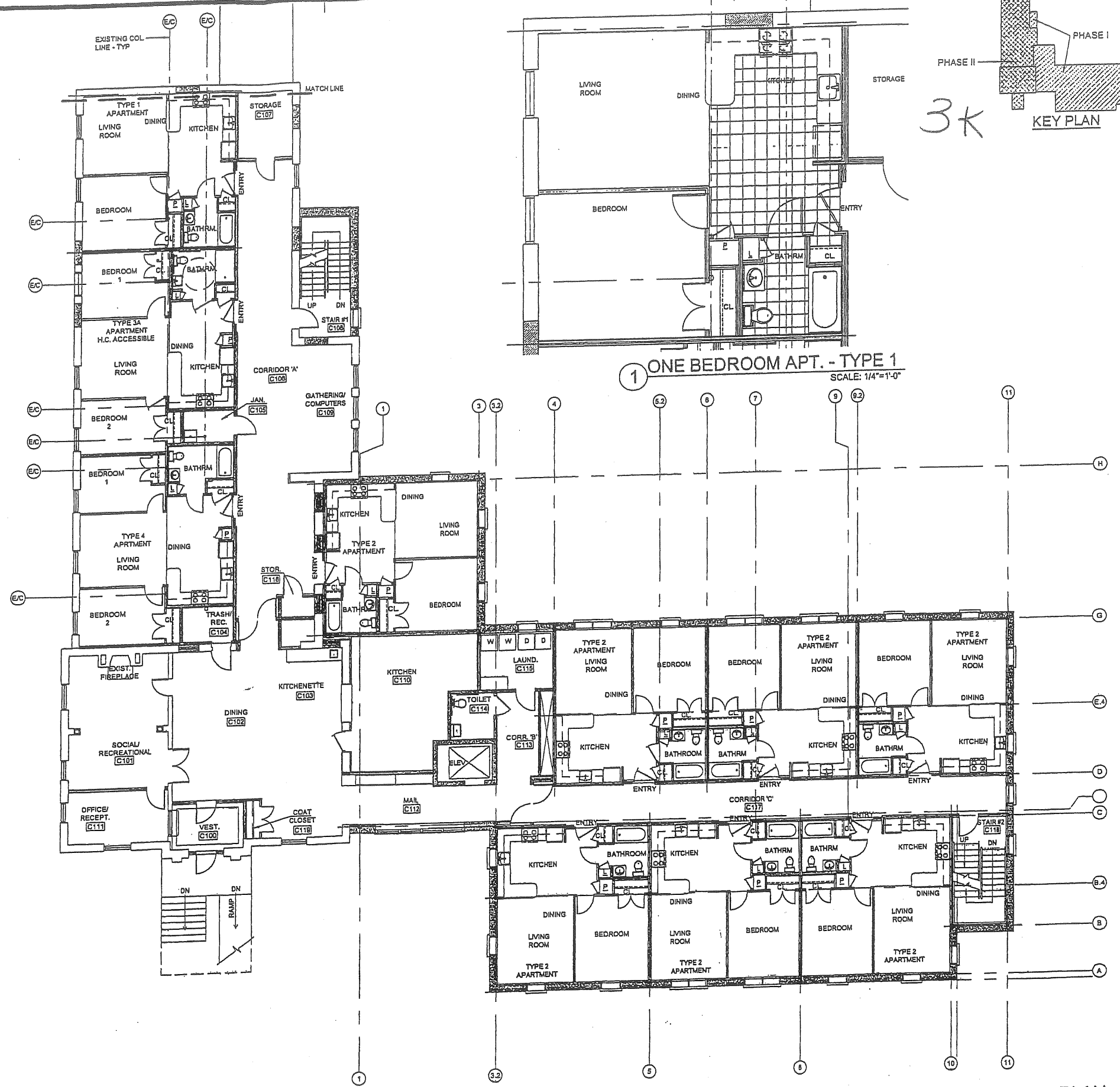
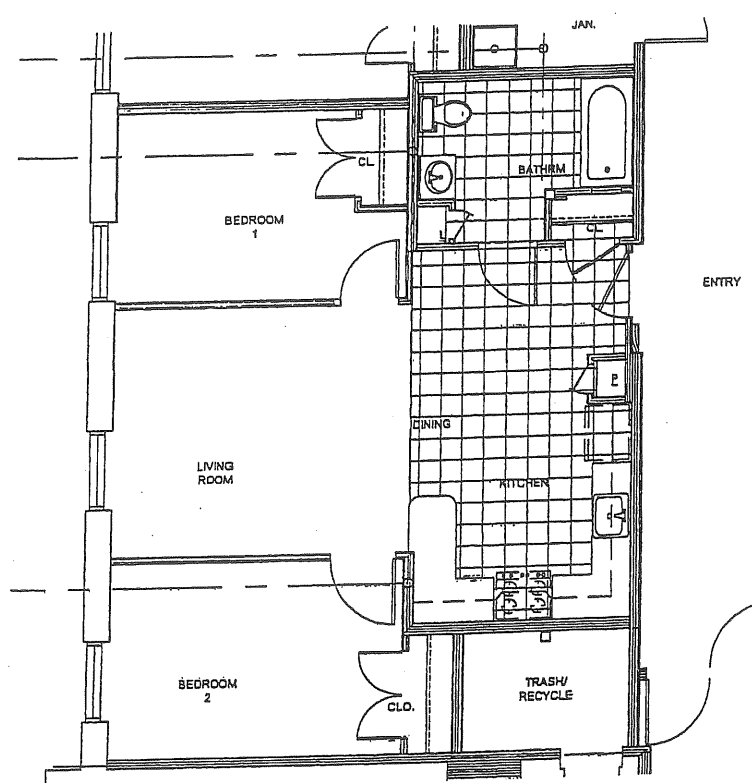
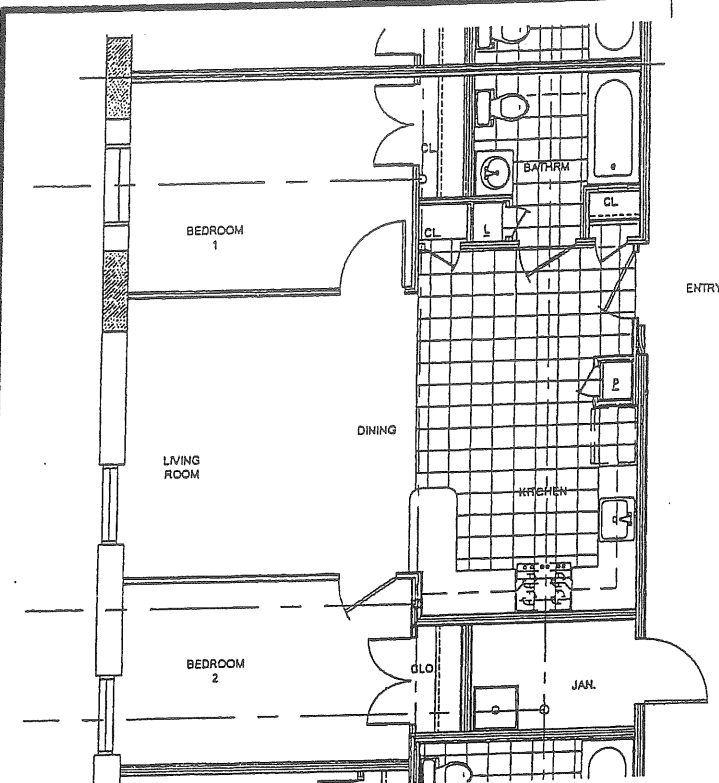
ARCHITECT:
SEMPLER & DRANE ARCHITECTS
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
**IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **GROUND FLOOR PLAN**
SCALE: AS NOTED
DATE: JAN. 13, 2005

SHEET:
A100



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

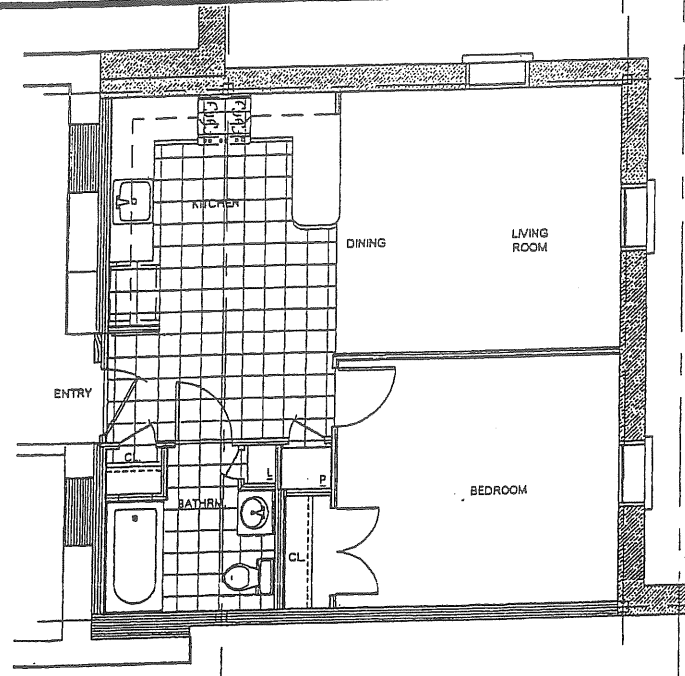
ARCHITECT:
SEMPEL & DRANE ARCHITECTS
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

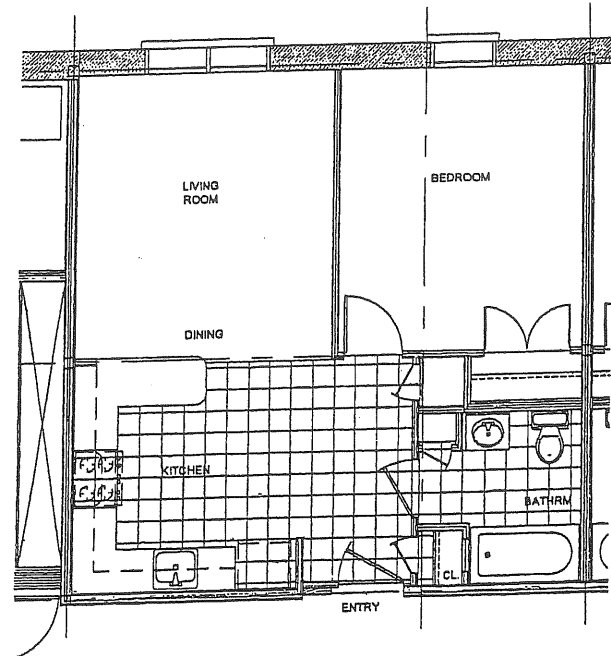
PROJECT:
IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
FIRST FLOOR PLAN
SCALE: AS NOTED
DATE: JAN. 13, 2005

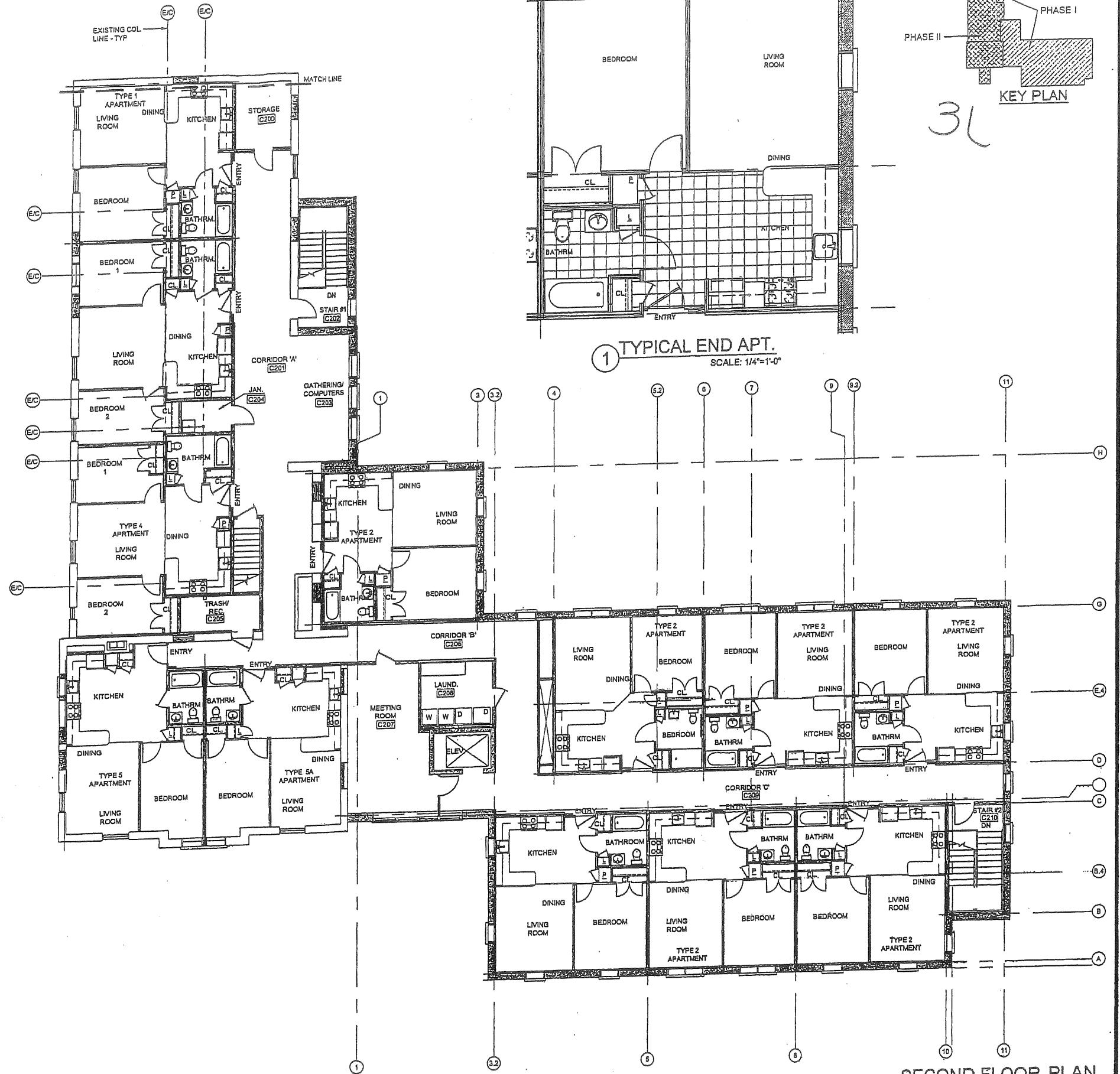
SHEET:
A101



2 COUTYARD APARTMENT
SCALE: 1/4"=1'-0"



3 TYPICAL - TYPE 2 APT.
SCALE: 1/4"=1'-0"



1 TYPICAL END APT.
SCALE: 1/4"=1'-0"

SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: SEMPLE & DRANE ARCHITECTS
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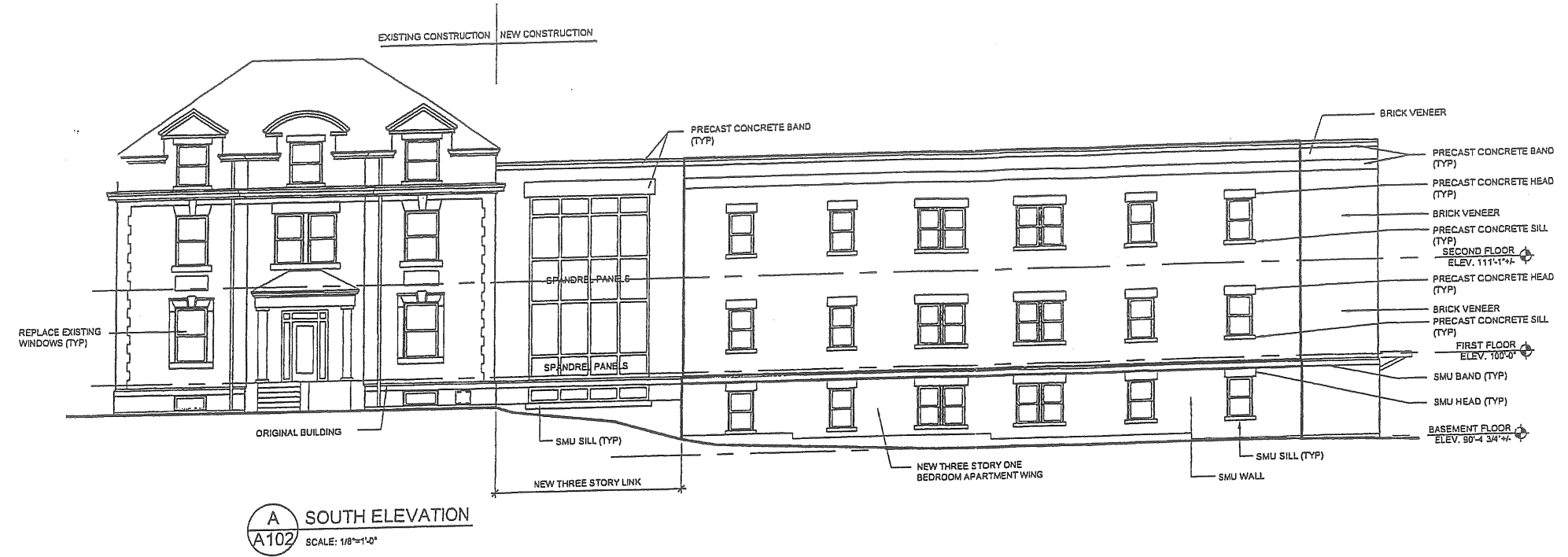
OWNER: IRIS NETWORK
PORTLAND, ME 04101

PROJECT: IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS
PORTLAND, ME 04101

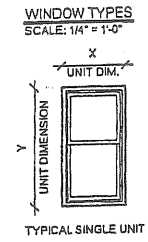
DRAWING: SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

SHEET: A102

3M



A SOUTH ELEVATION
A102 SCALE: 1/8"=1'-0"



B EAST ELEVATION
A101 SCALE: 1/8"=1'-0"

WINDOW SCHEDULE			
MARK	MODEL NO	MASONRY OPENING	REMARKS
A	DH-	3'-0" x 4'-10"	
A'	DH-	3'-0" x 4'-8"	
A1	DH-	3'-0" x 2'-6"	
B	DH-	5'-5 5/8" x 4'-10"	
B'	DH-	5'-5 5/8" x 4'-8"	
C	DH-	3'-0" x 3'-10"	
D	AW (4)	14'-4" x 1'-10"	PROVIDE (4) AWNINGS
E	-	14'-4" x 21'-3"	
F	DH-	3'-0" x 6'-0 1/2"	
F'	DH-	3'-0" x 6'-0 1/2"	
G	DH-	3'-0" x 6'-5 1/2"	
G'	DH-	3'-0" x 6'-5 1/2"	
H	DH-	3'-9" x 5'-5"	
H'	DH-	3'-9" x 5'-5"	
J1	DH-	4'-4" x 2'-8"	
J2	DH-	3'-4" x 2'-8"	
J3	DH-	4'-0" x 1'-10"	
K	DH-	4'-4" x 5'-10 1/2"	
L	DH-	4'-4" x 6'-5 1/2"	
M	DH-	3'-4" x 6'-5 1/2"	
N	DH-	3'-4" x 5'-10 1/2"	
P1	DH-	3'-9" x 6'-0 1/2"	
P2	DH-	3'-9" x 6'-5 1/2"	
P3	DH-	3'-9" x 5'-5"	
Q	DH-	4'-0" x 4'-10 1/2"	
R	DH-	4'-0" x 5'-10 1/2"	
S	DH-	4'-0" x 6'-5 1/2"	
T	DH-	3'-6" x 5'-10 1/2"	

NOTES:
1. SEE SPEC FOR BLINDS/SHADES.
2. VERIFY MODEL NUMBERS & R.O. DIMENSIONS w/MANUFACTURER.

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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(207) 761-4331
asemple@maine.ir.com

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

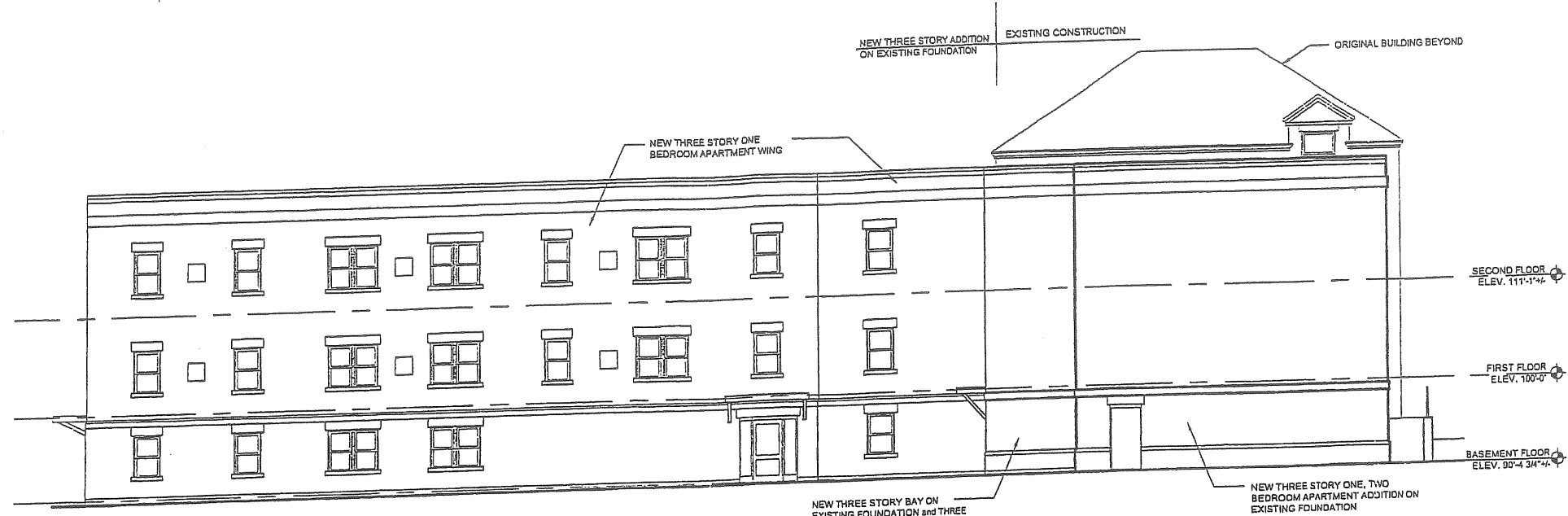
PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

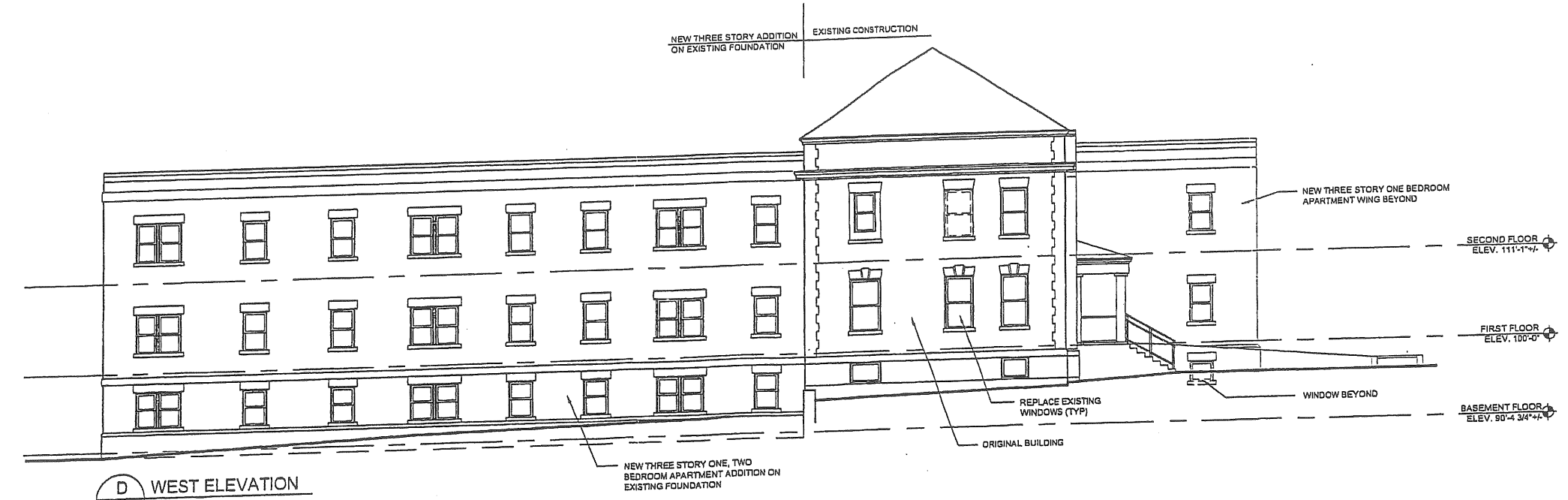
75% SUBMISSION
REVISIONS:

SHEET: **A201**

3n



C NORTH ELEVATION
A101 SCALE: 1/8"=1'-0"



D WEST ELEVATION
A101 SCALE: 1/8"=1'-0"

ARCHITECT:
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OWNER:
IRIS NETWORK
PORTLAND, ME 04101

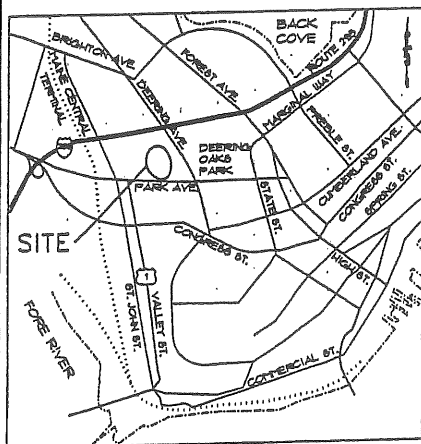
PROJECT:
IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: EXTERIOR ELEVATIONS
75% SUBMISSION
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

SHEET:
A202

LEGEND

- EXISTING**
- PROPERTY LINE
 - BUILDING SETBACK
 - ABUTTERS PROPERTY
 - EASEMENT
 - EDGE OF PAVEMENT
 - BUILDING CURB
 - GAS LINE
 - SANITARY SEWER
 - STORM DRAIN
 - OVERHEAD WIRES
 - UNDERGROUND WIRES
 - WATER LINE
 - FIRE ALARM
 - SPOT GRADE
 - CATCH BASIN
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - TRANSFORMER
 - SEWER MANHOLE
 - UTILITY POLE
 - TREE
 - TREELINE
 - CHAINLINK FENCE
 - BENCHMARK
 - BOUND FOUND
 - IRON PIPE FOUND
 - HYDRANT
 - GATE VALVE
 - LIGHT POLE
 - EX. FLAGPOLE



LOCATION PLAN
SCALE: 1"=200'

PLAN REFERENCES:

- STANDARD BOUNDARY SURVEY OF KING MIDDLE SCHOOL DEERING AVENUE PORTLAND MAINE BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION MAY 31, 1954 CITY FILE 9471
- PLAN OF LAND IN PORTLAND MAINE FOR MAIN INSTITUTION FOR THE BLIND BY OWEN HASKELL, INC. JANUARY 25, 1914 CITY OF PORTLAND ENGINEERING FILE 80516
- PLAN OF PORTLAND SPORTS COMPLEX PARK AVENUE PORTLAND MAINE MADE FOR CITY OF PORTLAND BY OWEN HASKELL, INC. JULY 16, 1954

LOCUS DEED REFERENCE:

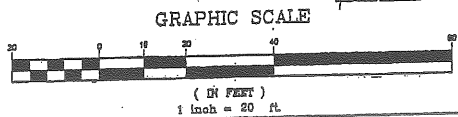
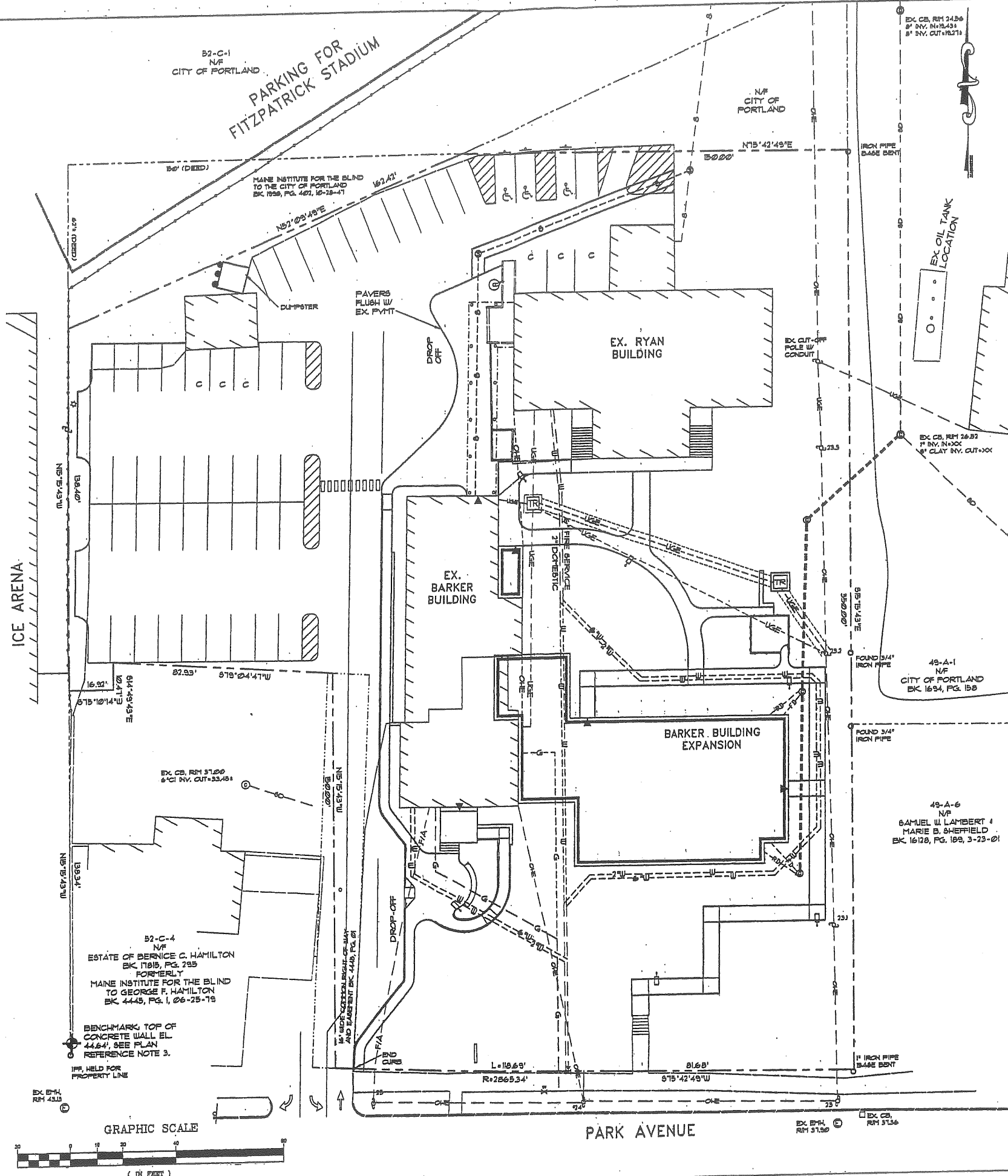
- CITY OF PORTLAND TO THE MAINE INSTITUTION FOR THE BLIND, BOOK 821 PAGE 196 APRIL 4, 1928.

SURVEY NOTES:

- TOTAL AREA: 134 ACRES OR 84,105 SQ. FT.
- LOCUS PARCEL TAX MAP 52-C-3.
- ELEVATIONS BASED ON CITY DATUM PER PLAN REFERENCE 3.

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____



GENERAL NOTES

- OWNER: IRIS NETWORK, 105 PARK AVENUE, PORTLAND, MAINE 04102.
- ARCHITECT: SEMPLE & DRANE ARCHITECTS, PORTLAND, MAINE
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY AND BOUNDARY INFORMATION TAKEN FROM IP/LAN SHOWING A STANDARD BOUNDARY AND TOPOGRAPHIC SITE SURVEY MADE FOR THE IRIS NETWORK PARK STREET PORTLAND, MAINE, 06-03-04 BY DANIEL J. DALFONSO, LLC LAND SURVEYOR OCEAN STREET SOUTH PORTLAND, MAINE. BENCHMARK SEE SURVEY NOTES 3.
- LANDSCAPE DESIGN BY MITCHELL & ASSOCIATES, PORTLAND MAINE.
- ZONE: EXISTING R-5, TO BE REZONED AS CONTRACT ZONE.
- TAX MAP REFERENCE: MAP 52, BLOCK C, LOT 3.
- TOTAL PARCEL: 84,105 s.f., 134 acres.
- EXISTING SERVICES ARE UNCHANGED, PUBLIC GAS, SEWER AND WATER.
- TRASH WILL BE STORED IN A DUMPSTER OUTSIDE THE BUILDING FOR COLLECTION BY A PUBLIC HAULER.
- SOILS ARE TAKEN FROM "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE AND ARE CLASSIFIED AS DEERFIELD (DeS) AND HINCKLEY (Hib).
- AN EASEMENT EXISTS BETWEEN LOT 52-C-4 AND THE SUBJECT PARCEL FOR COMMON RIGHT-OF-WAY AND EASEMENT, BK. 444B, PG. 01.
- THIS PROJECT IS THE SUBDIVISION OF 134 ACRES OF LAND INTO 31 RESIDENTIAL UNITS.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORETCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPICAL RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED, SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THESE PLANS. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

ZONING REQUIREMENTS

- ZONE: CONDITIONAL ZONE**
- THIS REZONING SHALL APPLY ONLY WHILE IRIS OR AN ENTITY CONTROLLED BY OR AFFILIATED WITH IRIS OWNS THE PROPERTY AND THE HOUSING THEREON IS RESERVED FOR USE BY SIGHT IMPAIRED INDIVIDUALS. OTHERWISE, THE PROPERTY SHALL REVERT TO THE R-5 OR ANY SUCCESSOR ZONE.
 - THE PROPERTY SHALL OTHERWISE CONFORM TO THE ZONING REQUIREMENTS OF THE R-5 ZONE WITH THE EXCEPTIONS NOTED HEREIN:
 - A. PARKING:
 - A TOTAL OF 55 PARKING SPACES SHALL BE PROVIDED AND DEDICATED AS FOLLOWS:
 - 42 SPACES DEDICATED TO THE OFFICE USES ON THE PROPERTY
 - 13 SPACES DEDICATED TO THE RESIDENTIAL USE ON THE PROPERTY
- UNDERLYING R-5 ZONE SETBACKS & COVERAGE:**
- | | |
|--------------------------|---------|
| MINIMUM STREET FRONTAGE: | 50 FEET |
| FRONT YARD: | 20 FEET |
| REAR YARD: | 20 FEET |
| SIDE YARD: | 4 FEET |
| 3 STORY STRUCTURE: | 40% |
| MAXIMUM LOT COVERAGE: | 60 FEET |
| MINIMUM LOT WIDTH: | |

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 asemples@maine.net

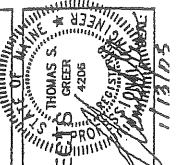
OWNER: IRIS NETWORK
 PORTLAND, ME 04101

PROJECT: IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING: SUBDIVISION AND SITE PLAN
 SCALE: AS SHOWN
 DATE: JAN 15, 2005

SHEET: C1

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ARCHITECT:
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OWNER:
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 PORTLAND, ME 04101

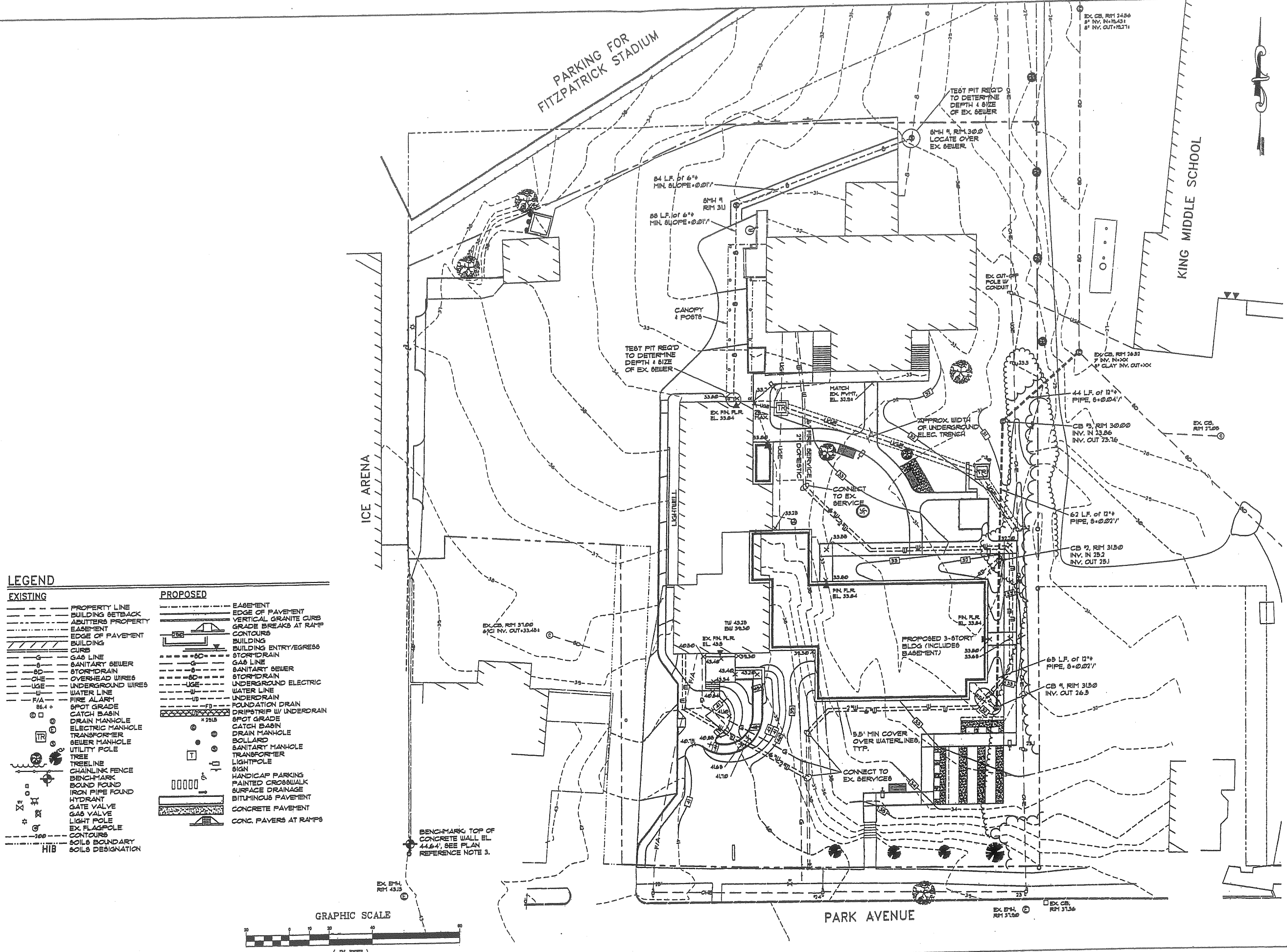
PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN

SCALE: AS SHOWN
 DATE: JAN 13, 2009

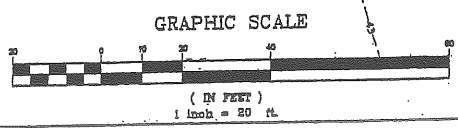
REVISIONS:

SHEET:
C3



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EASEMENT
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ADJUTERS PROPERTY	--- VERTICAL GRANITE CURB
--- EASEMENT	--- GRADE BREAKS AT RAMP
--- EDGE OF PAVEMENT	--- CONTOURS
--- BUILDING	--- BUILDING ENTRY/EGRESS
--- CURB	--- STORM DRAIN
--- GAS LINE	--- GAS LINE
--- SANITARY SEWER	--- SANITARY SEWER
--- STORM DRAIN	--- STORM DRAIN
--- OVERHEAD WIRES	--- UNDERGROUND ELECTRIC
--- UNDERGROUND WIRES	--- WATER LINE
--- FIRE ALARM	--- FOUNDATION DRAIN
--- SPOT GRADE	--- DRIPSTRIP W/ UNDERDRAIN
--- CATCH BASIN	--- SPOT GRADE
--- DRAIN MANHOLE	--- CATCH BASIN
--- ELECTRIC MANHOLE	--- DRAIN MANHOLE
--- TRANSFORMER	--- SANITARY MANHOLE
--- SEWER MANHOLE	--- TRANSFORMER
--- UTILITY POLE	--- LIGHT POLE
--- TREE	--- SIGN
--- CHAINLINK FENCE	--- HANDICAP PARKING
--- BENCHMARK	--- PAINTED CROSSWALK
--- BOUND FOUND	--- SURFACE DRAINAGE
--- IRON PIPE FOUND	--- BITUMINOUS PAVEMENT
--- HYDRANT	--- CONCRETE PAVEMENT
--- GATE VALVE	--- CONG. PAVERS AT RAMPS
--- GAS VALVE	
--- LIGHT POLE	
--- EX FLAGPOLE	
--- CONTOURS	
--- SOILS BOUNDARY	
--- SOILS DESIGNATION	



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EROSION CONTROL GENERAL NOTES

GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILTENCES AND STONE CHECKDAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND WETLANDS
 - BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C22EN.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT T11.02(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80,000 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40,000 LBS/ACRE	
BUDAGRASS	40,000 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80,000 LBS/ACRE	5/15 - 9/14
WINTER RYE	10,000 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	10,000 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

MULCH:

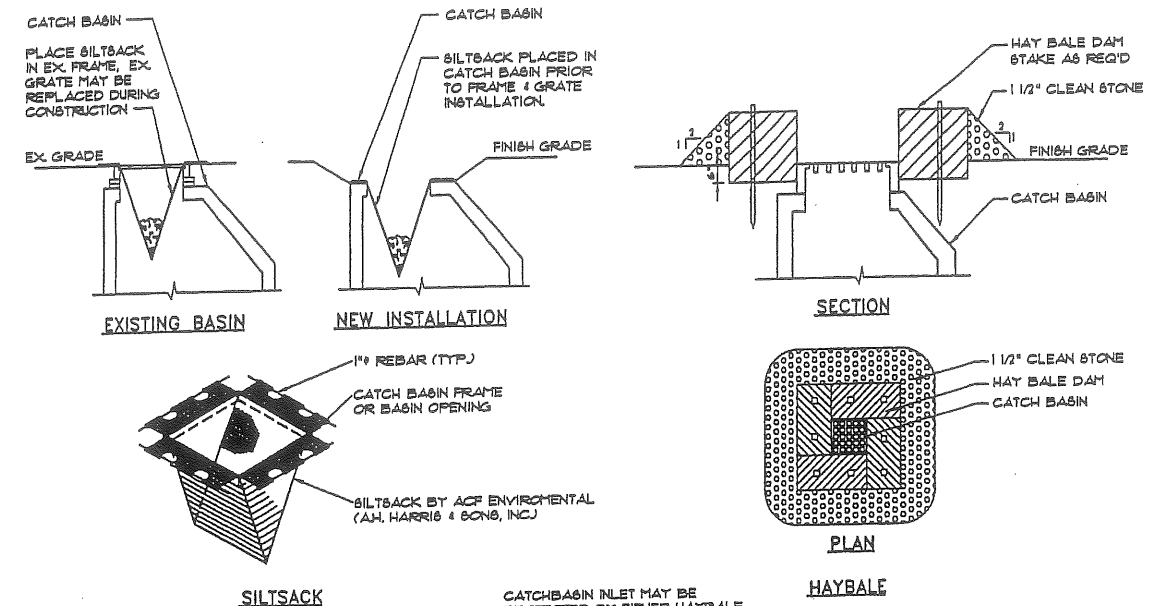
STRAW OR HAY (ANCHORED)	10 - 20 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	155 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	155 - 275 LBS	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
JUTE MESH	AS REQUIRED	

EXCELISIOR MAT

AS REQUIRED

MULCH ANCHORING

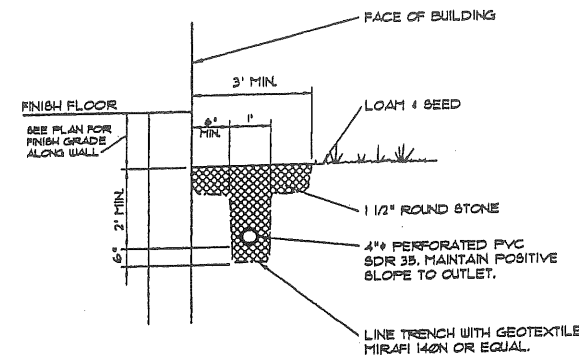
PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK



1 CATCH BASIN PROTECTION

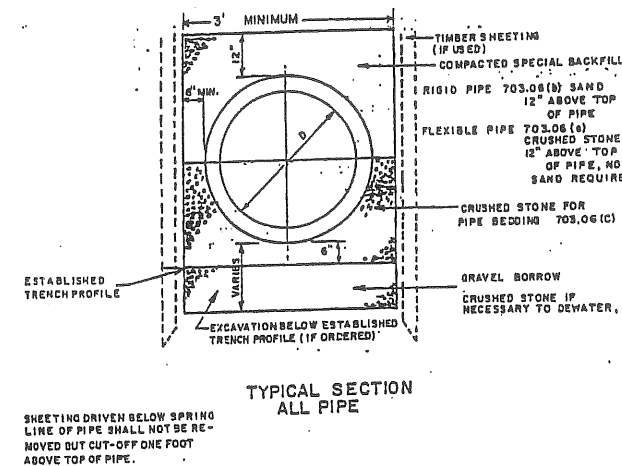
CATCH BASIN INLET MAY BE PROTECTED BY EITHER HAYBALE AND STONE FILTER OR SILTSACK

NOT TO SCALE



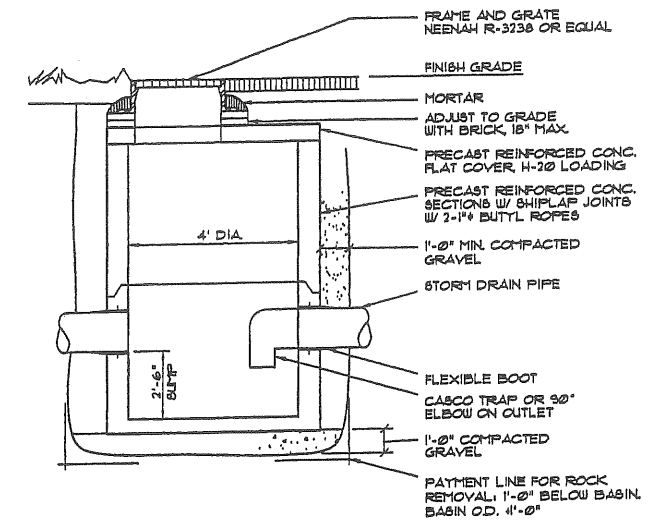
4 STONE DRIPSTRIP SECTION

NOT TO SCALE



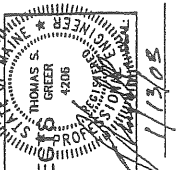
3 TRENCH SECTION

NOT TO SCALE



2 PRECAST CATCH BASIN

NOT TO SCALE



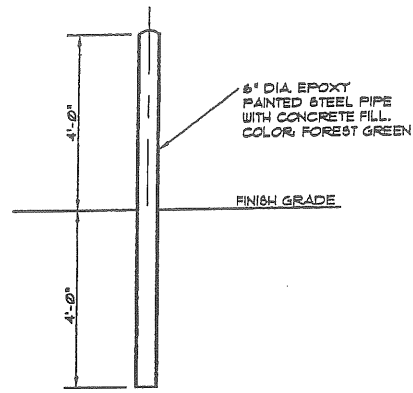
ARCHITECT:
SEMPLE & DRANE ARCHITECTS
 498 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 764-4231
 sdrane@maine.sema.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

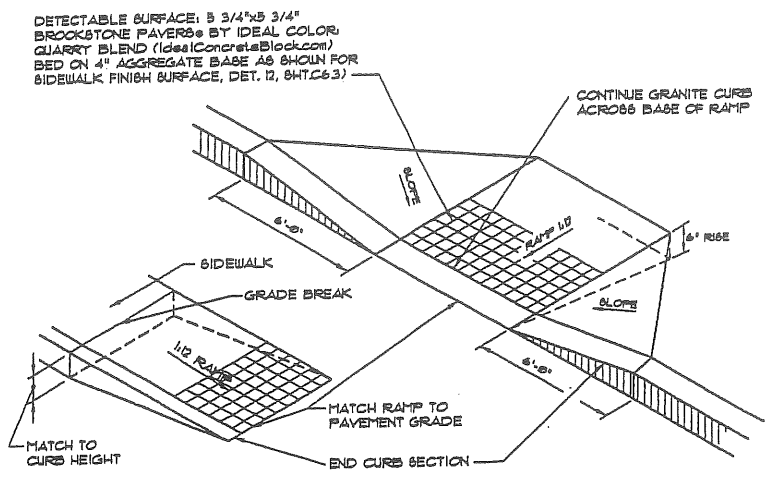
PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING: DETAILS
 SCALE: AS SHOWN
 DATE: JAN. 13, 2005

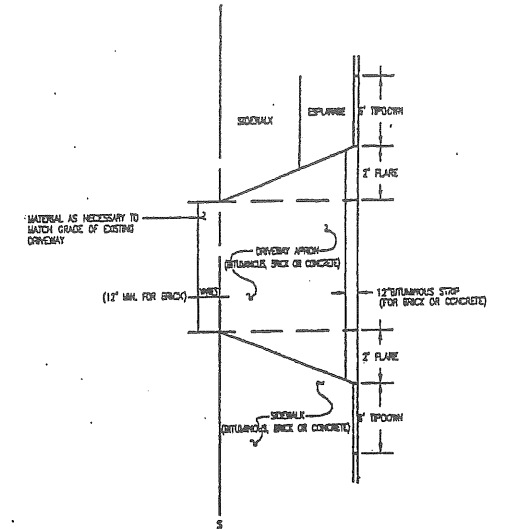
REVISIONS:
 SHEET: **C4**



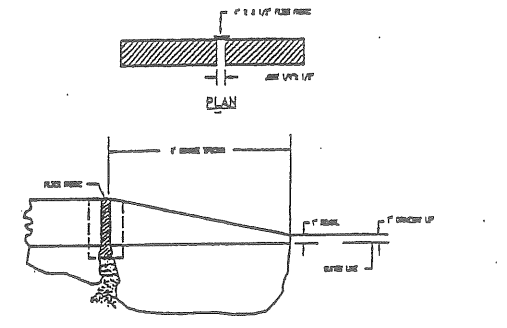
4 STEEL BOLLARD DETAIL
NOT TO SCALE



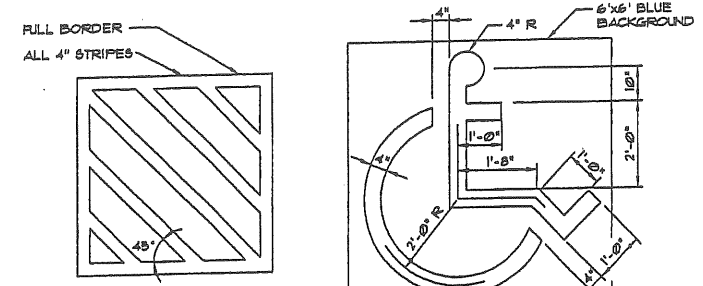
3 SIDEWALK RAMP DETAILS
NOT TO SCALE



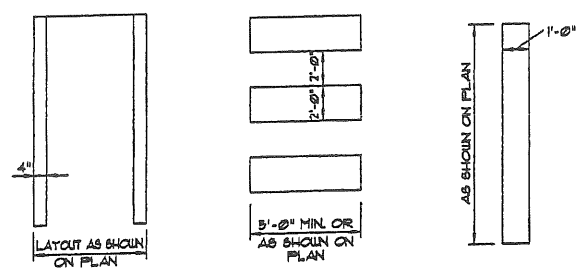
2 SIDEWALK & DRIVEWAY CONSTRUCTION
NOT TO SCALE



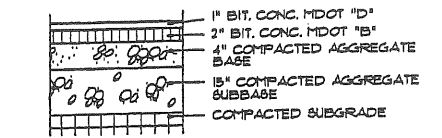
1 CURB INSTALLATION
NOT TO SCALE



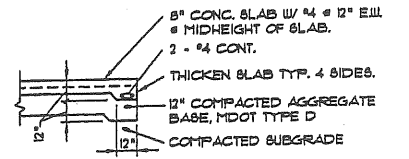
NO PARKING BARRIER FREE STALL SYMBOL



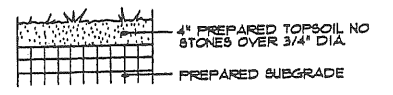
6 STRIPING DETAILS
NOT TO SCALE



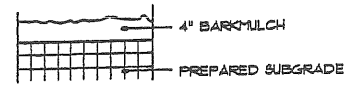
BITUMINOUS PAVEMENT



CONCRETE EQUIPMENT PADS



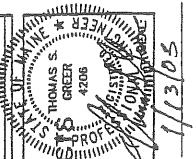
LOAM AND SEED



BARKMULCH BED

NOTES:
1. ALL COURSE THICKNESS AFTER FINAL COMPACTION.
2. SEE LANDSCAPE DRAWINGS FOR BARKMULCH AND LAWN AREAS

5 SURFACING DETAILS
NOT TO SCALE



ARCHITECT:
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OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
**IRIS NETWORK
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING:
DETAILS
SCALE: AS SHOWN
DATE: JAN 13, 2005

SHEET:
C5

GENERAL NOTES

- CALL DIG-SAFE (1-888-344-7237) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DURING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES DAMAGED OR DISRUPTED BY HIS OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY ADDITIONAL WORK TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING.
- DO NOT SCALE FROM DRAWINGS. ANY DIMENSIONS IN DIMENSIONS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS TO MINIMUM 12 INCHES DEEP. LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE NURSERY PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PROPER STAKING OR CUTTING BRANCHES, PROPER FERTILIZATION, AND APPROPRIATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED BY THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, SNOW STORAGE OR VEHICLE PARKING SHALL BE MAINTAINED WITHIN THE 50' WIDE RIGHT-OF-WAY OR TWENTY FEET, WHICHEVER IS GREATER.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATIONS THAT INCLUDE FERTILIZING AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK WOOD.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT AND MUNICIPAL AUTHORITY IF APPLICABLE, PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTATED OR DECOMPOSED MANURE OR COMPOST. ROOTBALL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. DEFECTIVE MATERIAL SHALL BE REPLACED FOR AN ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STUMP MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, HAY BALE BARRIERS, ETC.) SHALL BE REMOVED ONCE STABILIZATION OF DISTURBED AREAS HAS BEEN ACCEPTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO (2) MOWINGS FOR ALL LAWN AREAS OR UNITS. ACCEPTANCE BY THE OWNER. A MINIMUM OF A UNIFORM 7/8" CATCH OR TURF IS REQUIRED FOR ACCEPTANCE.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A. GN	1	ACER GRIMALDI	AMUR MAPLE	2" CAL
A. SAC	3	ACER SACCHARUM	SUGAR MAPLE	3" CAL
M. X. LLM	1	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	LEONARD MESSEL MAGNOLIA	5'-6" HT.
M. SS	4	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2" CAL
P. CA	2	PIRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2.5" CAL
Q. RUB	1	QUERCUS RUBRA	RED OAK	3" CAL
T. FL	22	TRILIX OCCIDENTALIS 'FILIFORMIS'	FILIFORMIS ARBORVITAE	3'-4" HT.
T. CAN	6	TSUGA CANADENSIS	CANADIAN HEMLOCK	4'-5" HT.
SHRUBS				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	#3 CONT.
D. SBR	3	DAPHNE 1. BURKWOOD 'SOMERSET'	SOMERSET DAPHNE	#3 CONT.
F. COU	8	FORSYTHIA COURTIASOL 'GOLD TIDE'	GOLD TIDE FORSYTHIA	#3 CONT.
F. GAR	10	FOTHERGILLA GARDENI	DWARF BOTTLEBRUSH	16"-24" HT.
J. COC	22	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	#3 CONT.
J. PRO	4	JUNIPERUS PROCUMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	#3 CONT.
K. LTI	3	KALMIA LATIFOLIA 'TIDDLYWINKS'	TIDDLYWINKS MOUNTAIN LAUREL	#3 CONT.
R. WH	6	RHOODODENDRON 'WIDEBEAM'	WHOSEAM RHOODODENDRON	#3 CONT.
PERENNIALS				
H. SDO	18	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL POT
GROUNDCOVERS				
A. GEN	75	ALUJA GENEVENSIS	BUGLE WEED	FLAT
A. UU	5	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	#3 CONT.

***NOTES:**

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL, OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS
 1. FILL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROAD-LEAVED EVERGREENS AND RELATED BRACADE PLANTS.
 2. FILL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK:
 REMOVE CONTAINER PROTECTING ROOT BALL GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OF 3/4" DIAMETER STAKES WITH #12 GAUGE WIRE ENCASED IN 2-3" RATED REINFORCED RUBBER HOSE, 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).

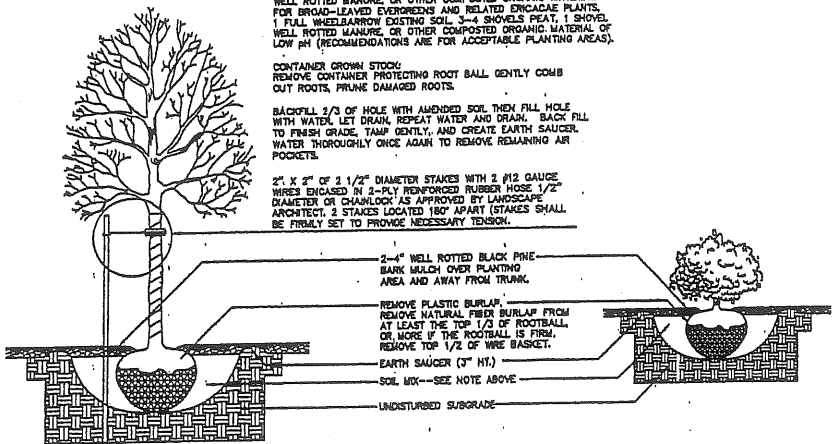
2-4" WELL ROTTED BLACK PINE BARK MULCH OVER PLANTING AREA AND AWAY FROM TRUNK.

REMOVE PLASTIC BURLAP FROM REMOVE NATURAL FIBER BURLAP FROM AT LEAST THE TOP 1/2 OF ROOTBALL OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/2 OF WIRE BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX - SEE NOTE ABOVE

UNDISTURBED SUBGRADE

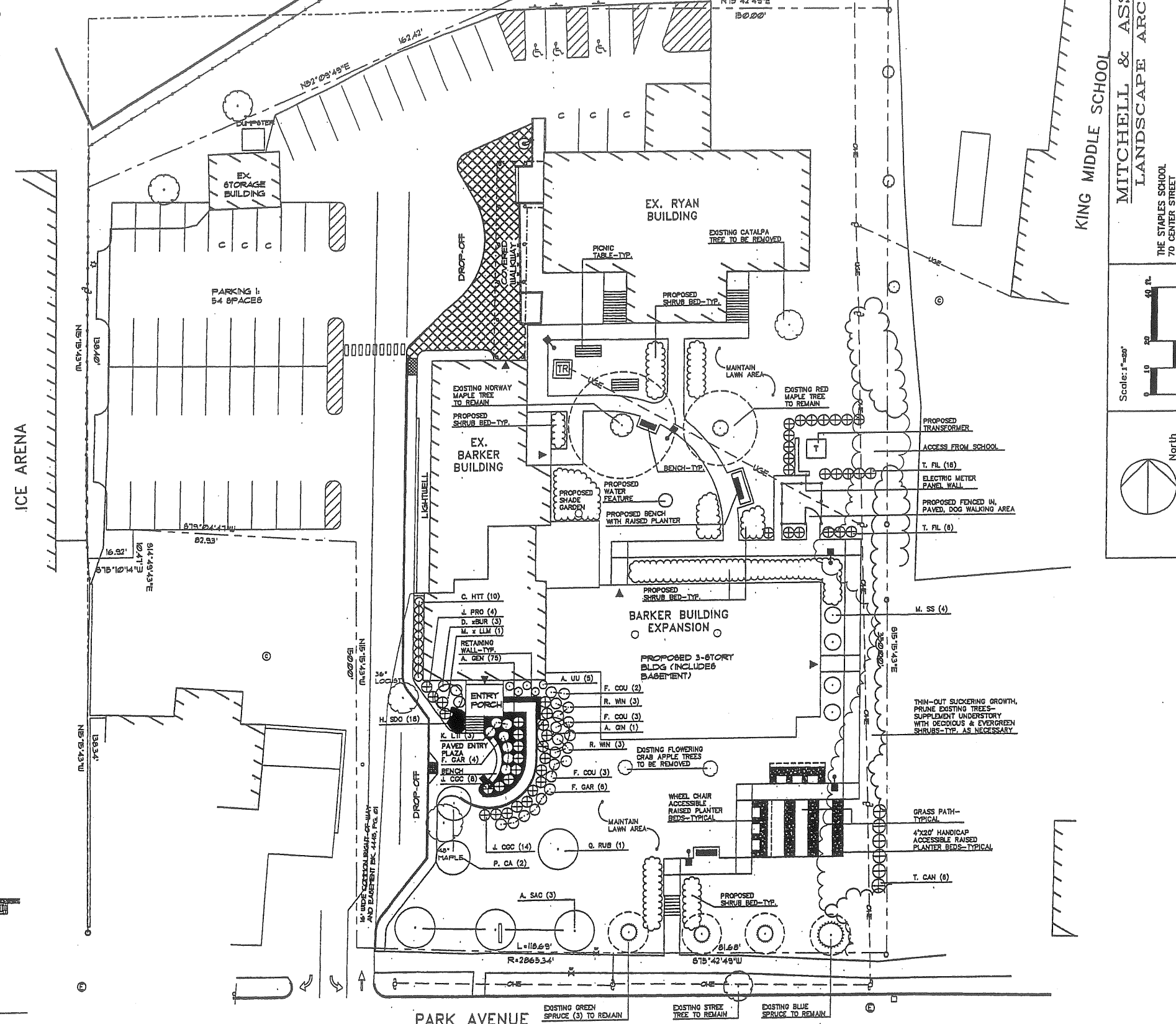


TREE INSTALLATION

NOT TO SCALE

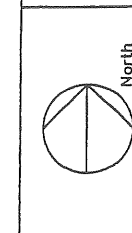
ICE ARENA

PARKING FOR FITZPATRICK STADIUM



MITCHELL & ASSOCIATES
 LANDSCAPE ARCHITECTS

THE STAPLES SCHOOL
 70 CENTER STREET
 PORTLAND, MAINE 04101



ARCHITECT: SEMPLE & DRANE ARCHITECTS
 496 CONGRESS STREET
 PORTLAND, MAINE 04101
 TEL: (207) 774-4427
 FAX: (207) 874-2460

OWNER: IRIS NETWORK
 PORTLAND, ME 04101

PROJECT: IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

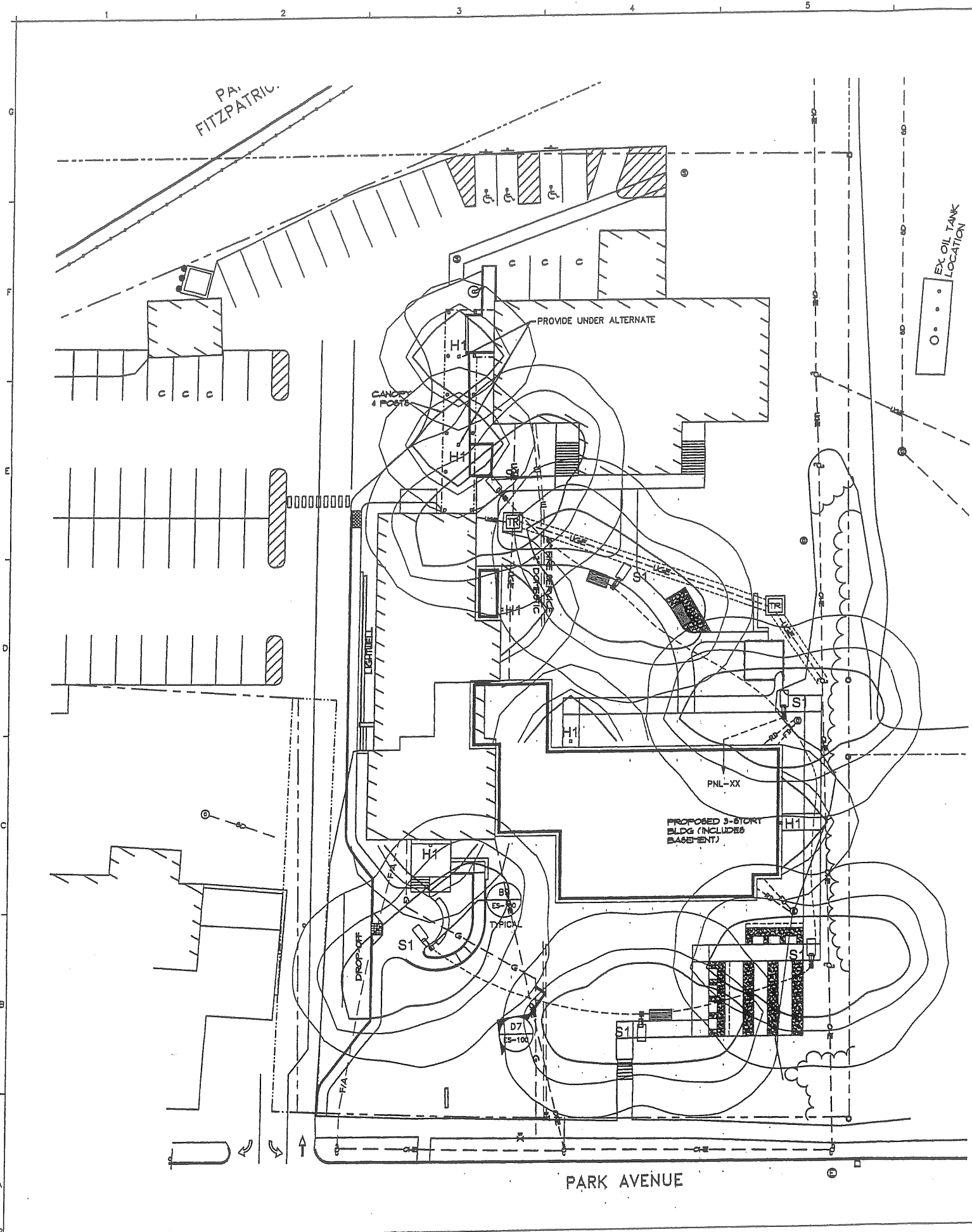
DRAWING: PRELIMINARY PLANTING PLAN
 SCALE: AS SHOWN
 DATE: DECEMBER 11, 2004

REVISIONS:

SHEET: 01

D:\vend Projects\2003\03181-IRIS NETWORK\4way\LANDSCAPE\03181_LMA-PlantingPlan_Bea_12-15-04.dwg, Plotting, 1/13/2005 10:00:35 AM, Joby

Projects (2005.03.10) - IRIS NETWORK_VeryLighting_030605.dwg, E-000, 1/13/2005 10:05:37 AM

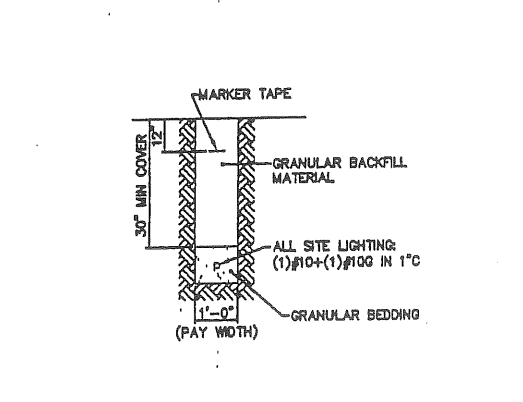


1. POLE BASES, TRANSFORMER PADS AND MANHOLES PROVIDED BY DIVISION 16.
2. PROTECT ALL EXISTING UNDERGROUND ELECTRIC AND COMMUNICATIONS WIRING DURING CONSTRUCTION, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, EXCEPT WHERE SUCH IS INDICATED TO BE REMOVED.
3. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.
4. WHERE EXISTING OVERHEAD WIRING IS INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ALL ASSOCIATED POLES, GUYS, ANCHORS, ETC.
5. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION OF UNDERGROUND UTILITIES.
6. WHERE EXISTING ITEMS SUCH AS POLES LIGHTS ETC. ARE INDICATED TO BE REMOVED, PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES, CONNECTIONS, ETC. AS REQUIRED FOR CONTINUED OPERATION OF EXISTING ITEMS ON THE SAME CIRCUIT OR FED FROM THE SAME CONDUIT THAT ARE INDICATED TO REMAIN.
7. SLOPE ALL CONDUITS AWAY FROM THE BUILDING THAT ENTER THE BUILDING FOOTPRINT ~ PROVIDE A WEEP HOLE AT THE LOWEST POINT OF THE CONDUIT.

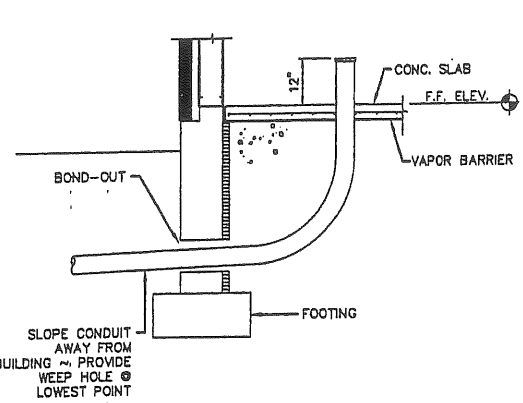
- (E) EXISTING
 - (R) REMOVE
 - FA FIRE ALARM
 - C CATV
 - E ELECTRIC POWER
 - F FIBER OPTIC CABLING
 - T TELEPHONE
 - OH OVERHEAD
 - UG UNDERGROUND
- OVERHEAD WIRING ~ TYPE AS INDICATED
 - - - - - UNDERGROUND WIRING ~ TYPE AS INDICATED
- UTILITY POLE
 - IN-GROUND JUNCTION BOX
 - ELECTRICAL MANHOLE
 - ELECTRICAL HANDHOLE ~ 11"x16" UNO
 - PADMOUNT TRANSFORMER
 - ⊙ METER & CT CABINET ~ PEDESTAL MOUNTED
 - SINGLE POLE MOUNTED LIGHT
 - DOUBLE POLE MOUNTED LIGHT

F7 SITE PLAN GENERAL NOTES
NO SCALE

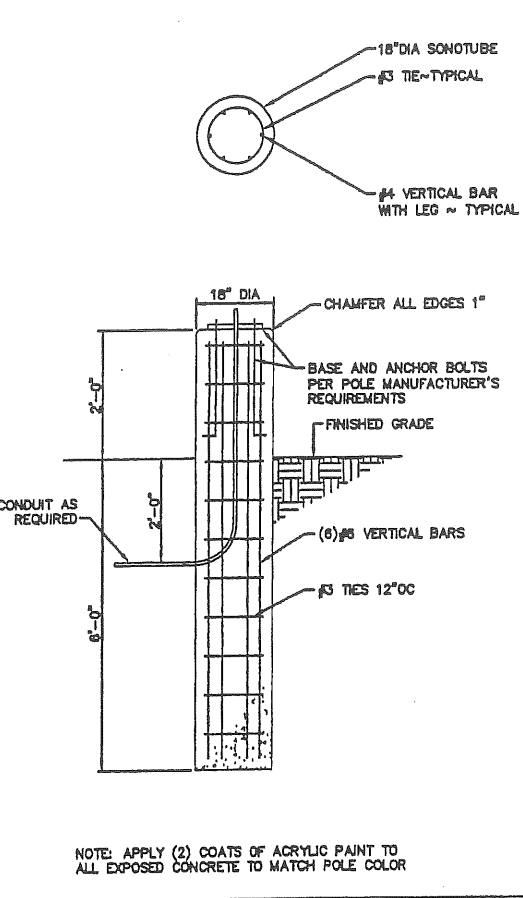
F9 ELECTRICAL LEGEND
NO SCALE



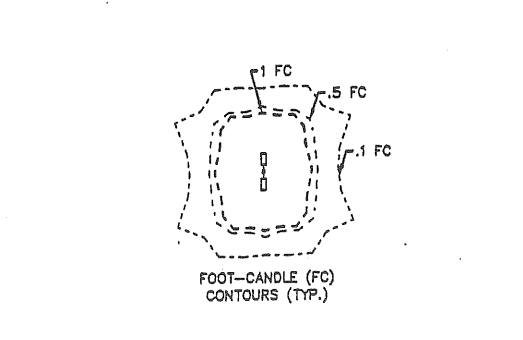
D7 TYPICAL SITE LTG TRENCH DETAIL
NO SCALE



G1 CONDUIT ENTRANCE INTO BUILDING
NO SCALE



B9 LIGHT POLE BASE DETAIL
NO SCALE ~ FOR ALL SITE LIGHTING, UNO ~



A7 FOOT-CANDLE (FC) CONTOURS (TYP.)
NO SCALE

FOR REVIEW
 12 JAN 2005



ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
 496 CONGRESS STREET
 PORTLAND, MAINE 04101
 TEL: (207) 761-4231 FAX: (207) 761-0152
 sdrane@semplerdane.com

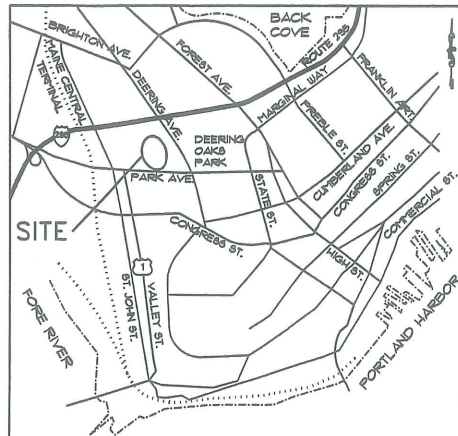
ENGINEERING: **allied engineering, inc.**
 1000 BROADWAY
 PORTLAND, MAINE 04101
 TEL: (207) 761-4231 FAX: (207) 761-0152
 aeng@alliedeng.com

OWNER: **IRIS PARK APARTMENTS L.P.**
 PORTLAND, MAINE 40101

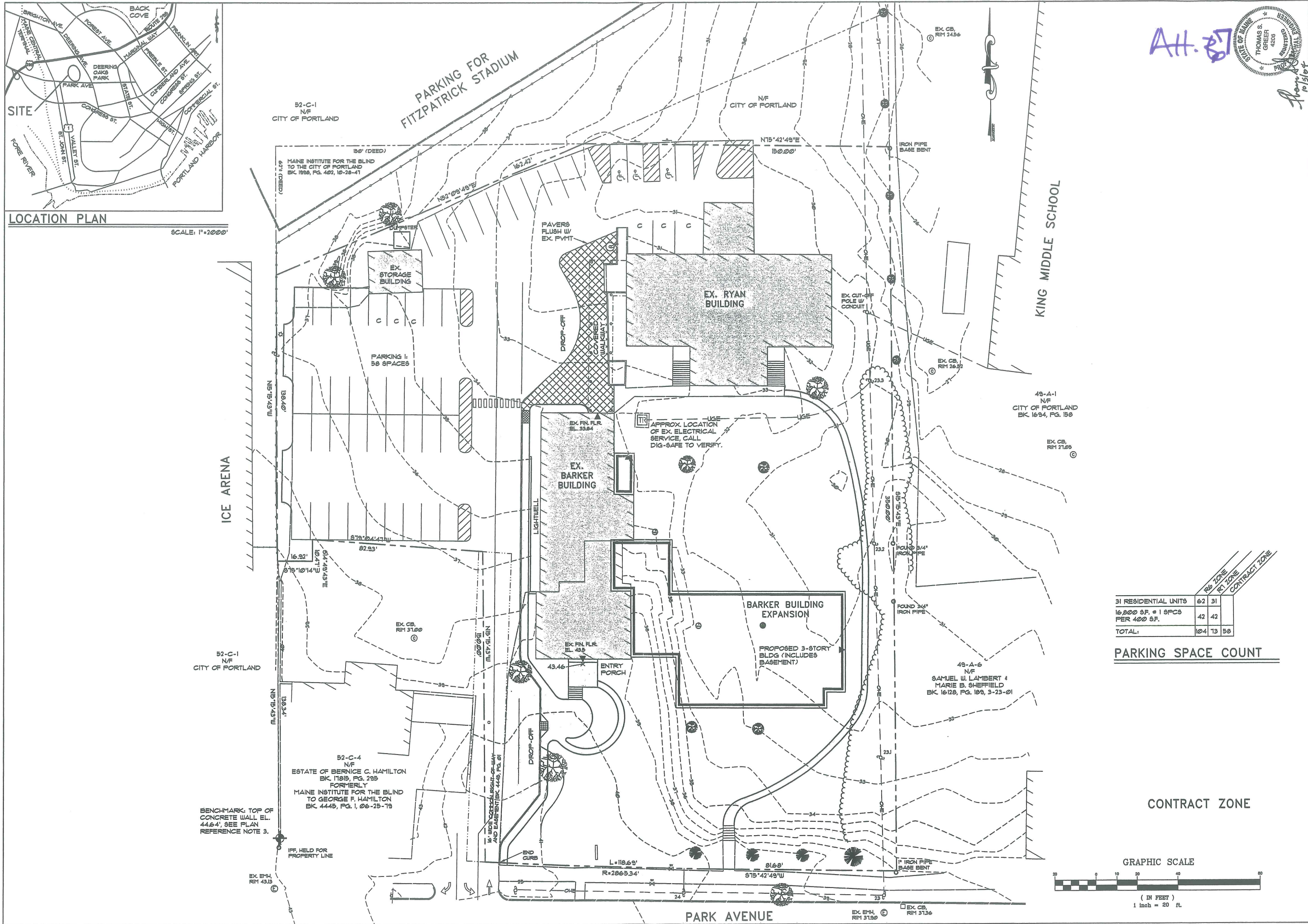
PROJECT: **IRIS PARK APARTMENTS RENOVATION & ADDITIONS**
 PORTLAND, MAINE 04101

DRAWING: **ELECTRICAL LEGEND AND NOTES**
 SCALE: AS NOTED
 CAD FILE: 030605.DWG
 DATE:

SHEET: **ES-100**



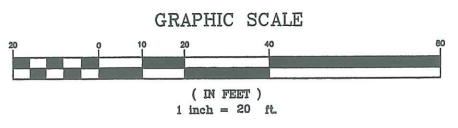
LOCATION PLAN
SCALE: 1"=200'



THOMAS S. GREER
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496 CONGRESS STREET
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aseemple1@maine.rr.com

	RS ZONE	IR ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,000 S.F. @ 1 SPC'S PER 400 S.F.	42	42	
TOTAL:	104	73	58

PARKING SPACE COUNT



CONTRACT ZONE

ARCHITECT: SEMPLE & DRANE ARCHITECTS
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OWNER: IRIS NETWORK
PORTLAND, ME 04101

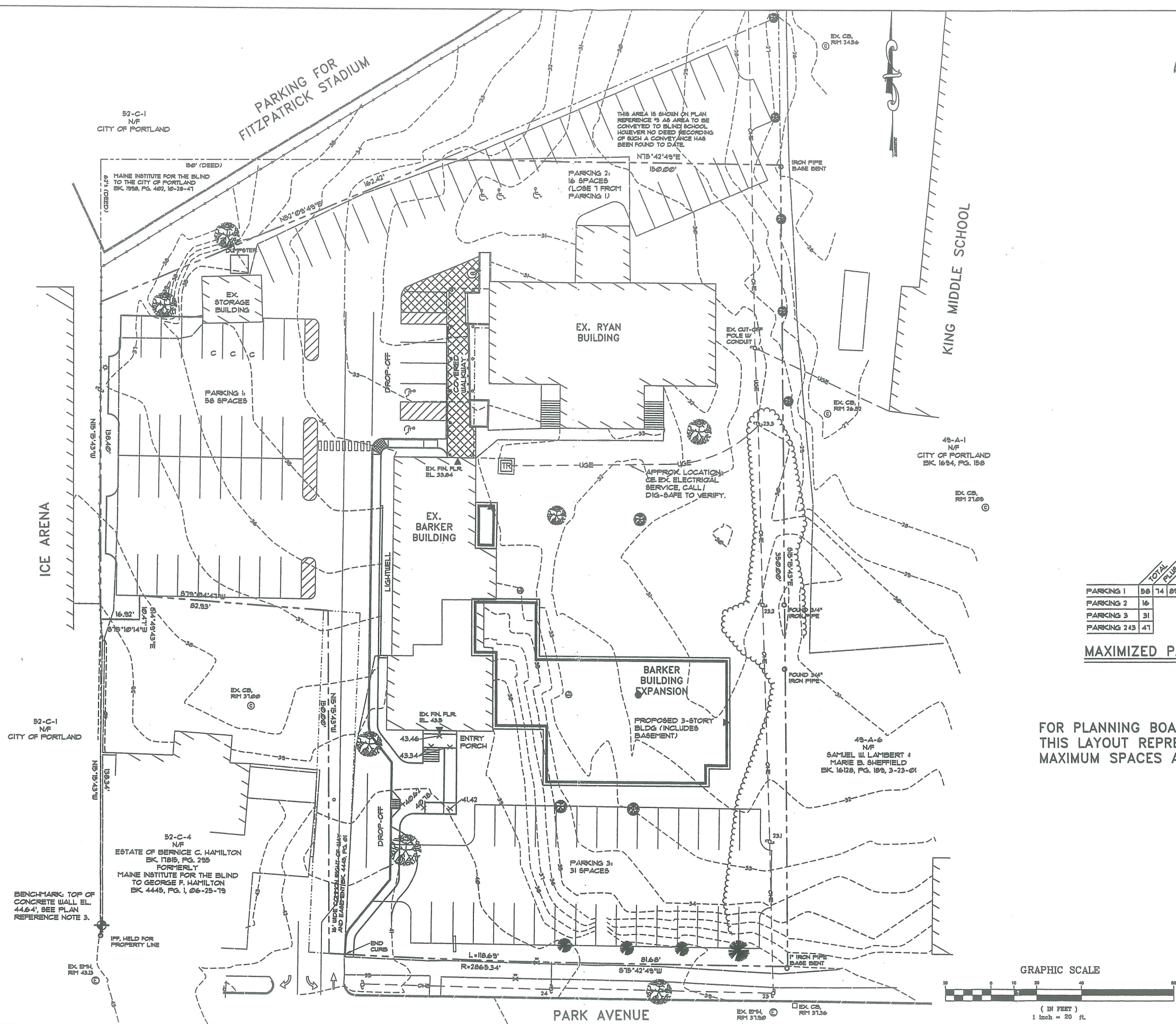
PROJECT: IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: CONTRACT ZONE LAYOUT
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

REVISIONS:
10/5/04, REV'D ABUTTER

SHEET: 01

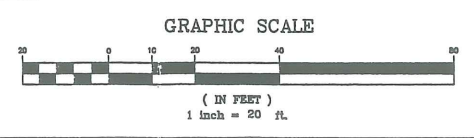
Att. B



	TOTAL
PARKING 1	58
PARKING 2	16
PARKING 3	31
PARKING 243	41
TOTAL PLUS PARKING 1	74
TOTAL PLUS PARKING 2	89
TOTAL PLUS PARKING 3	125

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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12001761-4231

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
PORTLAND, ME 04101

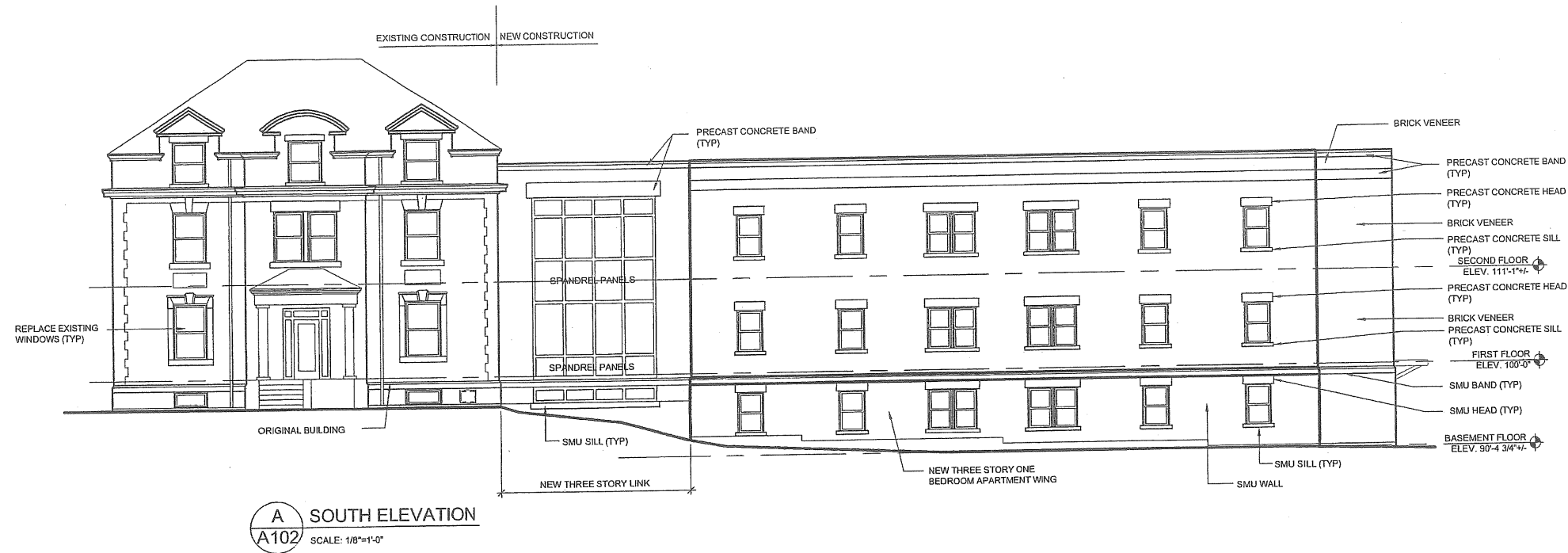
DRAWING: **MAXIMUM PARKING LAYOUT**

SCALE: AS SHOWN

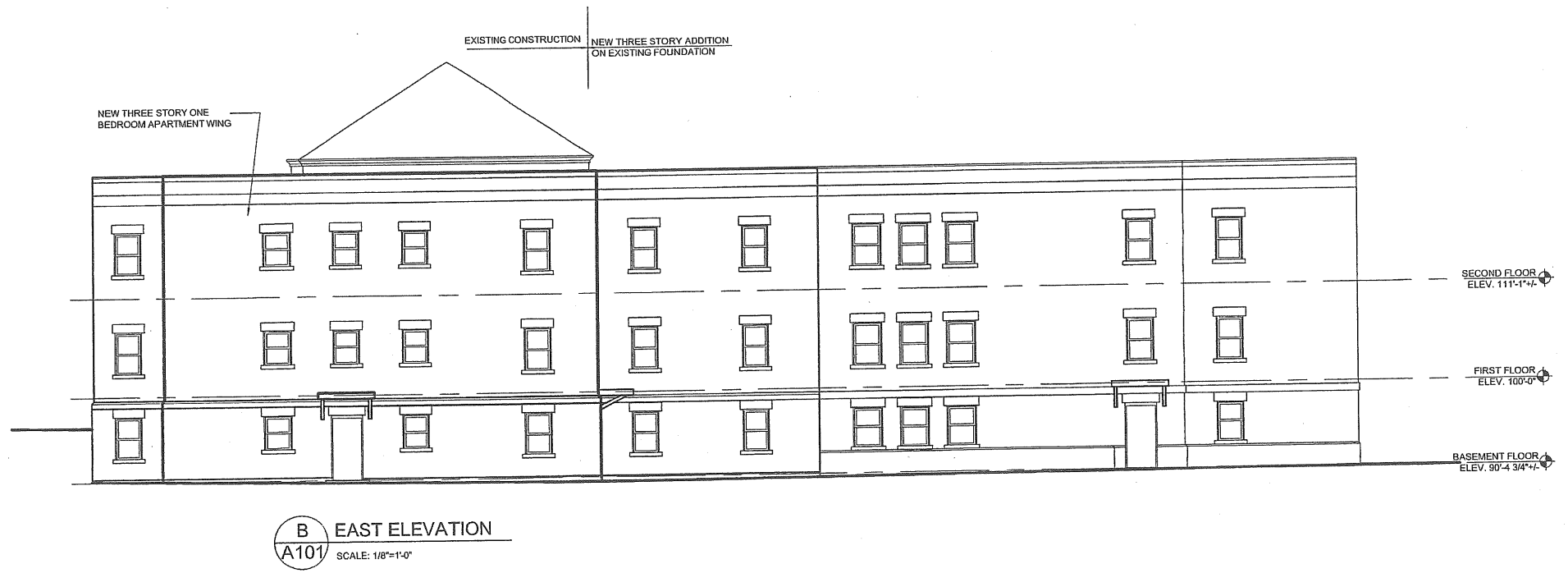
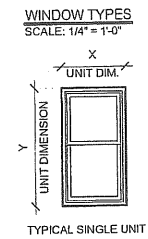
DATE: AUGUST 3, 2004

REVISIONS:

SHEET: **02**



A SOUTH ELEVATION
 A102 SCALE: 1/8"=1'-0"



B EAST ELEVATION
 A101 SCALE: 1/8"=1'-0"

MARK	MODEL NO	MASONRY OPENING	REMARKS
A	DH-	3'-0" x 4'-10"	
A'	DH-	3'-0" x 4'-8"	
A1	DH-	3'-0" x 2'-6"	
B	DH-	5'-9 5/8" x 4'-10"	
B'	DH-	5'-9 5/8" x 4'-8"	
C	DH-	3'-0" x 3'-10"	
D	AW (4)	14'-4" x 1'-10"	PROVIDE (4) AWNINGS
E	-	14'-4" x 21'-3"	
F	DH-	3'-9" x 6'-0 1/2"	
F'	DH-	3'-9" x 6'-0 1/2"	
G	DH-	3'-9" x 6'-5 1/2"	
G'	DH-	3'-9" x 6'-5 1/2"	
H	DH-	3'-9" x 5'-5"	
H'	DH-	3'-9" x 5'-5"	
J1	DH-	4'-4" x 2'-8"	
J2	DH-	3'-4" x 2'-8"	
J3	DH-	4'-0" x 1'-10"	
K	DH-	4'-4" x 5'-10 1/2"	
L	DH-	4'-4" x 6'-5 1/2"	
M	DH-	3'-4" x 6'-5 1/2"	
N	DH-	3'-4" x 5'-10 1/2"	
P1	DH-	3'-9" x 6'-0 1/2"	
P2	DH-	3'-9" x 6'-5 1/2"	
P3	DH-	3'-9" x 5'-5"	
Q	DH-	4'-0" x 4'-10 1/2"	
R	DH-	4'-0" x 5'-10 1/2"	
S	DH-	4'-0" x 6'-5 1/2"	
T	DH-	3'-6" x 5'-10 1/2"	

NOTES:
 1. SEE SPEC FOR BLINDS/SHADES.
 2. VERIFY MODEL NUMBERS & R.O. DIMENSIONS w/MANUFACTURER.

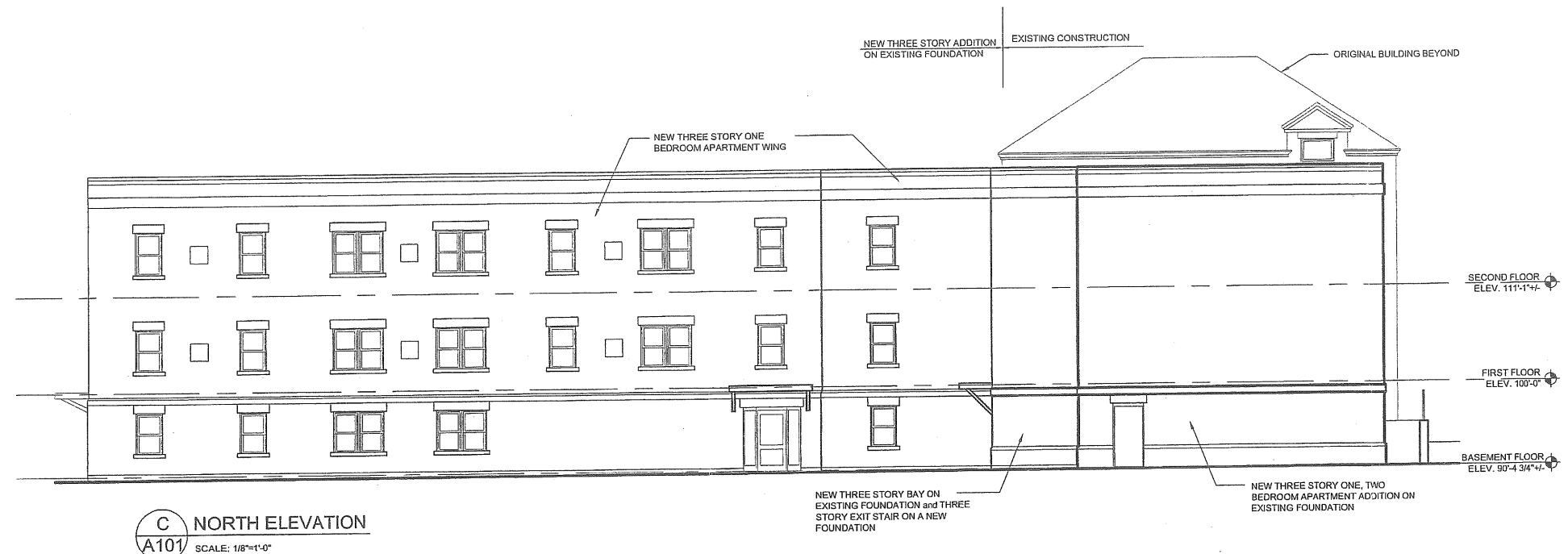
ARCHITECT:
SEMPLE & DRANE ARCHITECTS
 486 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
 asemple1@maine.rr.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

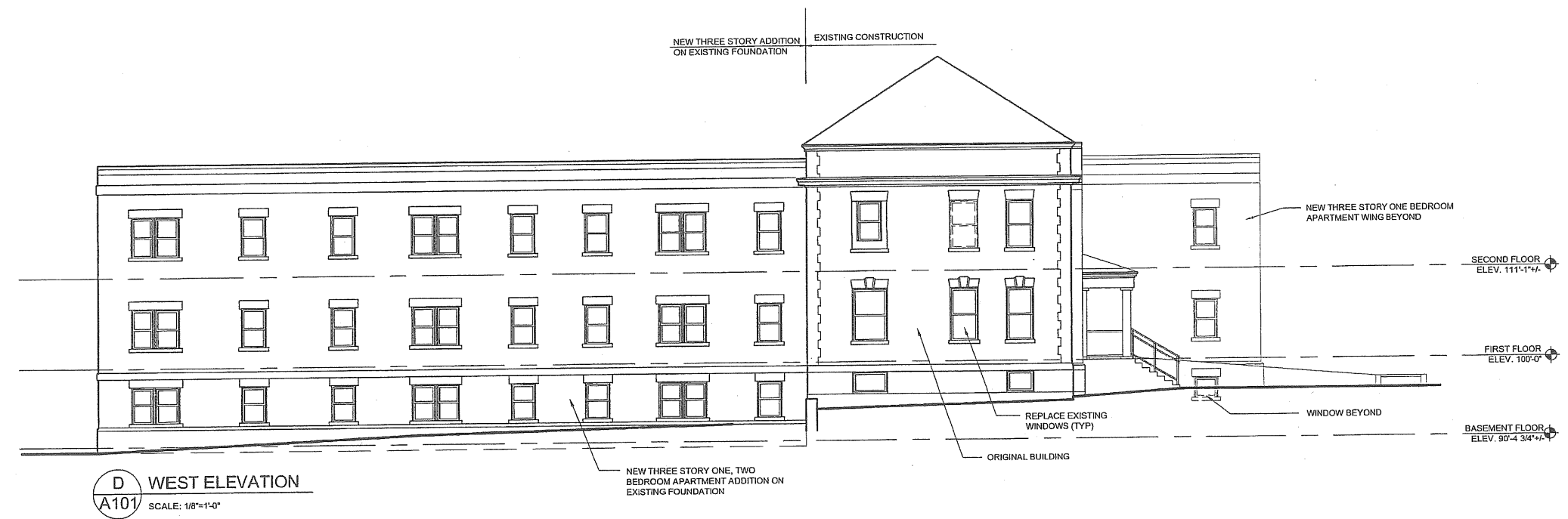
PROJECT:
**IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
 75% SUBMISSION
 SCALE: 1/8"=1'-0"
 DATE: JAN. 13, 2005

REVISIONS:
 SHEET:
A201

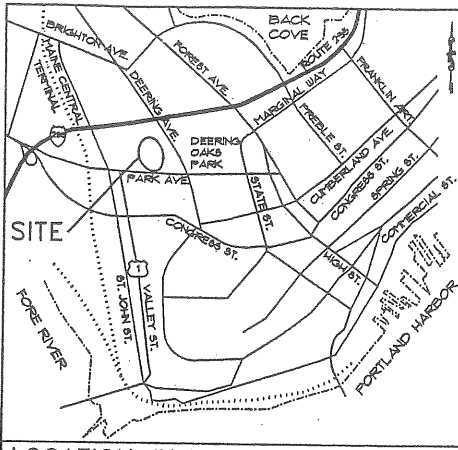


C NORTH ELEVATION
 A101 SCALE: 1/8"=1'-0"



D WEST ELEVATION
 A101 SCALE: 1/8"=1'-0"

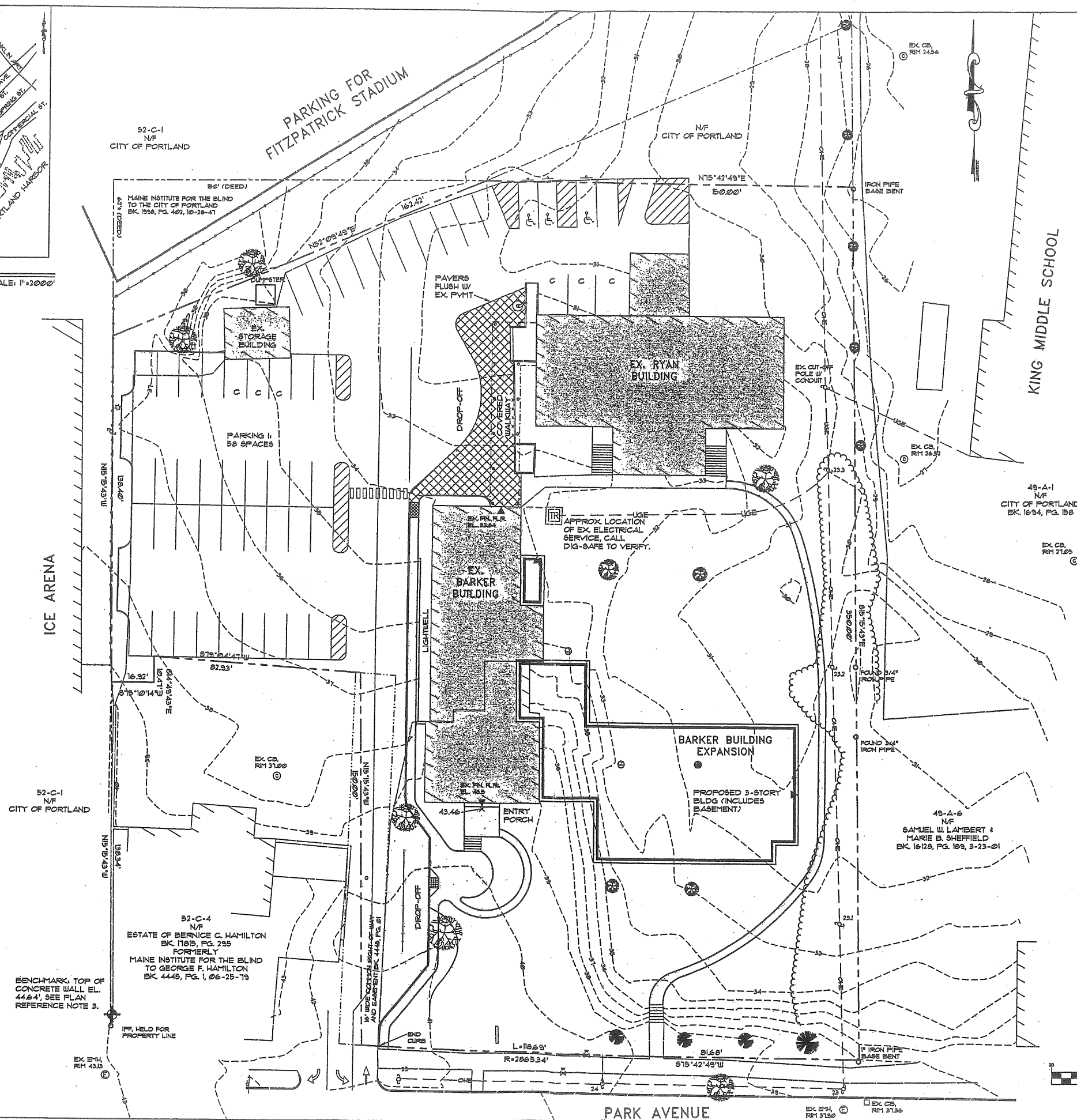
ARCHITECT:	SEMPLE & DRANE ARCHITECTS 486 CONGRESS STREET PORTLAND, MAINE 04101 (207) 761-4231 1689 Middle Street Portland, ME 04101 info@sempleanddrane.com
OWNER:	IRIS NETWORK PORTLAND, ME 04101
PROJECT:	IRIS PARK APARTMENTS L.P. RENOVATION & ADDITIONS PORTLAND, ME 04101
DRAWING:	EXTERIOR ELEVATIONS
SCALE:	1/8"=1'-0"
DATE:	JAN. 13, 2005
SHEET:	A202



LOCATION PLAN

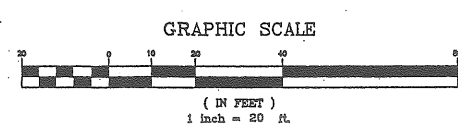
SCALE: 1"=100'

Handwritten initials: **A.H. 87**
 Professional seal for Thomas S. Greer, Registered Professional Engineer, No. 4200, State of Maine.



PARKING SPACE COUNT

	RE ZONE	R1 ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,800 SF. @ 1 SPCS PER 400 SF.	42	42	
TOTAL:	104	73	58



ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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 asemp1@maine.rr.com

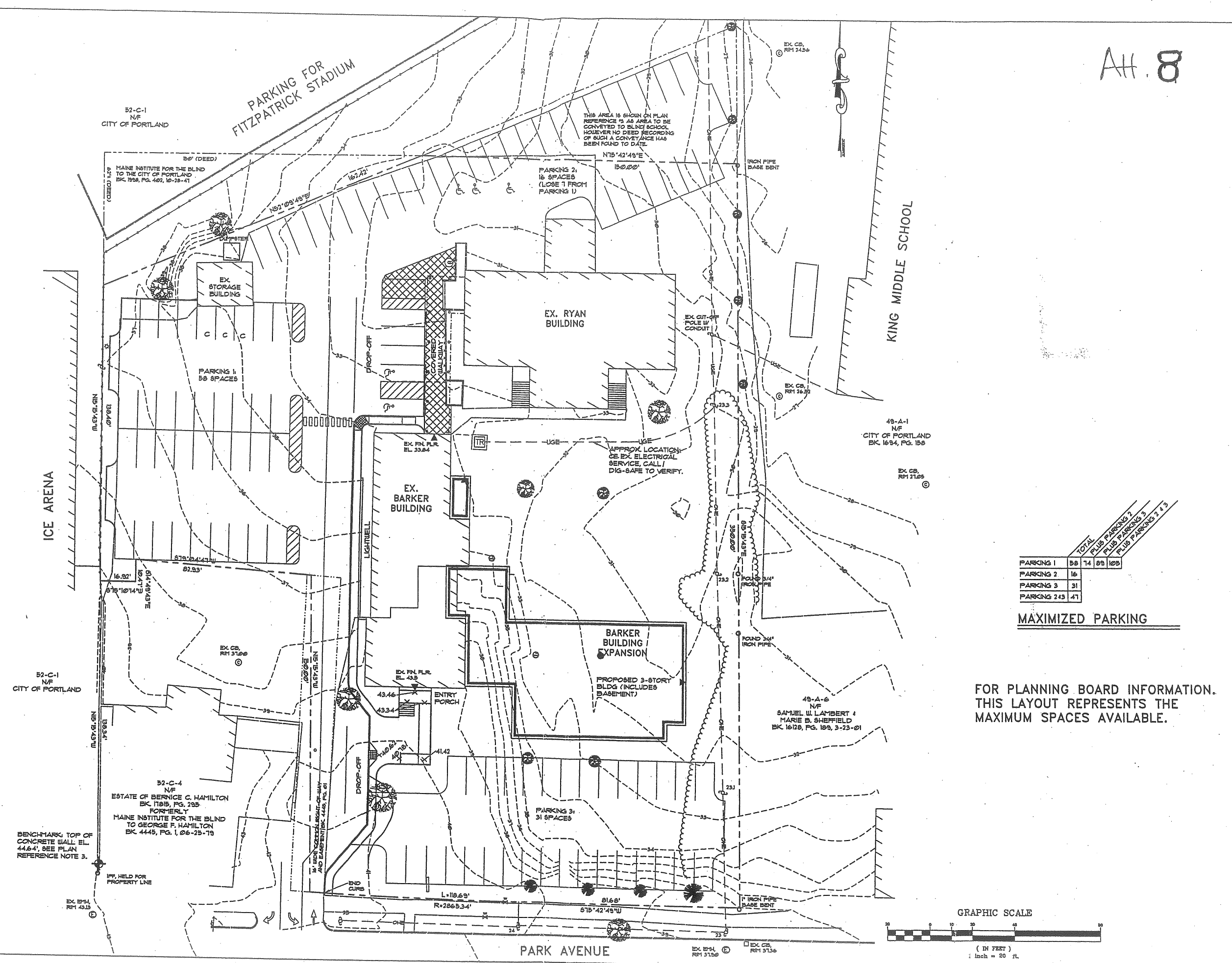
OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **CONTRACT ZONE LAYOUT**
 SCALE: AS SHOWN
 REVISIONS: 10/6/04, REV'D ABUTTER
 DATE: AUGUST 3, 2004

SHEET: **01**

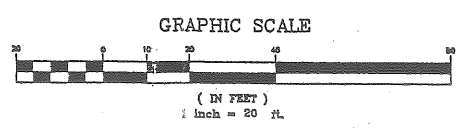
Att. B



	TOTAL	PLUS PARKING 2	PLUS PARKING 3	PLUS PARKING 2 & 3
PARKING 1	58	14	09	105
PARKING 2	16			
PARKING 3	31			
PARKING 2 & 3	47			

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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PORTLAND, MAINE
PHONE: 761-4231

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **MAXIMUM PARKING LAYOUT**

SCALE: AS SHOWN

REVISIONS:

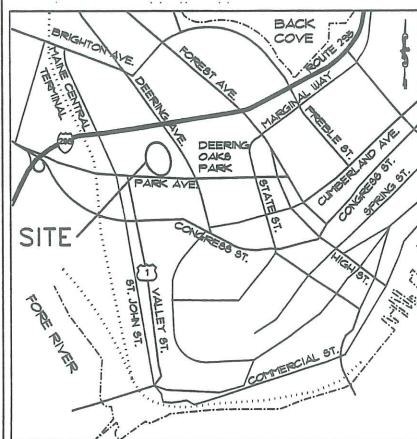
DATE: AUGUST 3, 2004

SHEET: **02**

LEGEND

EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ABUTTERS PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- BUILDING
- CURB
- CHAINLINK FENCE
- OVERHEAD WIRES
- UNDERGROUND WIRES
- GAS LINE
- SANITARY SEWER
- STORM DRAIN
- OVERHEAD WIRES
- UNDERGROUND WIRES
- WATER LINE
- FIRE ALARM
- SPOT GRADE
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TRANSFORMER
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- CHAINLINK FENCE
- BENCHMARK
- FOUND FOUND
- IRON PIPE FOUND
- HYDRANT
- GATE VALVE
- GAS VALVE



LOCATION PLAN

SCALE: 1"=200'

PLAN REFERENCES:

1. STANDARD BOUNDARY SURVEY OF KING MIDDLE SCHOOL DEERING AVENUE PORTLAND MAINE BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION MAY 31, 1954 CITY FILE 9471
2. PLAN OF LAND IN PORTLAND MAINE FOR MAIN INSTITUTION FOR THE BLIND BY OWEN HASKELL, INC. JANUARY 25, 1914 CITY OF PORTLAND ENGINEERING FILE 805/6.
3. PLAN OF PORTLAND SPORTS COMPLEX PARK AVENUE PORTLAND MAINE MADE FOR CITY OF PORTLAND BY OWEN HASKELL, INC. JULY 16, 1954.

LOCUS DEED REFERENCE:

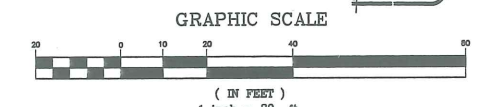
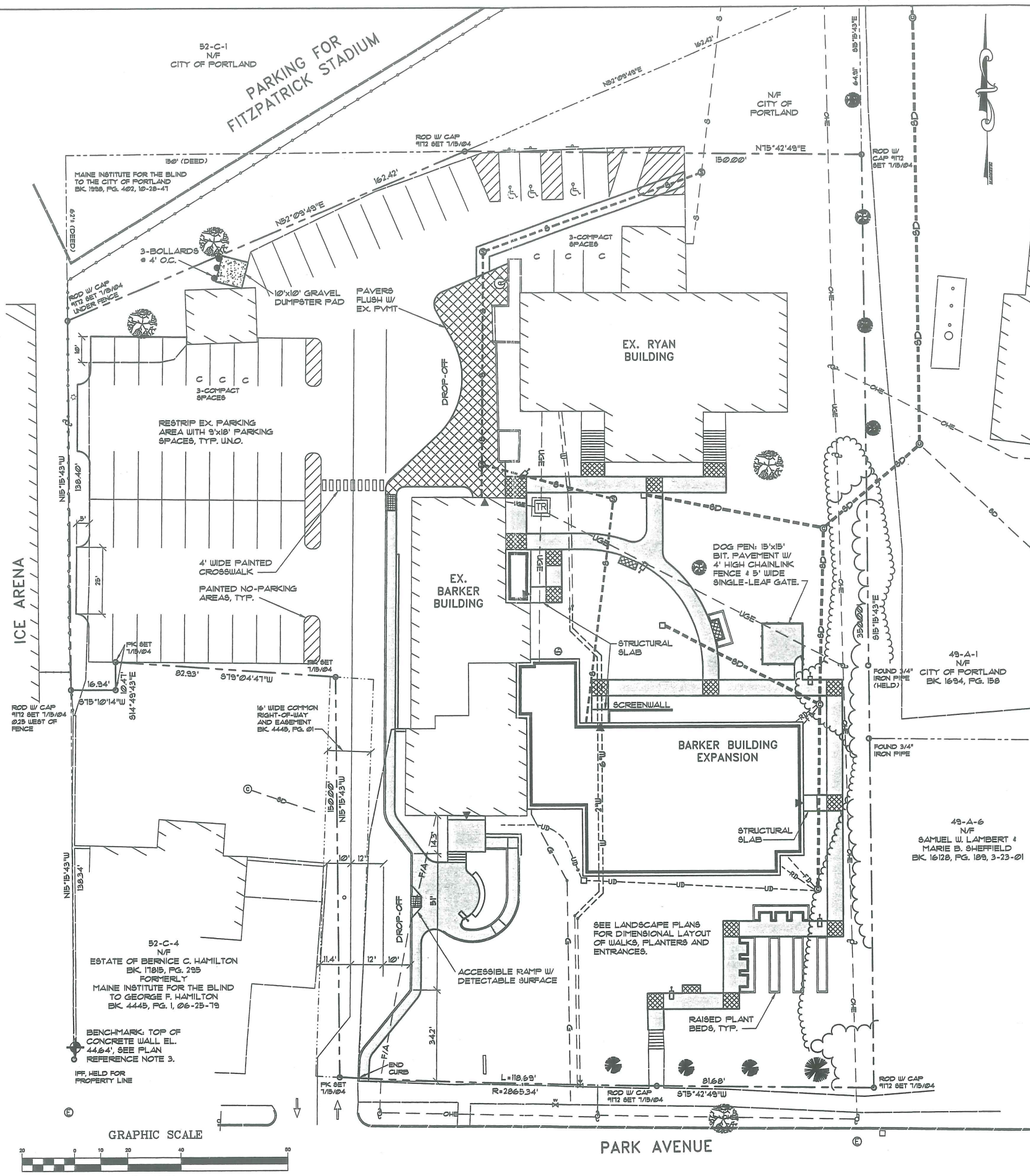
1. CITY OF PORTLAND TO THE MAINE INSTITUTION FOR THE BLIND, BOOK 821 PAGE 196 APRIL 4, 1926.

SURVEY NOTES:

1. TOTAL AREA: 1.94 ACRES OR 84705 SQ. FT.
2. LOCUS PARCEL TAX MAP 52-C-3.

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____



GENERAL NOTES

Att. 3

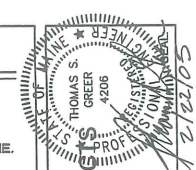
1. OWNER: IRIS NETWORK, 199 PARK AVENUE, PORTLAND, MAINE 04102.
2. ARCHITECT: SEMPLE AND DRANE ARCHITECTS, PORTLAND, MAINE.
3. ENGINEER: FINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
4. TOPOGRAPHY AND BOUNDARY INFORMATION TAKEN FROM "PLAN SHOWING A STANDARD BOUNDARY AND TOPOGRAPHIC SITE SURVEY MADE FOR THE IRIS NETWORK PARK STREET PORTLAND, MAINE" 08-03-04 BY DANIEL J. DALFRONSO, LLC LAND SURVEYOR OCEAN STREET SOUTH PORTLAND, MAINE. BENCHMARK: SEE SURVEY NOTES 5.
5. LANDSCAPE DESIGN BY MITCHELL & ASSOCIATES, PORTLAND MAINE.
6. ZONE: EXISTING R-5, TO BE REZONED AS CONTRACT ZONE.
7. TAX MAP REFERENCE: MAP 52, BLOCK C, LOT 3.
8. TOTAL PARCEL: 84,705 s.f., 1.94 acres.
9. EXISTING SERVICES ARE UNCHANGED, PUBLIC GAS, SEWER AND WATER.
10. TRASH WILL BE STORED IN A DUMPSTER OUTSIDE THE BUILDING FOR COLLECTION BY A PUBLIC HAULER.
11. SOILS ARE TAKEN FROM "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE AND ARE CLASSIFIED AS DEERFIELD (DeB) AND HINCKLEY (Hib).
12. AN EASEMENT EXISTS BETWEEN LOT 52-C-4 AND THE SUBJECT PARCEL FOR COMMON RIGHT-OF-WAY AND EASEMENT, BK. 4445, PG. 01.
13. THIS PROJECT IS THE SUBDIVISION OF 1.94 ACRES OF LAND INTO 31 RESIDENTIAL UNITS.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIFDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION)
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THESE PLANS. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

ZONING REQUIREMENTS

- ZONE: CONTRACT ZONE
1. THIS REZONING SHALL APPLY ONLY WHILE IRIS OR AN ENTITY CONTROLLED BY OR AFFILIATED WITH IRIS OWNS THE PROPERTY AND THE HOLDING THEREON IS RESERVED FOR USE BY SAID INDIVIDUAL OR ENTITY. OTHERWISE, THE PROPERTY SHALL REVERT TO THE R-5 OR ANY SUCCESSOR ZONE.
 2. THE PROPERTY SHALL OTHERWISE CONFORM TO THE ZONING REQUIREMENTS OF THE R-5 ZONE WITH THE EXCEPTIONS NOTED HEREIN:
 - A. PARKING:
 - 1. TOTAL OF 55 PARKING SPACES SHALL BE PROVIDED AND DEDICATED AS FOLLOWS:
 - 42 SPACES DEDICATED TO THE OFFICE USES ON THE PROPERTY
 - 13 SPACES DEDICATED TO THE RESIDENTIAL USE ON THE PROPERTY
- UNDERLYING R-5 ZONE SETBACKS & COVERAGE:
- | | |
|--------------------------|---------|
| MINIMUM STREET FRONTAGE: | 50 FEET |
| FRONT YARD: | 20 FEET |
| REAR YARD: | 20 FEET |
| SIDE YARD: | |
| 3 STORY STRUCTURE: | 14 FEET |
| MAXIMUM LOT COVERAGE: | 40% |
| MINIMUM LOT WIDTH: | 60 FEET |



ARCHITECT:
SEMPLER & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple1@maine.irr.com

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
SUBDIVISION AND SITE PLAN

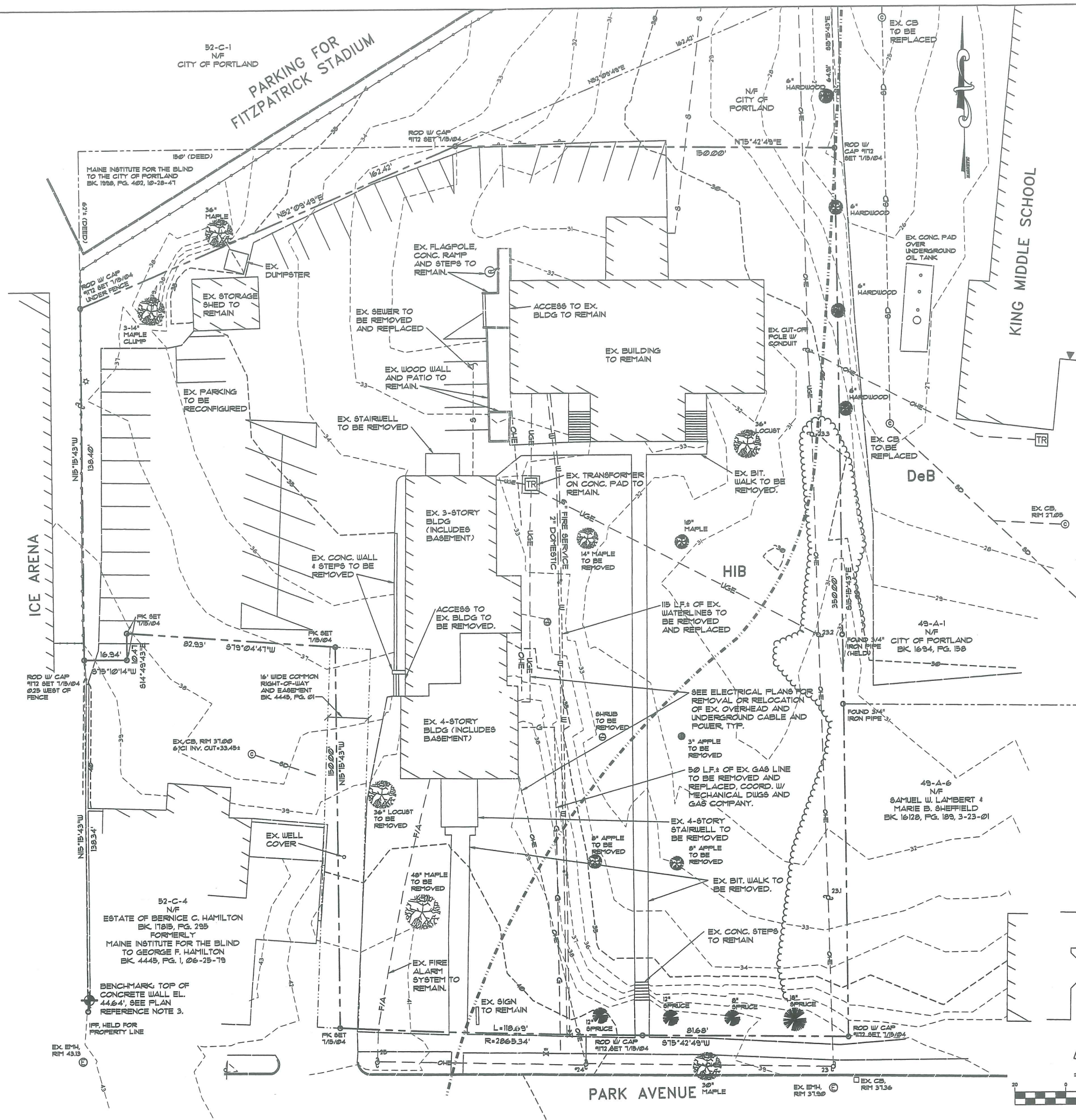
SCALE: AS SHOWN

REVISIONS:
REV. 1 - FEB. 22, 2005

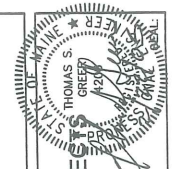
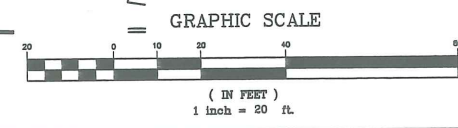
DATE: JAN. 13, 2005

SHEET:
C1

- LEGEND**
- EXISTING**
- PROPERTY LINE
 - BUILDING SETBACK
 - ADJUTERS PROPERTY
 - EASEMENT
 - EDGE OF PAVEMENT
 - BUILDING CURB
 - CHAINLINK FENCE
 - OVERHEAD WIRES
 - UNDERGROUND WIRES
 - GAS LINE
 - SANITARY SEWER
 - STORMDRAIN
 - OVERHEAD WIRES
 - UNDERGROUND WIRES
 - WATER LINE
 - F/A FIRE ALARM
 - SPOT GRADE
 - CATCH BASIN
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - TRANSFORMER
 - SEWER MANHOLE
 - UTILITY POLE
 - TREE
 - TREELINE
 - CHAINLINK FENCE
 - BENCHMARK
 - BOUND FOUND
 - IRON PIPE FOUND
 - HYDRANT
 - GATE VALVE
 - GAS VALVE
 - LIGHT POLE
 - EX. FLAGPOLE
 - CONTOURS
 - SOILS BOUNDARY
 - SOILS DESIGNATION
- HIB**



3a



ARCHITECT:
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 486 CONGRESS STREET
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 (207) 761-4235
 asemple@maine.rr.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

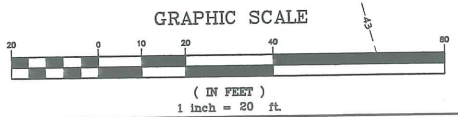
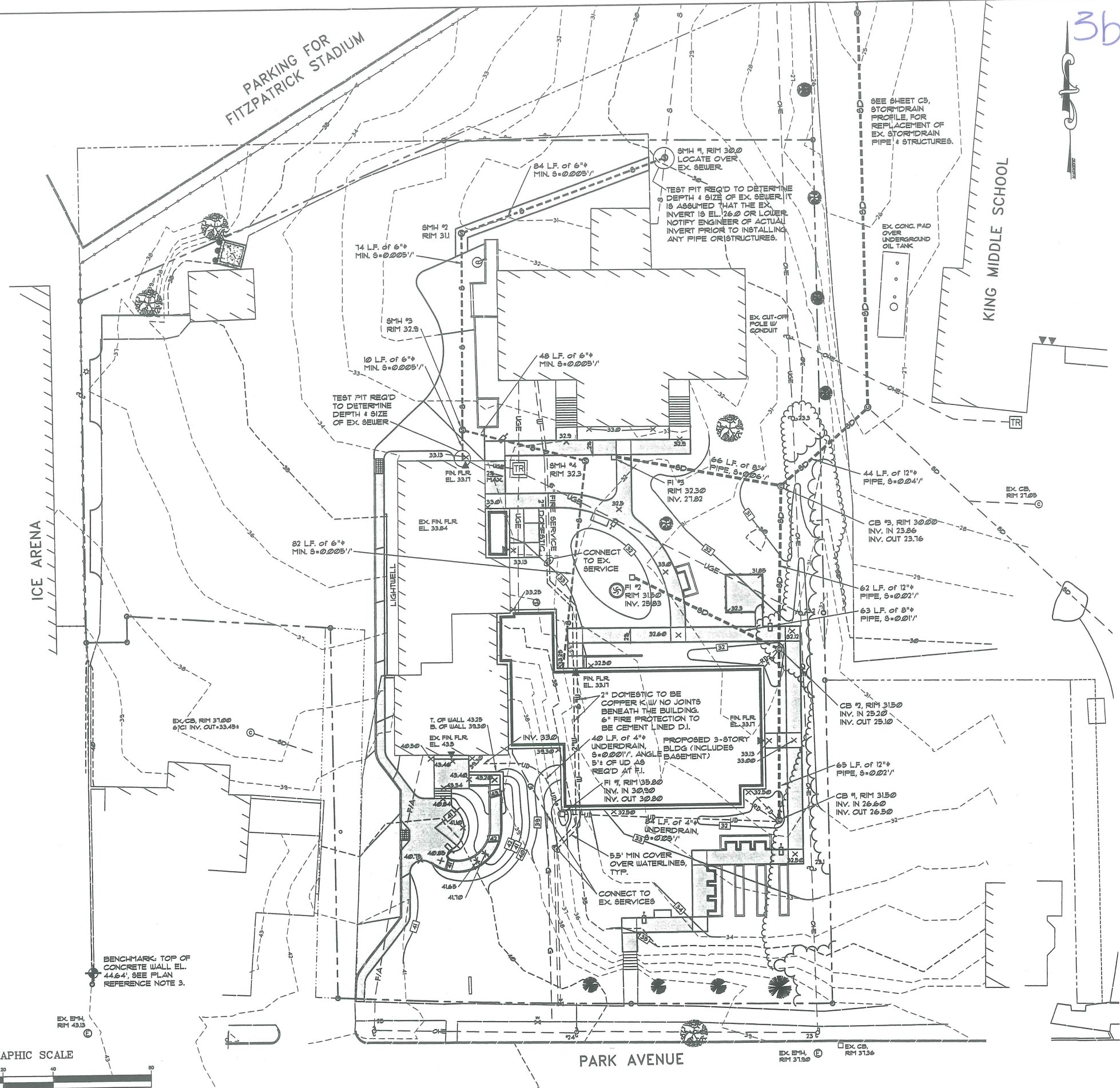
PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
EXISTING SITE AND DEMOLITION PLAN
 SCALE: AS SHOWN
 REVISIONS:
 REV. 1 - FEB. 22, 2005
 DATE: JAN. 19, 2005

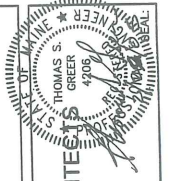
SHEET:
C2

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EASEMENT
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ABUTTERS PROPERTY	--- VERTICAL GRANITE CURB
--- EASEMENT	--- GRADE BREAKS AT RAMP
--- EDGE OF PAVEMENT	--- CONTOURS
--- BUILDING	--- BUILDING
--- CURB	--- BUILDING ENTRY/EGRESS
--- CHAINLINK FENCE	--- STORM DRAIN
--- OVERHEAD WIRES	--- GAS LINE
--- UNDERGROUND WIRES	--- SANITARY SEWER
--- GAS LINE	--- UNDERGROUND ELECTRIC
--- SANITARY SEWER	--- WATER LINE
--- STORM DRAIN	--- UNDERDRAIN
--- OVERHEAD WIRES	--- FOUNDATION DRAIN
--- UNDERGROUND WIRES	--- ROOF DRAIN
--- WATER LINE	--- SPOT GRADE
--- F/A --- FIRE ALARM	--- CATCH BASIN
--- 86.4 + --- SPOT GRADE	--- DRAIN MANHOLE
--- 86.4 + --- CATCH BASIN	--- SANITARY MANHOLE
--- 86.4 + --- DRAIN MANHOLE	--- LIGHTPOLE
--- 86.4 + --- TRANSFORMER	--- SIGN
--- 86.4 + --- SEWER MANHOLE	--- HANDICAP PARKING
--- 86.4 + --- UTILITY POLE	--- PAINTED CROSSWALK
--- 86.4 + --- TREE	--- SURFACE DRAINAGE
--- 86.4 + --- TREELINE	--- BITUMINOUS PAVEMENT
--- 86.4 + --- CHAINLINK FENCE	--- CONC. PAVERS AT RAMPS
--- 86.4 + --- BENCHMARK	
--- 86.4 + --- BOUND ROUND	
--- 86.4 + --- IRON PIPE FOUND	
--- 86.4 + --- HYDRANT	
--- 86.4 + --- GATE VALVE	
--- 86.4 + --- GAS VALVE	
--- 86.4 + --- LIGHT POLE	
--- 86.4 + --- EX. FLAGPOLE	
--- 86.4 + --- CONTOURS	



36



ARCHITECT:
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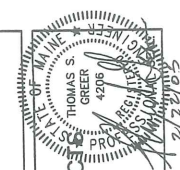
OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
**IRIS NETWORK
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN
SCALE: AS SHOWN
DATE: JAN. 13, 2005

REVISIONS:
REV. 1 - FEB. 22, 2005

SHEET:
C3



ARCHITECT:
SEMPLE & DRANE ARCHITECTS
 498 CONGRESS STREET
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 asemples@maine.net

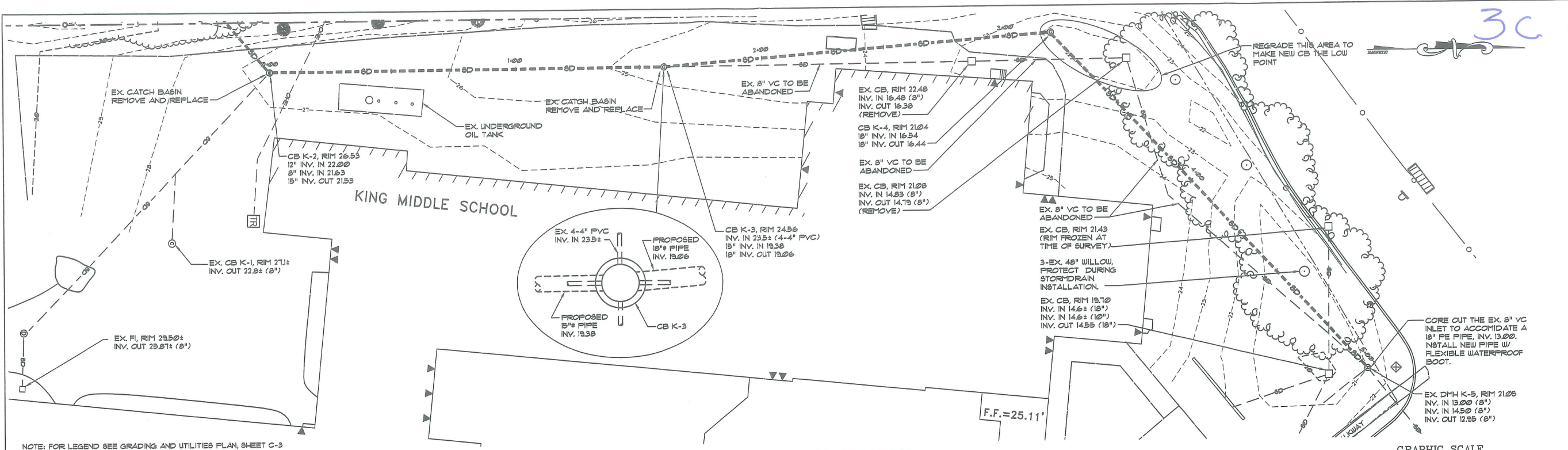
OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING:
STORMDRAIN PROFILE
 SCALE: AS SHOWN
 DATE: FEB. 22, 2005

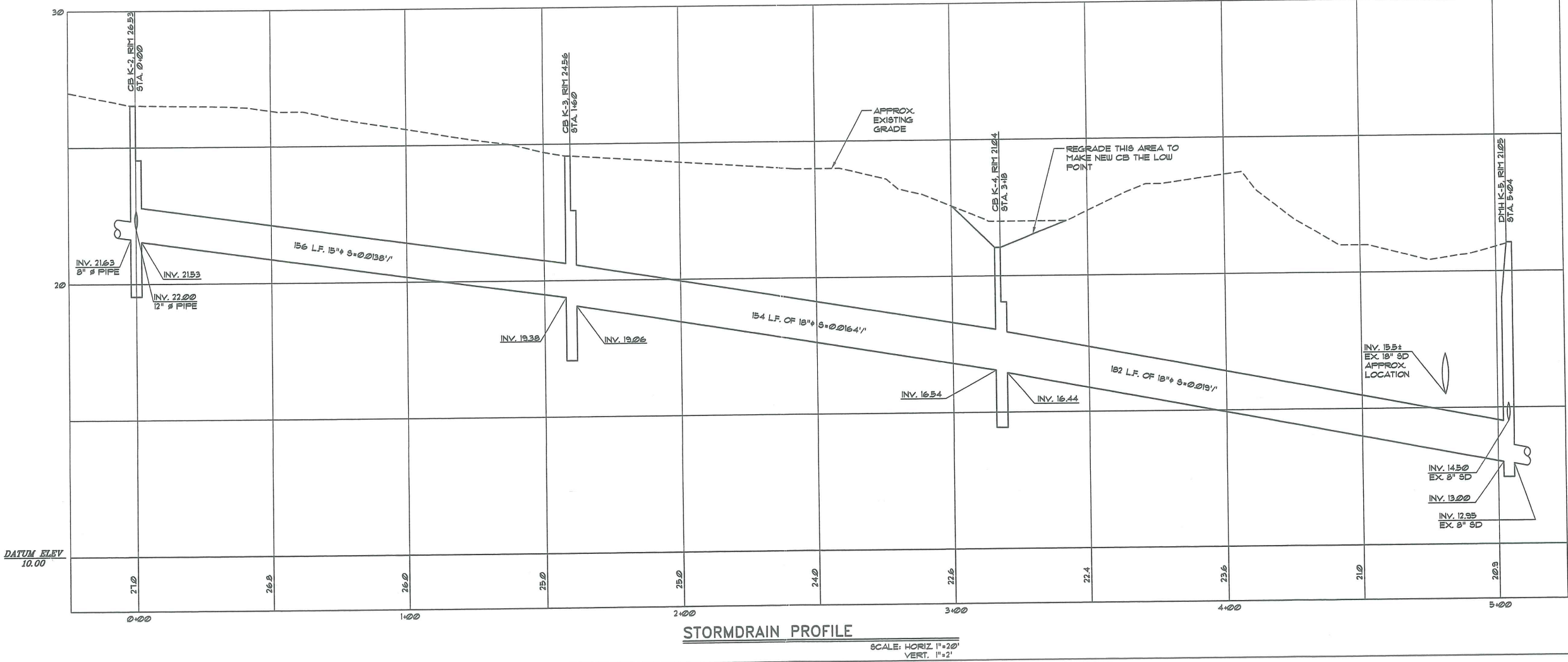
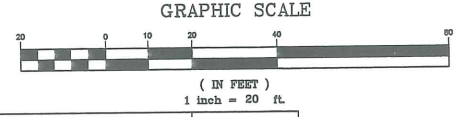
SHEET:
C4

3c



NOTE: FOR LEGEND SEE GRADING AND UTILITIES PLAN, SHEET C-3

STORMDRAIN PLAN AROUND KING MIDDLE SCHOOL
 SCALE: 1"=20'



STORMDRAIN PROFILE
 SCALE: HORIZ 1"=20'
 VERT. 1"=2'

C:\land Projects\2005\03101-IRIS NETWORK.dwg, 03101 BASE.dwg, P-SD, 2/22/2005 3:05:34 PM, Sheet

EROSION CONTROL GENERAL NOTES

GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 1 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILTFENCES AND STONE CHECKDAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 1 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND WETLANDS
 BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILTFENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILTFENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 111.023(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	20,000 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40,000 LBS/ACRE	
SUDANGRASS	40,000 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	20,000 LBS/ACRE	5/15 - 9/14
WINTER RYE	112,000 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	112,000 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

LIME AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

MULCH:

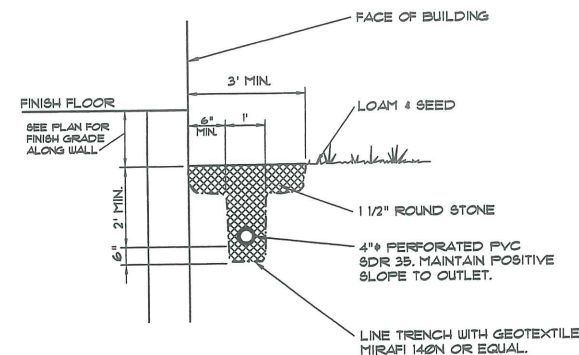
STRAW OR HAY (ANCHORED)	10 - 30 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	105 - 215 LBS	WINDY AREAS
SHREDDED OR CHOPPED	105 - 215 LBS	MODERATE TO HIGH VELOCITY AREAS
JUTE MESH	AS REQUIRED	4 STEEP SLOPES

EXCEL8IOR MAT

AS REQUIRED

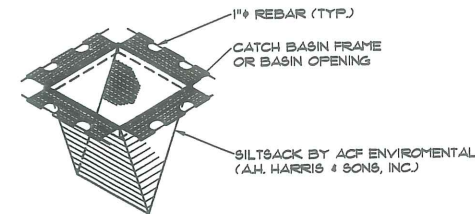
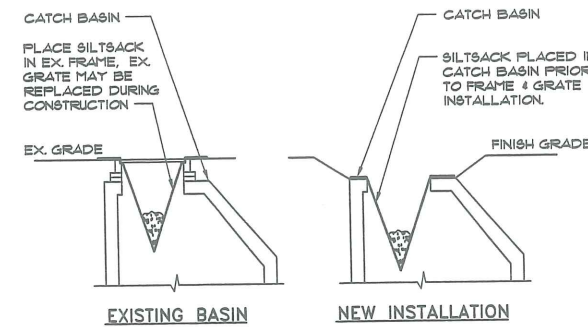
MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK



4 STONE DRIPSTRIP SECTION

NOT TO SCALE

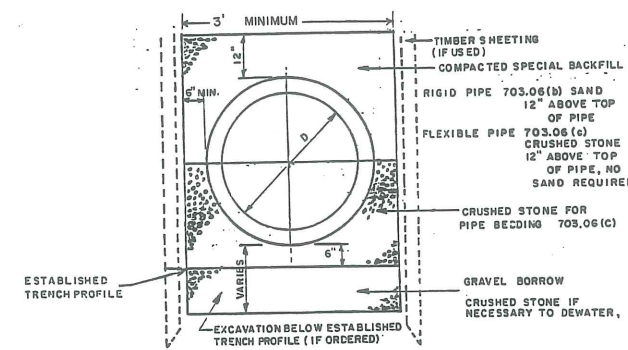


SILTSACK

CATCHBASIN INLET MAY BE PROTECTED BY EITHER HAYBALE AND STONE FILTER OR SILTSACK.

1 CATCH BASIN PROTECTION

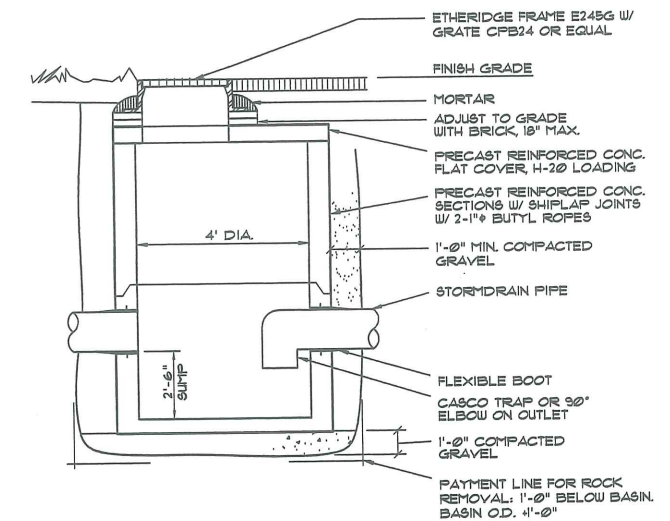
NOT TO SCALE



3 TYPICAL SECTION ALL PIPE

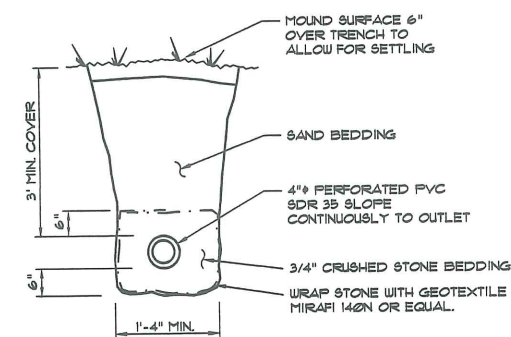
3 TRENCH SECTION

NOT TO SCALE



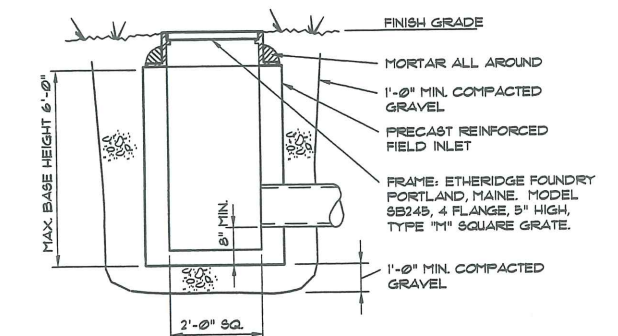
2 PRECAST CATCH BASIN

NOT TO SCALE



6 UNDERDRAIN TRENCH SECTION

NOT TO SCALE



5 FIELD INLET DETAIL

NOT TO SCALE



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IRIS NETWORK
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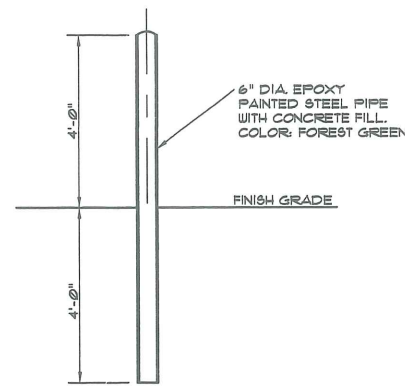
PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING:
 DETAILS

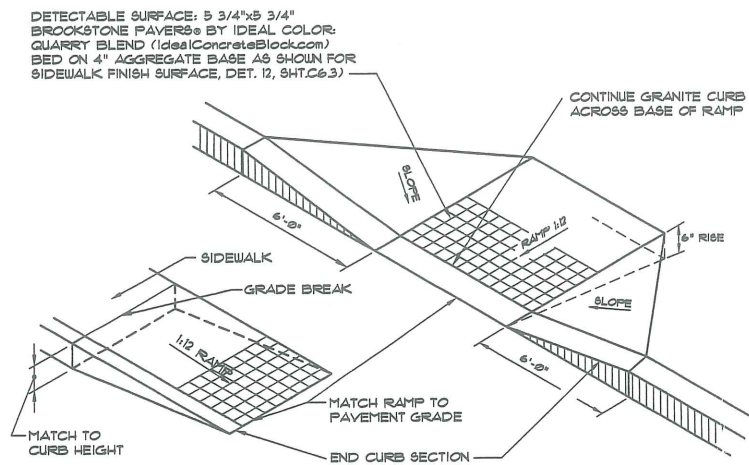
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REVISIONS:
 REV. 1 - FEB. 22, 2005

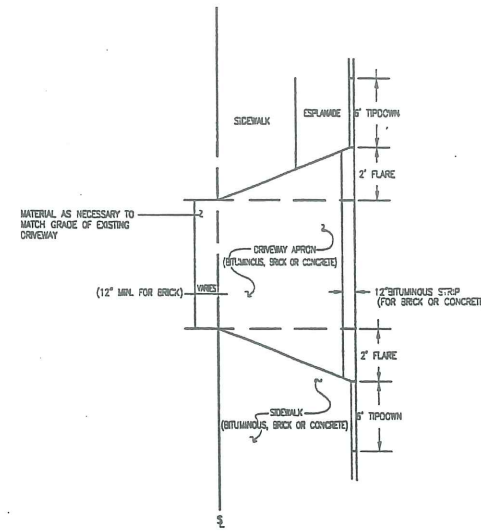
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C5



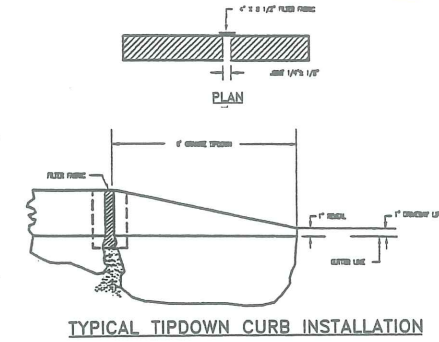
4 STEEL BOLLARD DETAIL
NOT TO SCALE



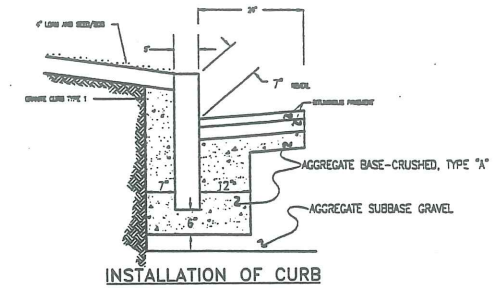
3 SIDEWALK RAMP DETAILS
NOT TO SCALE



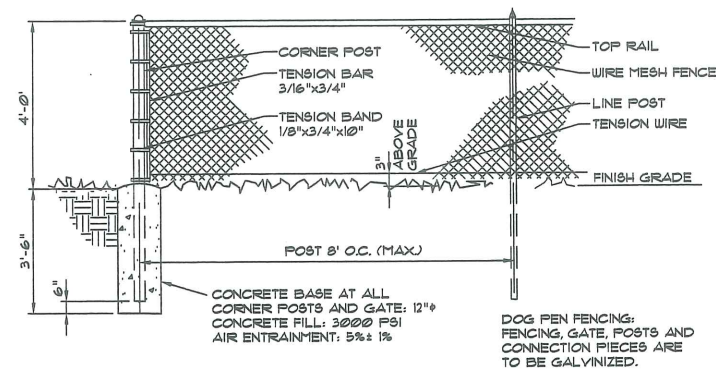
2 SIDEWALK & DRIVEWAY CONSTRUCTION
NOT TO SCALE



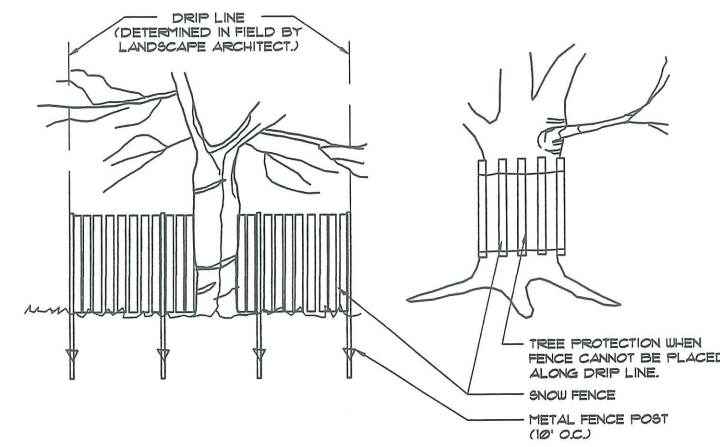
TYPICAL TIPDOWN CURB INSTALLATION



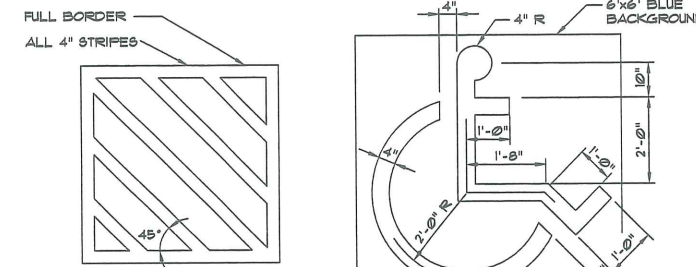
1 VERTICAL GRANITE CURB INSTALLATION
NOT TO SCALE



7 DOG PEN CHAINLINK FENCE DETAIL
NOT TO SCALE

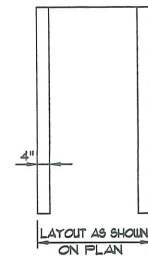


8 TREE PROTECTION FENCE
NOT TO SCALE

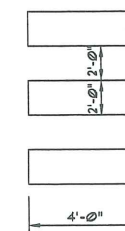


NO PARKING

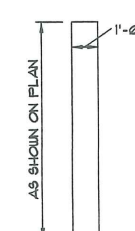
BARRIER FREE STALL SYMBOL



PARKING SPACE

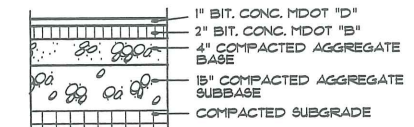


CROSSWALK

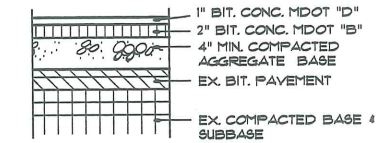


STOP LINE

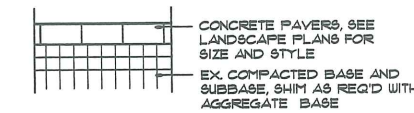
6 STRIPING DETAILS
NOT TO SCALE



BITUMINOUS PAVEMENT NEW CONSTRUCTION



BITUMINOUS PAVEMENT OVER EXISTING



CONCRETE PAVERS AT DROP-OFF



DUMPSTER PAD

NOTES:

- ALL COURSE THICKNESS AFTER FINAL COMPACTION.
- SEE LANDSCAPE DRAWINGS FOR BARK/MULCH AND LAWN AREAS.

SEE LANDSCAPE DRAWINGS FOR SIDEWALK PAVES SIZE, STYLE AND INSTALLATION.

5 SURFACING DETAILS
NOT TO SCALE



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asempler@maine.ir.com

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PORTLAND, ME 04101

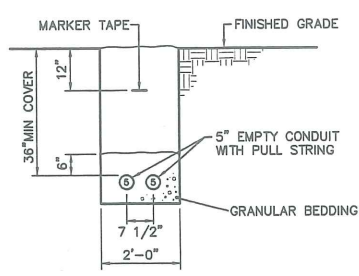
PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
PORTLAND, ME 04101

REVISIONS:
REV. 1 - FEB. 22, 2005

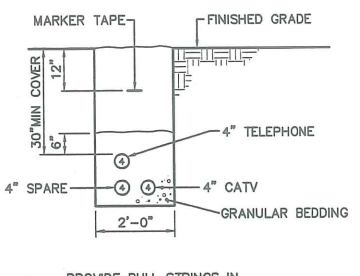
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SCALE: AS SHOWN
DATE: JAN. 13, 2005

SHEET: **C6**

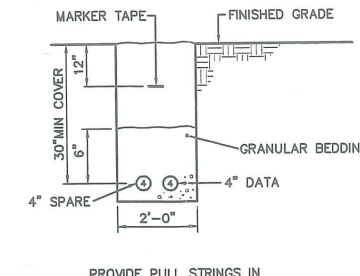
3e



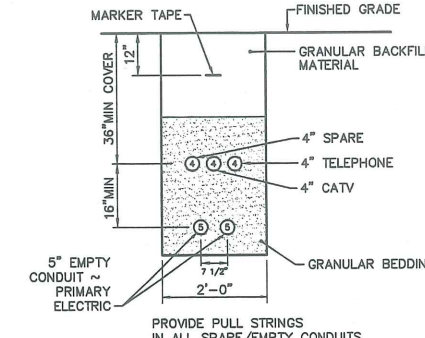
F1 TRENCH DETAIL
N.T.S.



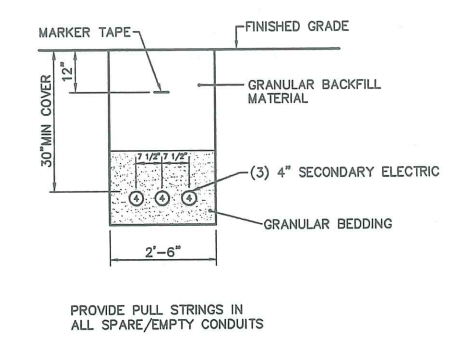
F3 TRENCH DETAIL
N.T.S.



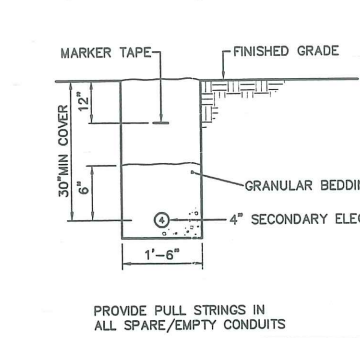
F5 TRENCH DETAIL
N.T.S.



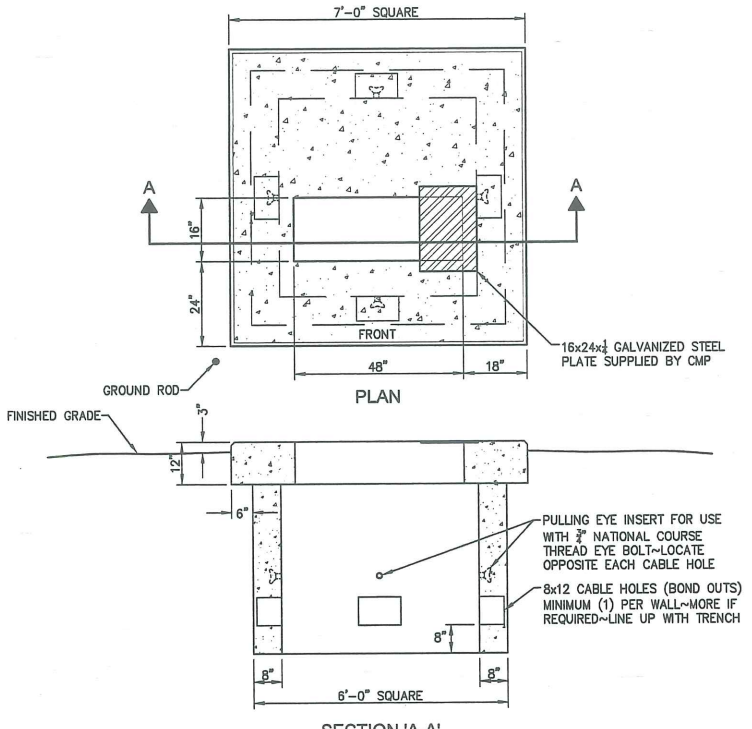
E1 TRENCH DETAIL
N.T.S.



E3 TRENCH DETAIL
N.T.S.



E5
-



NOTES:

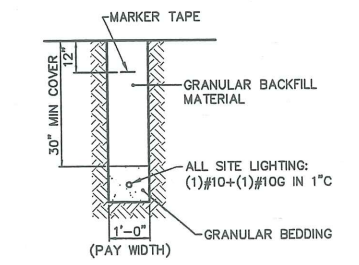
1. 'FRONT' DENOTES THE SIDE ON WHICH THE ACCESS DOORS ARE LOCATED--THE FOUNDATION MUST BE LOCATED SO THAT THE 'FRONT' IS ACCESSIBLE BY TRUCK AND SUITABLY PROTECTED FROM PLOW AND TRAFFIC DAMAGE.
2. 3/8"x8" GROUND ROD (PROVIDED BY CMP) SHALL BE INSTALLED 6" IN FRONT OF THE LEFT CORNER OF THE FOUNDATION--TOP OF THE GROUND ROD SHALL BE 6" BELOW FINISHED GRADE.
3. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI @ 28 DAYS. FOR CAST-IN-PLACE EARLY HIGH STRENGTH MAY BE USED WITH A MINIMUM 7 DAY CURE TIME.
4. REINFORCING STEEL SHALL HAVE Fy=60 KSI
5. FOR PRECAST UNITS: THE PRECAST SUPPLIER SHALL PROVIDE LIFTING LUGS IN THE SLAB (FOUNDATION) AND BASE

A1 TRANSFORMER PAD
N.T.S.

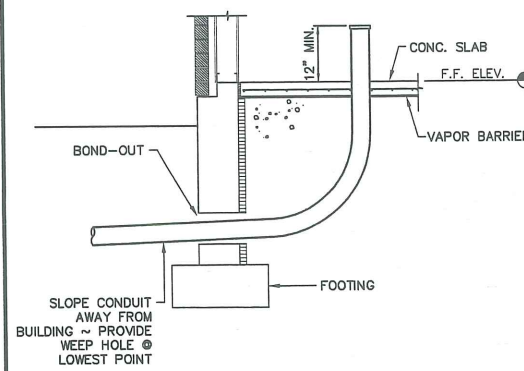
A4 -

1. POLE BASES, TRANSFORMER PADS AND MANHOLES PROVIDED BY DIVISION 16.
2. PROTECT ALL EXISTING UNDERGROUND ELECTRIC AND COMMUNICATIONS WIRING DURING CONSTRUCTION, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, EXCEPT WHERE SUCH IS INDICATED TO BE REMOVED ~ COORDINATE REMOVAL OF EXISTING UTILITIES WITH PROJECT PHASING ~ PROVIDE TEMPORARY WIRING AND CONNECTIONS AS REQUIRED.
3. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.
4. WHERE EXISTING OVERHEAD WIRING IS INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ALL ASSOCIATED POLES, GUYS, ANCHORS, ETC.
5. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION OF UNDERGROUND UTILITIES.
6. WHERE EXISTING ITEMS SUCH AS POLES LIGHTS ETC. ARE INDICATED TO BE REMOVED, PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES, CONNECTIONS, ETC. AS REQUIRED FOR CONTINUED OPERATION OF EXISTING ITEMS ON THE SAME CIRCUIT OR FED FROM THE SAME CONDUIT THAT ARE INDICATED TO REMAIN.
7. SLOPE ALL CONDUITS AWAY FROM THE BUILDING THAT ENTER THE BUILDING FOOTPRINT ~ PROVIDE A WEEP HOLE AT THE LOWEST POINT OF THE CONDUIT.

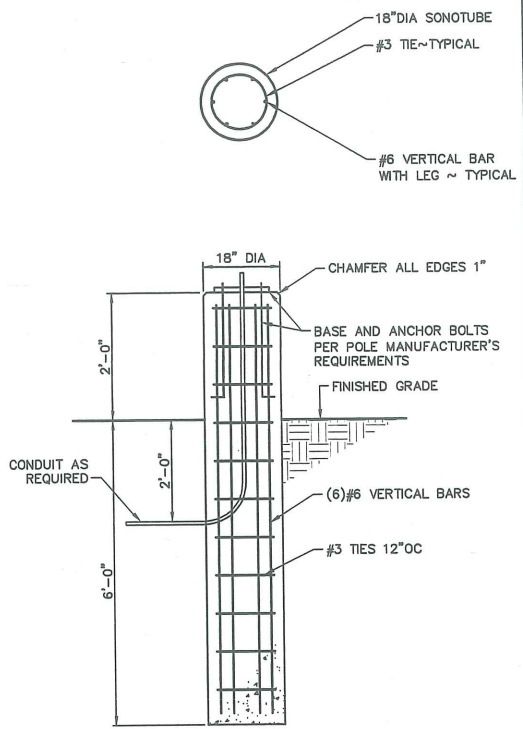
F7 SITE PLAN GENERAL NOTES
-



D7 TYPICAL SITE LTG TRENCH DETAIL
NO SCALE



G1 CONDUIT ENTRANCE INTO BUILDING
NO SCALE



B9 LIGHT POLE BASE DETAIL
NO SCALE ~ FOR ALL SITE LIGHTING, UNO ~

F9 ELECTRICAL LEGEND
NO SCALE

- 3f
- (E) EXISTING
 - (R) REMOVE
 - FA FIRE ALARM
 - C CATV
 - D DATA
 - E ELECTRIC POWER
 - T TELEPHONE
 - OH OVERHEAD
 - UG UNDERGROUND
 - OVERHEAD WIRING ~ TYPE AS INDICATED
 - UNDERGROUND WIRING ~ TYPE AS INDICATED
 - U UTILITY POLE
 - IN-GROUND JUNCTION BOX
 - ELECTRICAL MANHOLE
 - PADMOUNT TRANSFORMER
 - METER ENCLOSURE ~ MOUNT TO STAIRS AS INDICATED
 - SINGLE POLE MOUNTED LIGHT
 - DOUBLE POLE MOUNTED LIGHT
 - PHOTOCELL ~ CONNECT TO SITE & BUILDING EXTERIOR LIGHTING ~ SHOWN FOR COORDINATION PURPOSES ONLY
 - A1 M-000 DETAIL CALL-OUT

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SEM@SEMPLERDRANE.COM

ENGINEERING:
allied engineering, inc.
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TEL (207) 761-4231 FAX: 774-0152
AEN@ALLIEDENR.COM

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IRIS NETWORK
PORTLAND, MAINE 40101

PROJECT:
**IRIS PARK APARTMENTS
RENOVATION & ADDITIONS**
PORTLAND, MAINE 04101

DRAWING:
ELECTRICAL LEGEND AND NOTES
SCALE: AS NOTED
CAD FILE: 030608.DWG
DATE: 24 FEB 2005

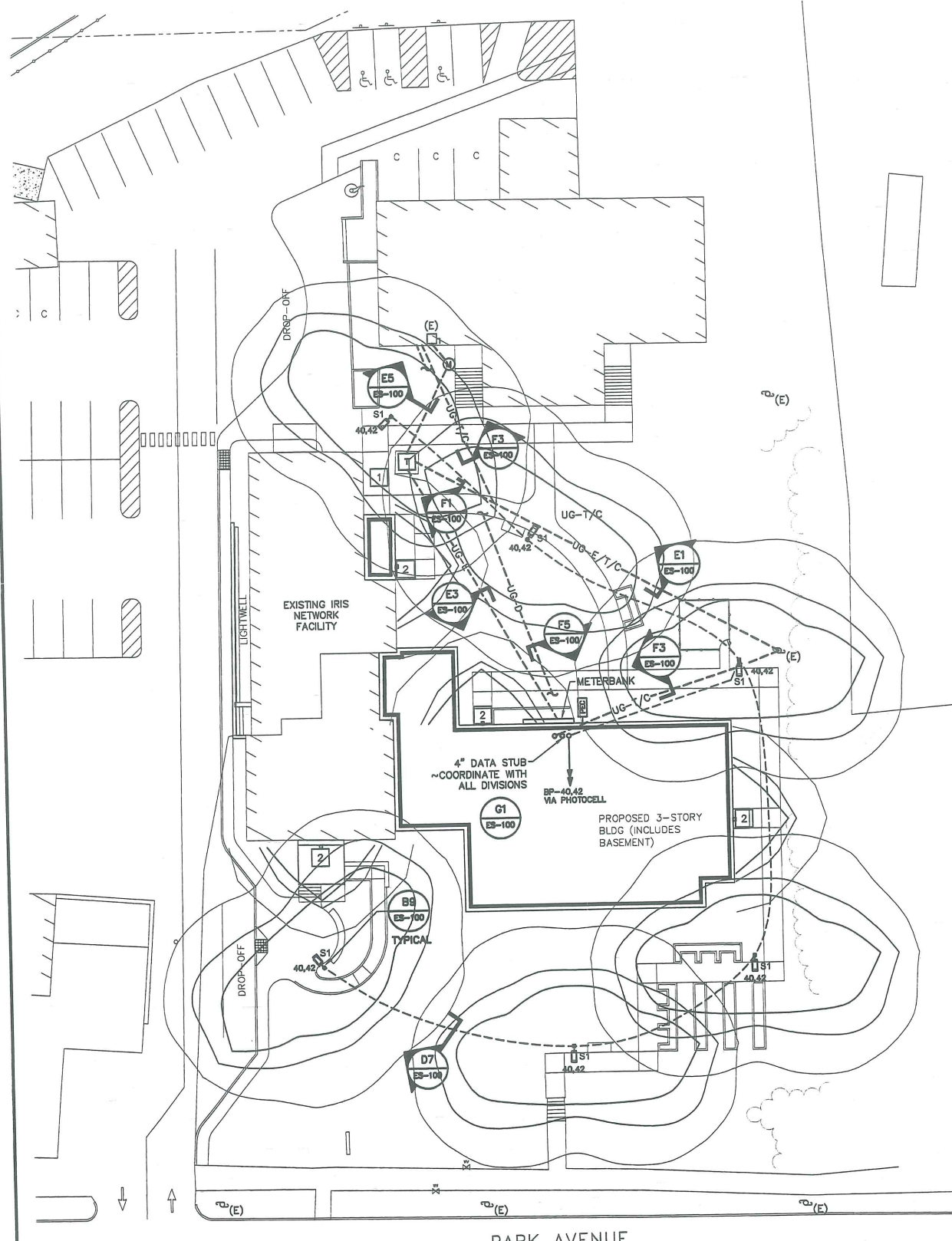
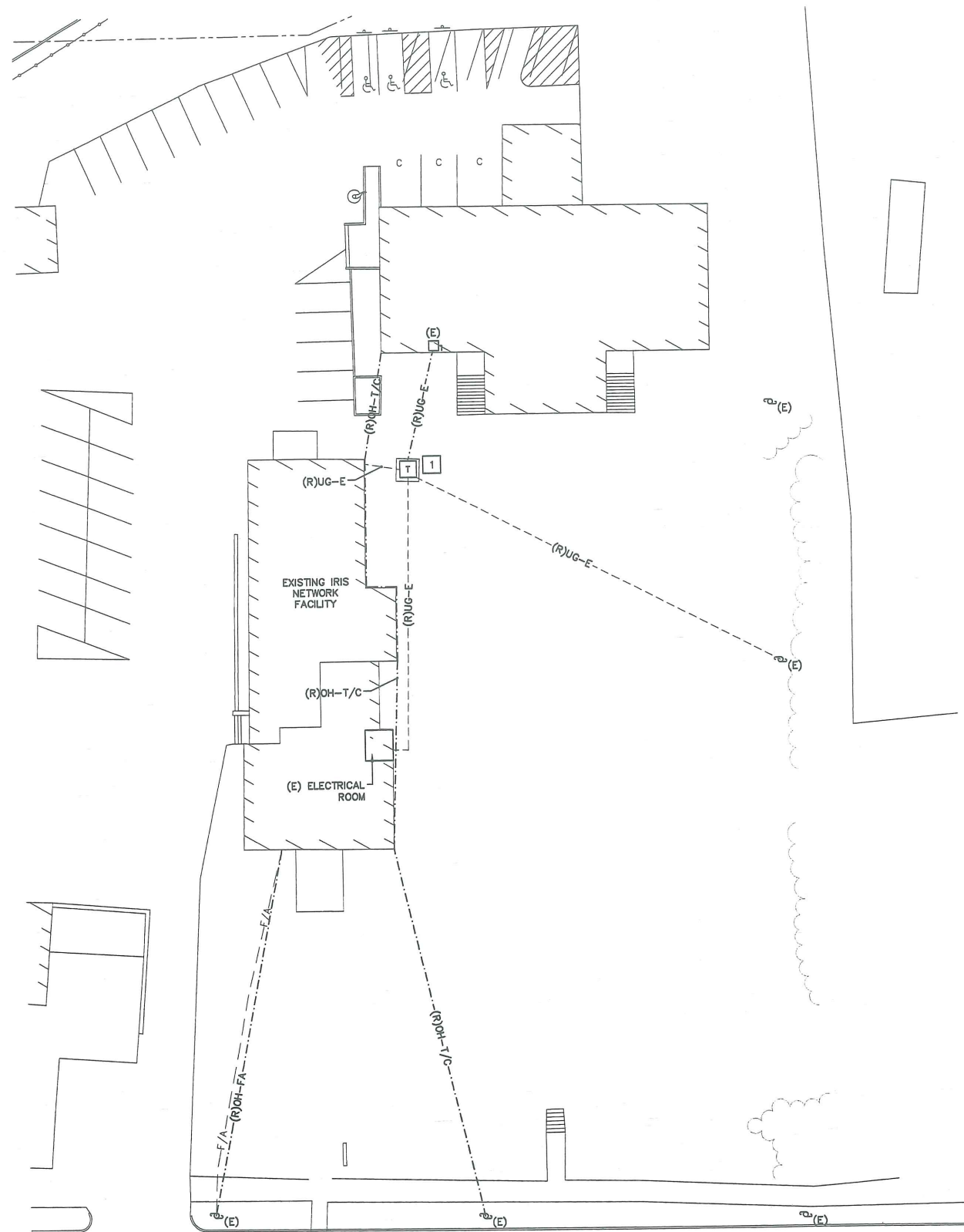
REVISIONS:

SHEET:
ES-100

39

1 EXISTING PADMOUNT TRANSFORMER SHALL BE REPLACED BY CMP. REMOVE EXISTING TRANSFORMER PAD. PROTECT EXISTING PRIMARY AND SECONDARY CONDUIT AND WIRING DURING DEMOLITION AND EXCAVATION. SEE A6/ES-101 FOR FURTHER INFORMATION.

1 NEW PADMOUNT TRANSFORMER TO BE PROVIDED BY CMP AT EXISTING TRANSFORMER LOCATION. PROVIDE TRANSFORMER VAULT PER DETAIL A1/ES-100 WITH BOX OUTS TO FIT OVER PRIMARY AND SECONDARY CONDUITS. COORDINATE TRANSFORMER UPGRADE WITH CMP AND THE OWNER.
2 REFER TO FLOOR PLAN FOR BUILDING MOUNTED EXTERIOR LIGHTING CONNECTION AND CONTROL.



A1 1" = 20'-0"	ELECTRICAL SITE DEMOLITION PLAN	A6 1" = 20'-0"	ELECTRICAL SITE NEW CONDITIONS PLAN
-------------------	---------------------------------	-------------------	-------------------------------------

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 aei@alliedeng.com

OWNER:
 IRIS NETWORK
 PORTLAND, MAINE 40101

PROJECT:
 IRIS PARK APARTMENTS
 RENOVATION & ADDITIONS
 PORTLAND, MAINE 04101

DRAWING:
 SITE DEMO AND NEW CONDITIONS PLAN
 SCALE: AS NOTED
 CAD FILE: 030665.DWG
 DATE: 24 FEB 2005

REVISIONS:

SHEET:
ES-101



GENERAL NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL REPAIR OR REPAIR UTILITIES PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 8 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR CUYING BEFORE SPRINKLING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DUMP LINE OF TREES OR TWENTY FEET, WHICHEVER IS GREATER.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATIONS THAT INCLUDE FERTILIZING AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL AND TWO PARTS PERENNIAL PEAT MOSS AND ONE PART HORTICULTURAL FERTILIZER BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-NOTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR OR LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE CUTTING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, HAY MULCH ETC.) SHALL BE REMOVED ONCE STABILIZATION OF DISTURBED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO (2) ROWS OF TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM OF A UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A. GN	1	ACER GINNALA	AMUR MAPLE	2" CAL
A. SAC	3	ACER SACCHARUM	SUGAR MAPLE	3" CAL
M. x LLM	1	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	LEONARD MESSEL MAGNOLIA	5'-6" HT.
M. SS	4	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2" CAL
M. ZC	1	MALUS 'ZUMI CALOCARPA'	ZUMI CRABAPPLE	2" CAL
P. CA	2	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2.5" CAL
Q. RUB	1	QUERCUS RUBRA	RED OAK	3" CAL
T. FIL	12	THUJA OCCIDENTALIS 'FILIFORMIS'	FILIFORMIS ARBORVITAE	3'-4" HT.
T. CAN	6	TSUGA CANADENSIS	CANADIAN HEMLOCK	4'-5" HT.
SHRUBS				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	43 CONT.
D. BUR	3	DAPHNE x BURKWOODI 'SOMERSET'	SOMERSET DAPHNE	43 CONT.
F. COU	8	FORSYTHIA COURTASOL 'GOLD TIDE'	GOLD TIDE FORSYTHIA	43 CONT.
F. GAR	10	FOTHERGILLA GARDENII	DWARF BOTTLEBRUSH	18"-24" HT.
J. CGC	22	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	43 CONT.
J. PRO	4	JUNIPERUS PROCUMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	43 CONT.
K. LTI	3	KALMIA LATIFOLIA 'TIDDLYWINKS'	TIDDLYWINKS MOUNTAIN LAUREL	43 CONT.
R. WIN	6	RHOODOENDRON 'WINDSEAM'	WINDSEAM RHODOENDRON	43 CONT.
S. BA	8	STRONGIA BALEBELLE	TINKERBELL LILAC	43 CONT.
V. CA	9	VIBURNUM CARLESI 'AURORA'	AURORA VIBURNUM	2.5'-3" HT.
PERENNIALS				
H. SDO	18	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL POT
GROUNDCOVERS				
A. GEN	75	AJUGA GENEVENSIS	BUGLE WEED	FLAT
A. UU	5	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	43 CONT.

***NOTES:**

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS
1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL.
FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS
1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL.
LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK:
REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 18" APART. STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION.

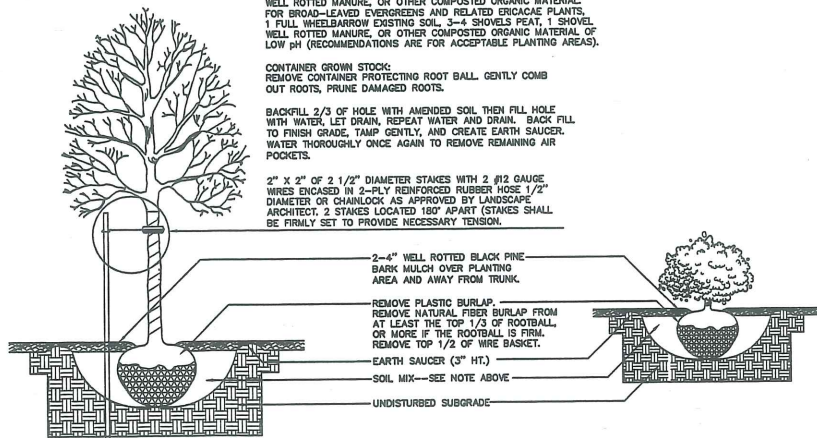
2-4" WELL ROTTED BLACK PINE BARK MULCH OVER PLANTING AREA AND AWAY FROM TRUNK.

REMOVE PLASTIC BURLAP.
REMOVE NATURAL FIBER BURLAP FROM AT LEAST THE TOP 1/3 OF ROOTBALL OR MORE IF THE ROOTBALL IS FIRM.
REMOVE TOP 1/2 OF WIRE BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX--SEE NOTE ABOVE

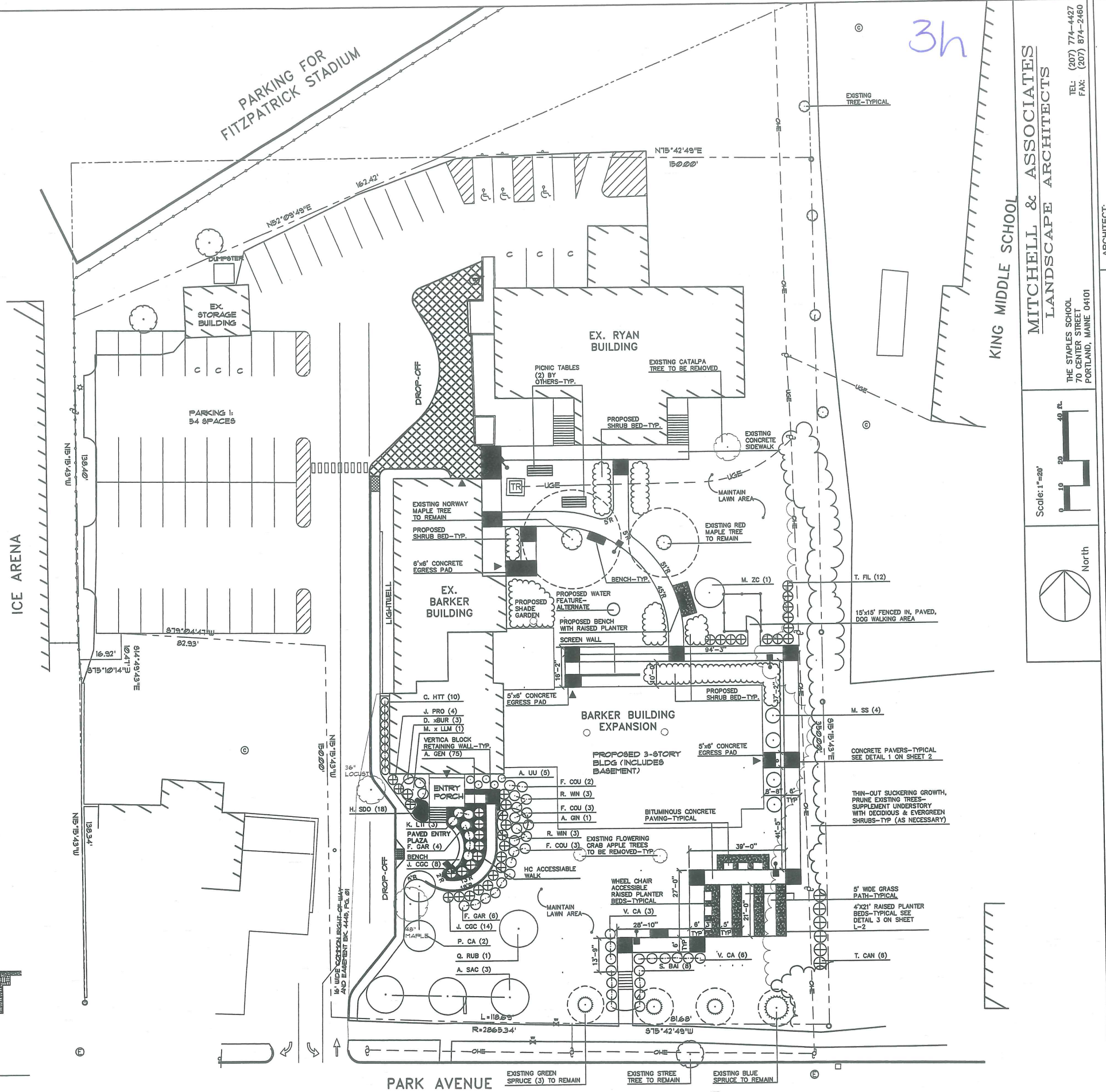
UNDISTURBED SUBGRADE



TREE INSTALLATION
NOT TO SCALE

ICE ARENA

PARKING FOR FITZPATRICK STADIUM



3h

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

TEL: (207) 774-4427
FAX: (207) 874-2460

ARCHITECT:
SEMPLER & DRANE ARCHITECTS
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PORTLAND, MAINE 04101
(207) 761-4231
asm@maine.net

OWNER:
IRIS NETWORK
70 CENTER STREET
PORTLAND, MAINE 04101

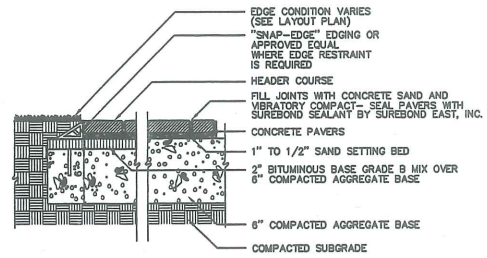
PROJECT:
IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
PLANTING PLAN
SCALE: AS SHOWN
DATE: DECEMBER 11, 2004

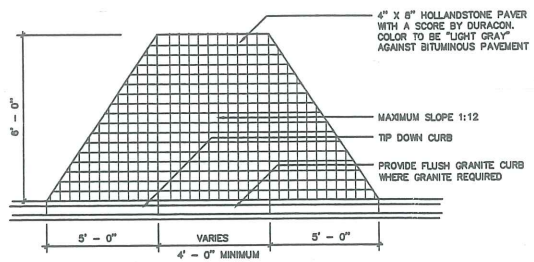
REVISIONS:
FEBRUARY 25, 2005

SHEET:
1-1

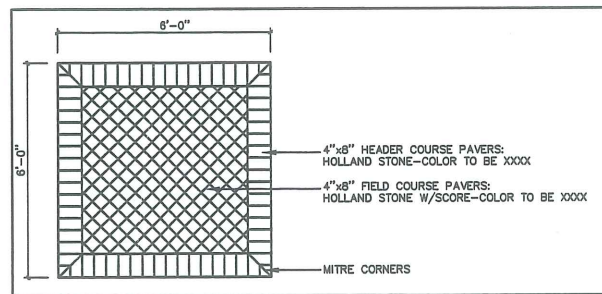
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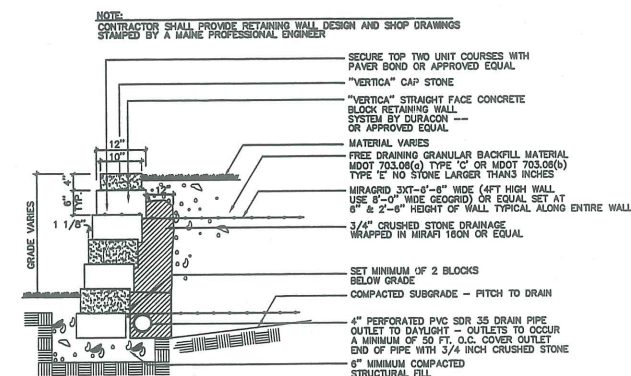
1
L2
CONCRETE PAVERS
NOT TO SCALE



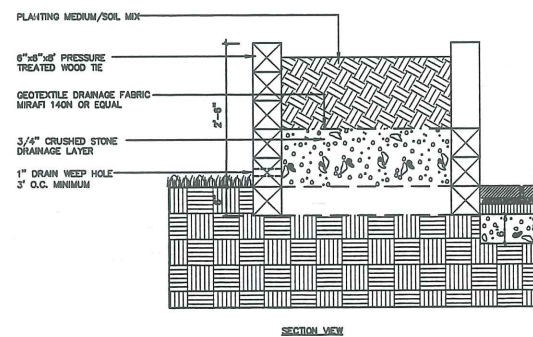
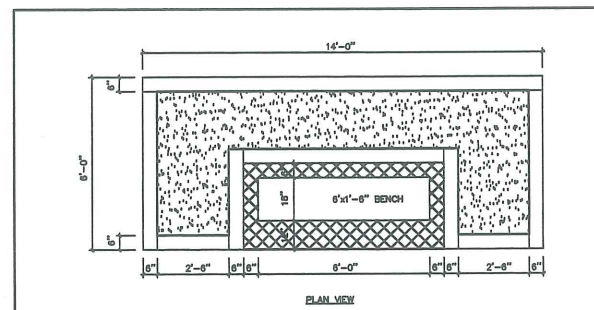
5
7
HANDICAP RAMP
NOT TO SCALE



2
L2
CONCRETE PAVER LAYOUT - TYPICAL
NOT TO SCALE



1
10
CONCRETE SEGMENTAL RETAINING WALL
NOT TO SCALE



3
L2
BENCH WITH RAISED PLANTER
NOT TO SCALE

MITCHELL & ASSOCIATES
 LANDSCAPE ARCHITECTS

THE STAPLES SCHOOL
 70 CENTER STREET
 PORTLAND, MAINE 04101

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 FAX: (207) 874-2480

OWNER:
 IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
 IRIS NETWORK
 RENOVATION & ADDITIONS
 PORTLAND, ME 04101

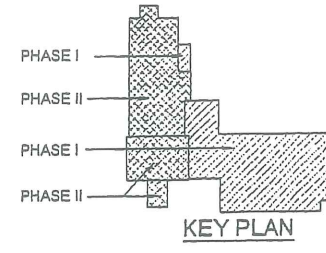
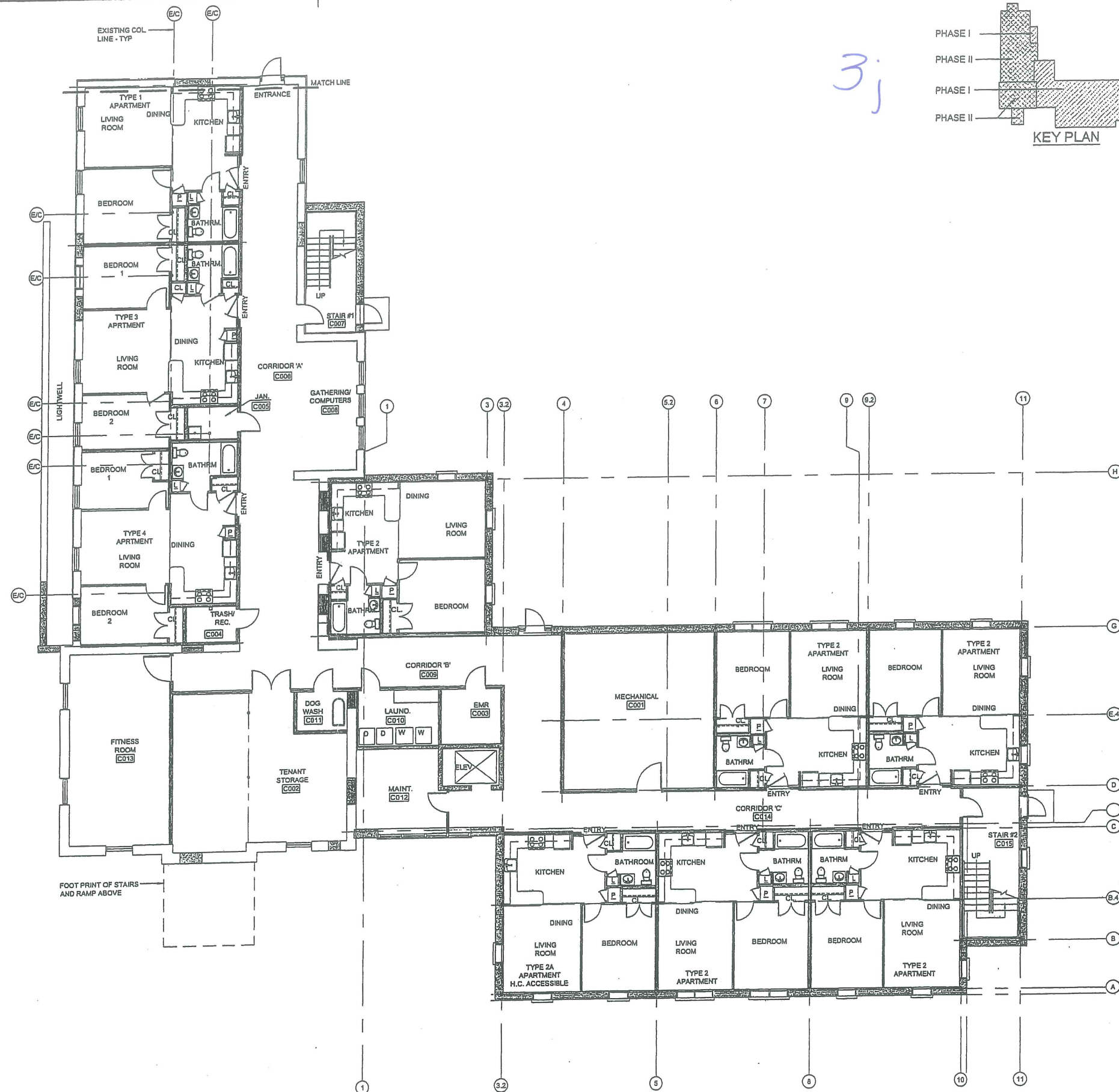
DRAWING:
 SITE DETAILS
 SCALE: AS SHOWN
 DATE: DECEMBER 11, 2004

SHEET:

L-2

ARCHITECT:
 SEMPLE & DRANE ARCHITECTS
 486 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
 asemple1@maine.rr.com

SEAL



GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 751-4231
asempler@maine.net

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

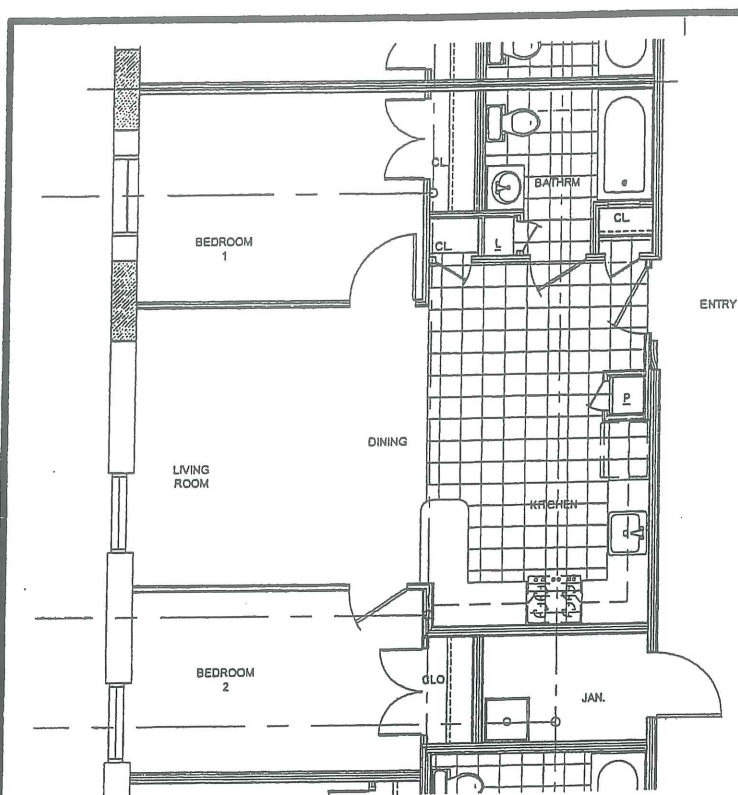
PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **GROUND FLOOR PLAN**

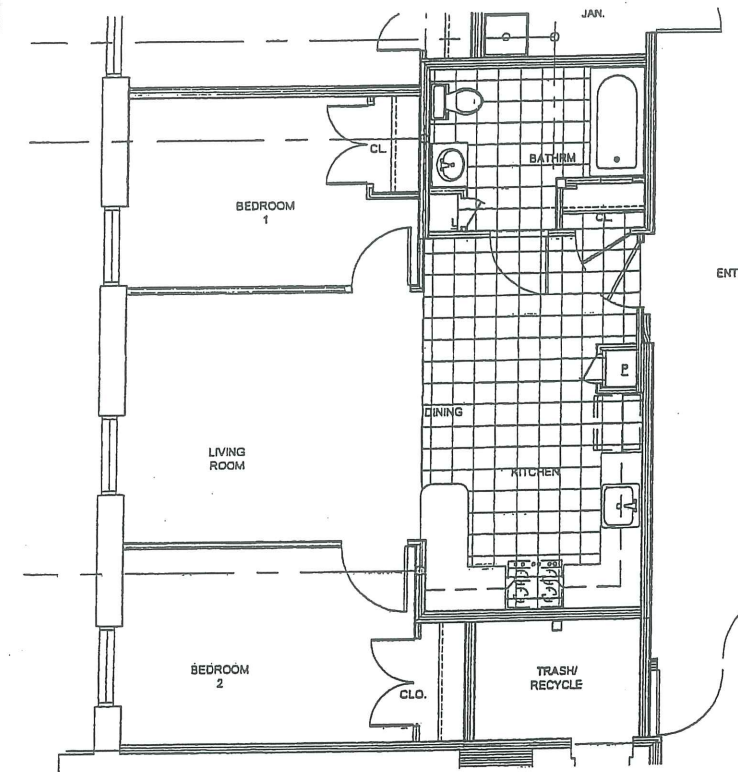
SCALE: AS NOTED
DATE: JAN. 13, 2005

REVISIONS:

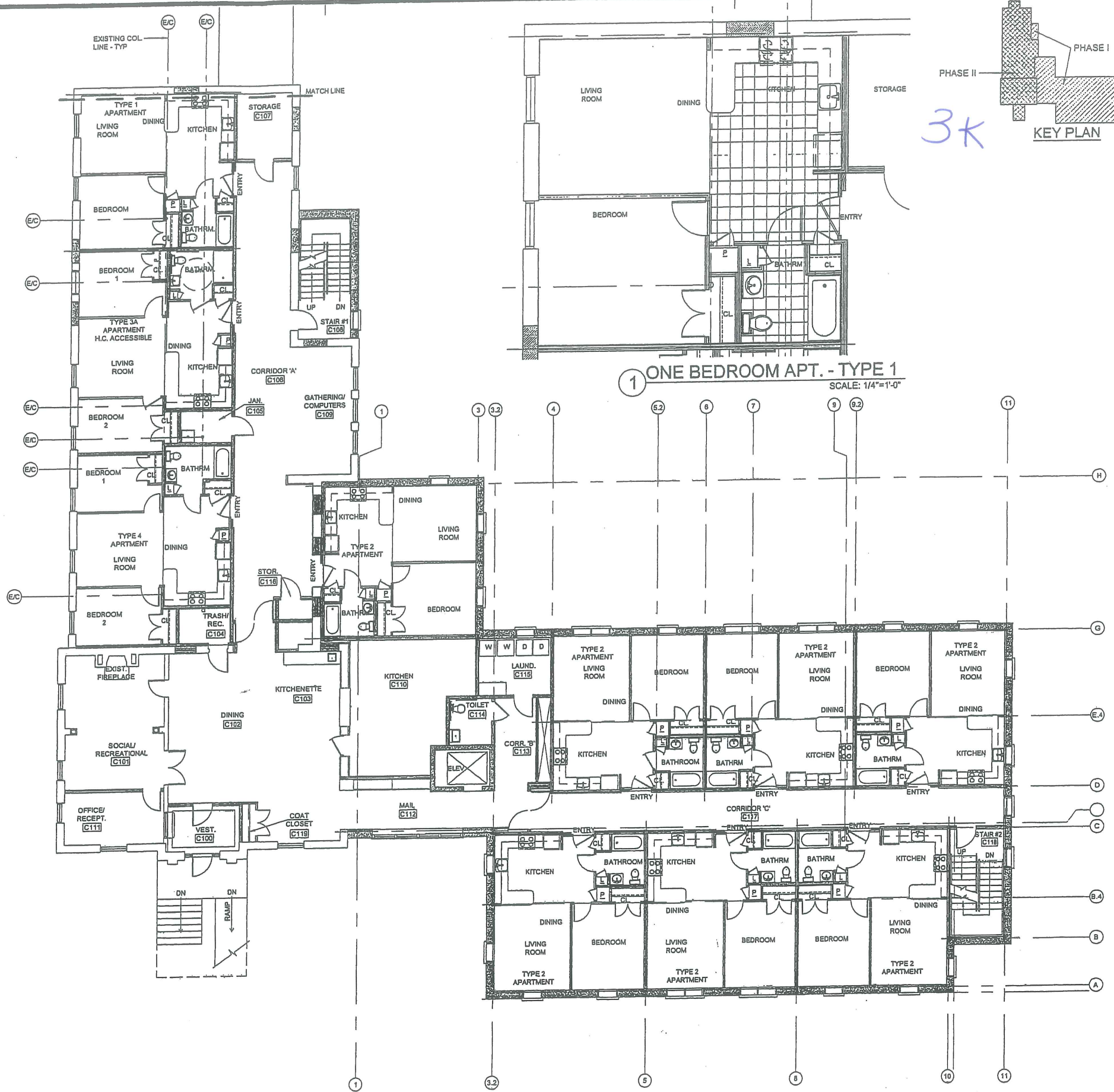
SHEET: **A100**



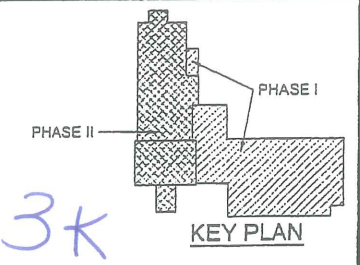
② TWO BEDROOM APT. - TYPE 3
SECOND AND GROUND FLOORS ONLY SCALE: 1/4"=1'-0"



③ TWO BEDROOM APT. - TYPE 4
SCALE: 1/4"=1'-0"



① ONE BEDROOM APT. - TYPE 1
SCALE: 1/4"=1'-0"



3K

FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
488 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple@maine.rr.com

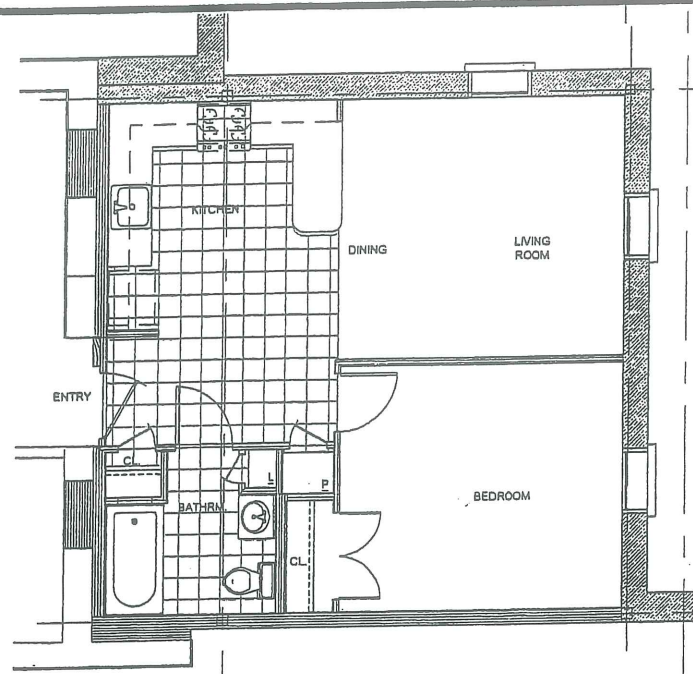
OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

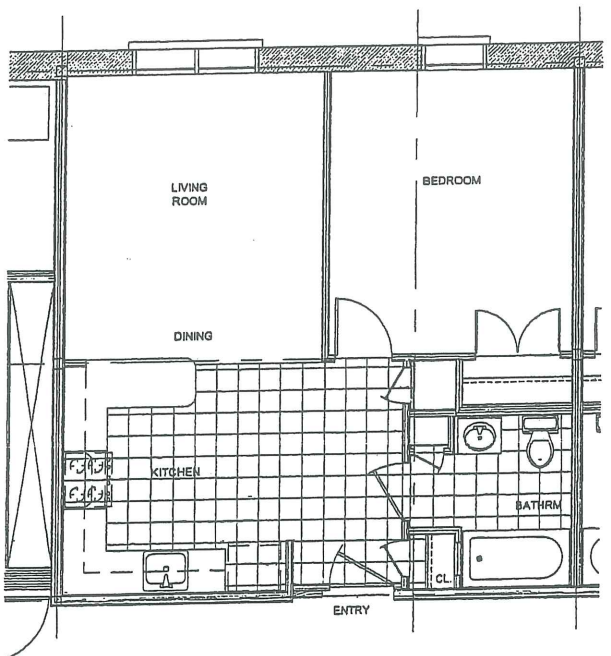
DRAWING: **FIRST FLOOR PLAN**

SCALE: AS NOTED
DATE: JAN. 13, 2005

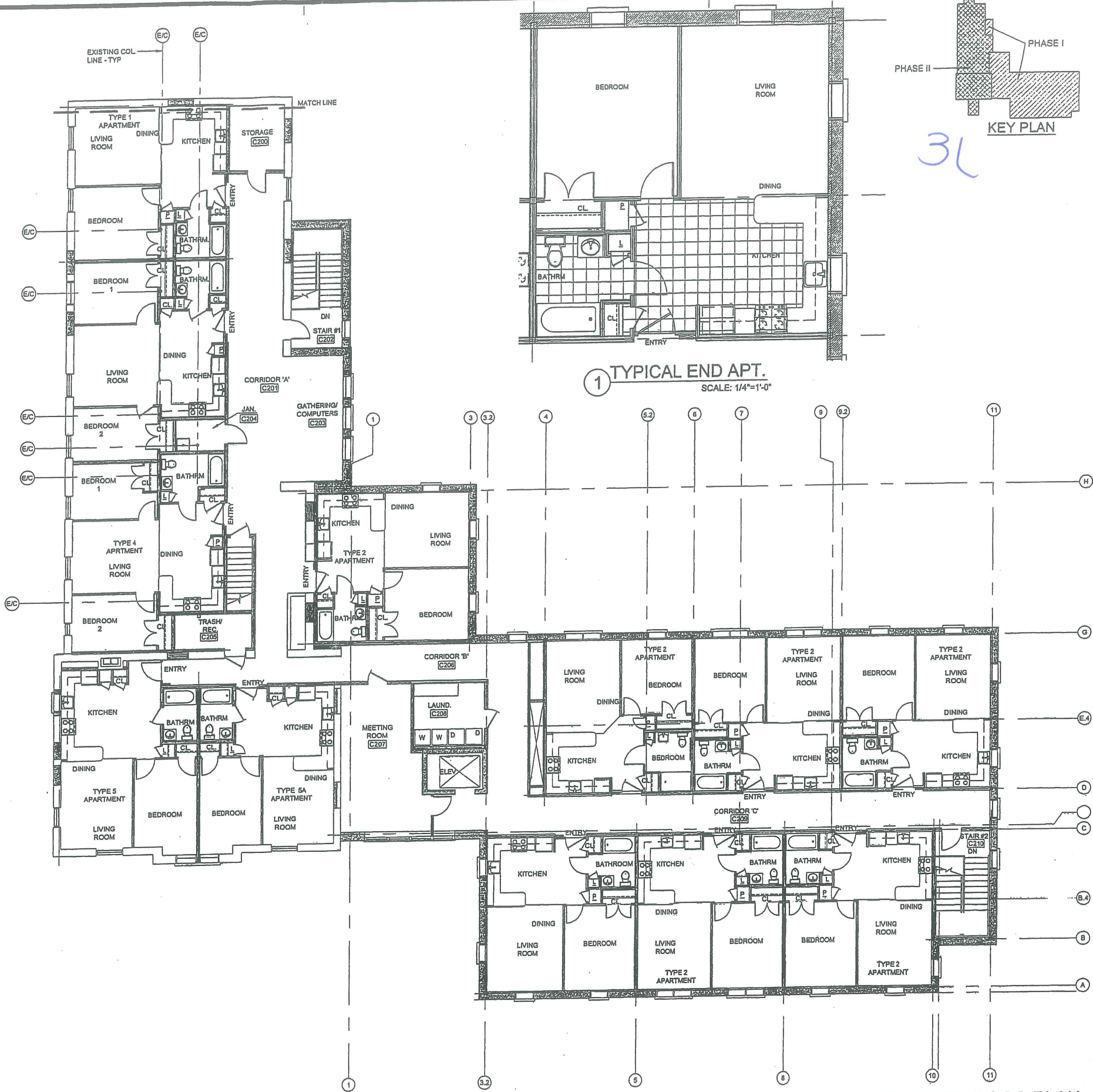
SHEET: **A101**



2 COUTYARD APARTMENT
SCALE: 1/4"=1'-0"



3 TYPICAL - TYPE 2 APT.
SCALE: 1/4"=1'-0"



1 TYPICAL END APT.
SCALE: 1/4"=1'-0"

SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: SEMPLE & DRANE ARCHITECTS
498 CONGRESS STREET
PORTLAND, MAINE 04101
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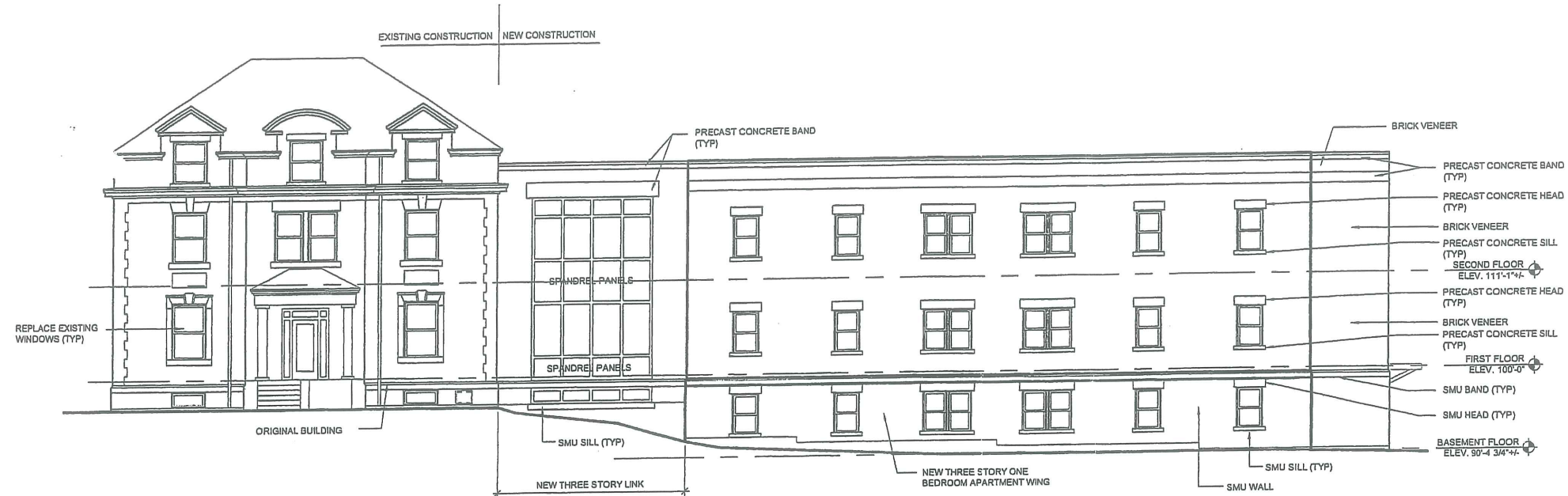
OWNER: IRIS NETWORK
PORTLAND, ME 04101

PROJECT: IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

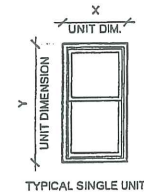
SHEET: A102

3M



A SOUTH ELEVATION
SCALE: 1/8"=1'-0"

WINDOW TYPES
SCALE: 1/4" = 1'-0"



NOTE:
ALL WINDOWS TO BE ALUMINUM
DOUBLE HUNG U.N.O., HEAD, JAMB
AND SILL DETAILS - REFER TO THIS
SHEET INSTALL MEMB. FLASH
AROUND THE PERIMETER OF ALL
WINDOWS



B EAST ELEVATION
SCALE: 1/8"=1'-0"

MARK	MODEL NO	MASONRY OPENING	REMARKS
A	DH-	3'-0" x 4'-10"	
A'	DH-	3'-0" x 4'-8"	
A1	DH-	3'-0" x 2'-6"	
B	DH-	5'-9 5/8" x 4'-10"	
B'	DH-	5'-9 5/8" x 4'-8"	
C	DH-	3'-0" x 3'-10"	
D	AW (4)	14'-4" x 1'-10"	PROVIDE (4) AWNINGS
E	-	14'-4" x 2'-3"	
F	DH-	3'-9" x 6'-0 1/2"	
F'	DH-	3'-9" x 6'-0 1/2"	
G	DH-	3'-9" x 6'-5 1/2"	
G'	DH-	3'-9" x 6'-5 1/2"	
H	DH-	3'-9" x 5'-5"	
H'	DH-	3'-9" x 5'-5"	
J1	DH-	4'-4" x 2'-8"	
J2	DH-	3'-4" x 2'-8"	
J3	DH-	4'-0" x 1'-10"	
K	DH-	4'-4" x 5'-10 1/2"	
L	DH-	4'-4" x 6'-5 1/2"	
M	DH-	3'-4" x 6'-5 1/2"	
N	DH-	3'-4" x 5'-10 1/2"	
P1	DH-	3'-9" x 8'-0 1/2"	
P2	DH-	3'-9" x 6'-5 1/2"	
P3	DH-	3'-9" x 5'-5"	
Q	DH-	4'-0" x 4'-10 1/2"	
R	DH-	4'-0" x 5'-10 1/2"	
S	DH-	4'-0" x 6'-5 1/2"	
T	DH-	3'-6" x 5'-10 1/2"	

NOTES:
1. SEE SPEC FOR BLINDS/SHADES.
2. VERIFY MODEL NUMBERS & R.O. DIMENSIONS w/MANUFACTURER.

ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple@maine.ir.com

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

75% SUBMISSION
REVISIONS:

SHEET: **A201**

3n



C NORTH ELEVATION
A101 SCALE: 1/8"=1'-0"

NEW THREE STORY ONE BEDROOM APARTMENT WING
 NEW THREE STORY BAY ON EXISTING FOUNDATION and THREE STORY EXIT STAIR ON A NEW FOUNDATION
 NEW THREE STORY ONE, TWO BEDROOM APARTMENT ADDITION ON EXISTING FOUNDATION

SECOND FLOOR
 ELEV. 111'-1 1/4"
 FIRST FLOOR
 ELEV. 100'-0"
 BASEMENT FLOOR
 ELEV. 90'-4 3/4"



D WEST ELEVATION
A101 SCALE: 1/8"=1'-0"

NEW THREE STORY ONE, TWO BEDROOM APARTMENT ADDITION ON EXISTING FOUNDATION

REPLACE EXISTING WINDOWS (TYP)
 ORIGINAL BUILDING
 WINDOW BEYOND
 BASEMENT FLOOR
 ELEV. 90'-4 3/4"

SECOND FLOOR
 ELEV. 111'-1 1/4"
 FIRST FLOOR
 ELEV. 100'-0"
 BASEMENT FLOOR
 ELEV. 90'-4 3/4"

ARCHITECT: SEMPLE & DRANE ARCHITECTS
 496 CONGRESS STREET
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 asemple@msdne.com

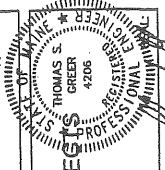
OWNER: IRIS NETWORK
 PORTLAND, ME 04101

PROJECT: IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING: EXTERIOR ELEVATIONS
 75% SUBMISSION
 SCALE: 1/8"=1'-0"
 DATE: JAN. 13, 2005

SHEET: A202

Att. 3



ARCHITECT:
SEMPLE & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple1@maine.net

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
SUBDIVISION AND SITE PLAN
SCALE: AS SHOWN
DATE: JAN 13, 2005

REVISIONS:
SHEET:
C1

GENERAL NOTES

- OWNER: IRIS NETWORK, 189 PARK AVENUE, PORTLAND, MAINE 04102.
- ARCHITECT: SEMPLE AND DRANE ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINCHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY AND BOUNDARY INFORMATION TAKEN FROM "PLAN SHOWING A STANDARD BOUNDARY AND TOPOGRAPHIC SITE SURVEY MADE FOR THE IRIS NETWORK PARK STREET PORTLAND, MAINE", 06-03-04 BY DANIEL J. DALPONSO, LLC LAND SURVEYOR, OCEAN STREET SOUTH PORTLAND, MAINE. BENCHMARK SEE SURVEY NOTES #3.
- LANDSCAPE DESIGN BY MITCHELL & ASSOCIATES, PORTLAND MAINE.
- ZONE: EXISTING R-5, TO BE REZONED AS CONTRACT ZONE.
- TAX MAP REFERENCE: MAP 52, BLOCK C, LOT 3.
- TOTAL PARCEL: 84,105 s.f., 1.94 acres.
- EXISTING SERVICES ARE UNCHANGED, PUBLIC GAS, SEWER AND WATER.
- TRASH WILL BE STORED IN A DUMPSTER OUTSIDE THE BUILDING FOR COLLECTION BY A PUBLIC HAULER.
- SOILS ARE TAKEN FROM "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE AND ARE CLASSIFIED AS DEERFIELD (Dsb) AND HINCKLEY (Hib).
- AN EASEMENT EXISTS BETWEEN LOT 52-C-4 AND THE SUBJECT PARCEL FOR COMMON RIGHT-OF-WAY AND EASEMENT, BK. 4445, PG. 01.
- THIS PROJECT IS THE SUBDIVISION OF 1.94 ACRES OF LAND INTO 31 RESIDENTIAL UNITS.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TYPICAL RAMP SLOPES AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THESE PLANS. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

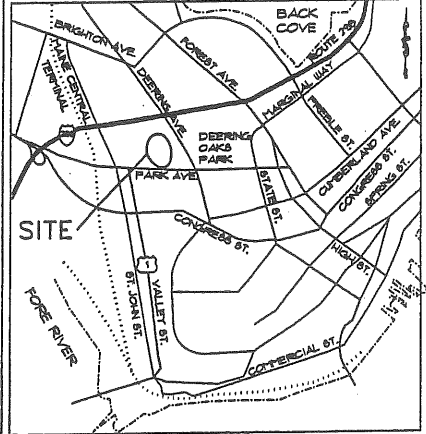
ZONING REQUIREMENTS

- ZONE: CONDITIONAL ZONE
- THIS REZONING SHALL APPLY ONLY WHILE IRIS OR AN ENTITY CONTROLLED BY OR AFFILIATED WITH IRIS OWNS THE PROPERTY AND THE HOUSING THEREON IS RESERVED FOR USE BY SIGHT IMPAIRED INDIVIDUALS. OTHERWISE, THE PROPERTY SHALL REVERT TO THE R-5 OR ANY SUCCESSOR ZONE.
 - THE PROPERTY SHALL OTHERWISE CONFORM TO THE ZONING REQUIREMENTS OF THE R-5 ZONE WITH THE EXCEPTIONS NOTED HEREIN:
 - PARKING:
 - A TOTAL OF 55 PARKING SPACES SHALL BE PROVIDED AND DEDICATED AS FOLLOWS:
 - 43 SPACES DEDICATED TO THE OFFICE USES ON THE PROPERTY
 - 12 SPACES DEDICATED TO THE RESIDENTIAL USE ON THE PROPERTY
- UNDERLYING R-5 ZONE SETBACKS & COVERAGE:
- | | |
|--------------------------|---------|
| MINIMUM STREET FRONTAGE: | 50 FEET |
| FRONT YARD: | 20 FEET |
| REAR YARD: | 20 FEET |
| SIDE YARD: | 14 FEET |
| 3 STORY STRUCTURE: | 40% |
| MAXIMUM LOT COVERAGE: | 60 FEET |
| MINIMUM LOT WIDTH: | |

LEGEND

EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ADJUTERS PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- STORM DRAIN
- OVER-HEAD WIRES
- UNDERGROUND WIRES
- WATER LINE
- F/A FIRE ALARM
- 86.4+ SPOT GRADE
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TRANSFORMER
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- CHAINLINK FENCE
- BENCHMARK
- BOUND FOUND
- HYDRANT
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- EX FLAGPOLE



- ### PLAN REFERENCES:
- STANDARD BOUNDARY SURVEY OF KING MIDDLE SCHOOL DEERING AVENUE PORTLAND MAINE BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION MAY 31, 1994 CITY FILE 9471
 - PLAN OF LAND IN PORTLAND MAINE FOR MAIN INSTITUTION FOR THE BLIND BY OWEN HASKELL, INC. JANUARY 25, 1914 CITY OF PORTLAND ENGINEERING FILE 82516.
 - PLAN OF PORTLAND SPORTS COMPLEX PARK AVENUE PORTLAND MAINE MADE FOR CITY OF PORTLAND BY OWEN HASKELL, INC. JULY 16, 1984.

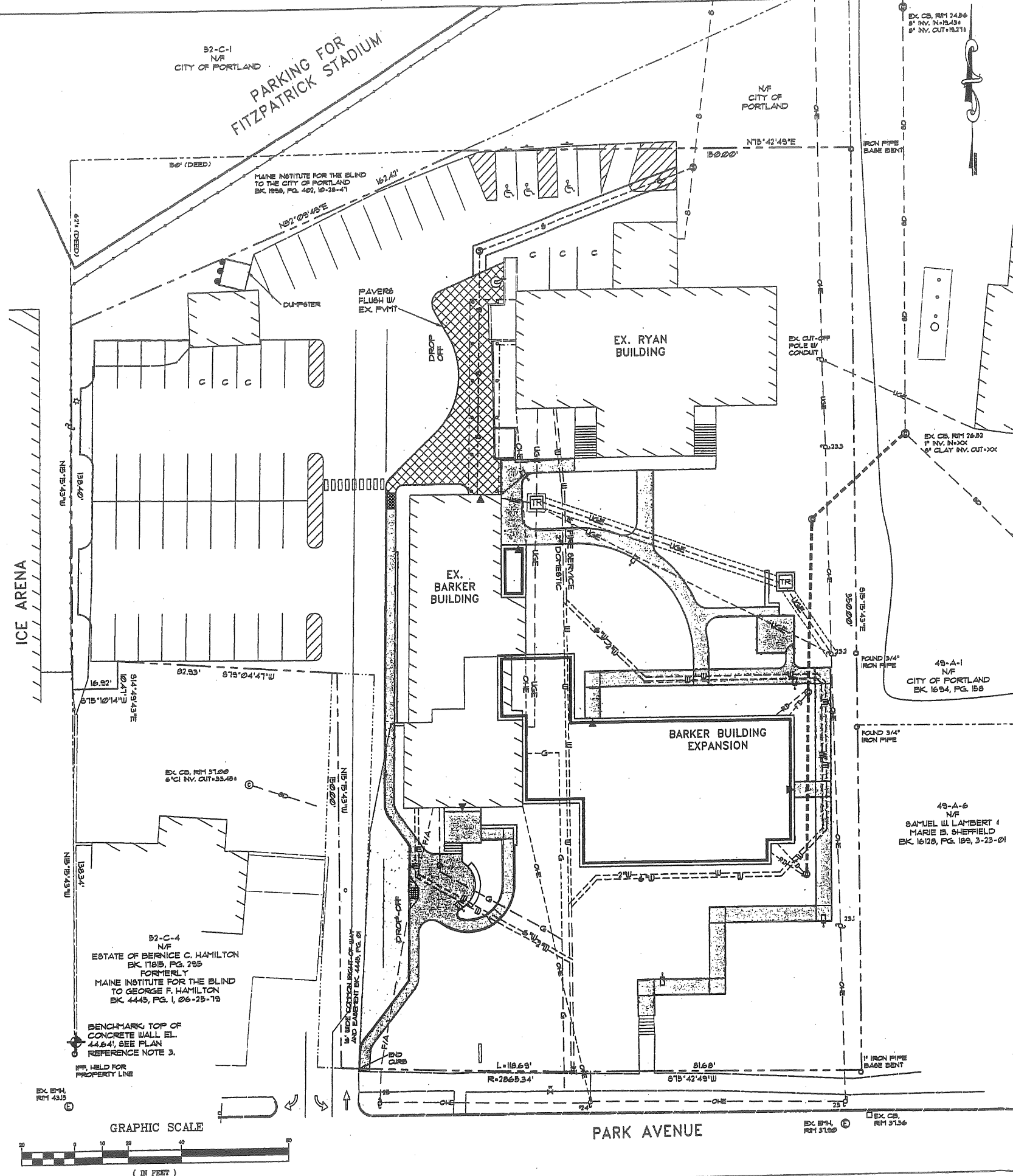
LOCUS DEED REFERENCE:

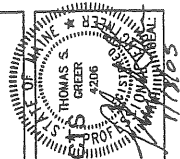
- CITY OF PORTLAND TO THE MAINE INSTITUTION FOR THE BLIND, BOOK 821 PAGE 196 APRIL 4, 1928.

- ### SURVEY NOTES:
- TOTAL AREA: 1.94 ACRES OR 84,105 SQ. FT.
 - LOCUS PARCEL TAX MAP 52-C-3.
 - ELEVATIONS BASED ON CITY DATUM PER PLAN REFERENCE #3.

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____





ARCHITECT:
SEMPLÉ & DRANE ARCHITECTS
 ORDER NO. 2005-001
 498 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
 asemble1@maine.ir.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

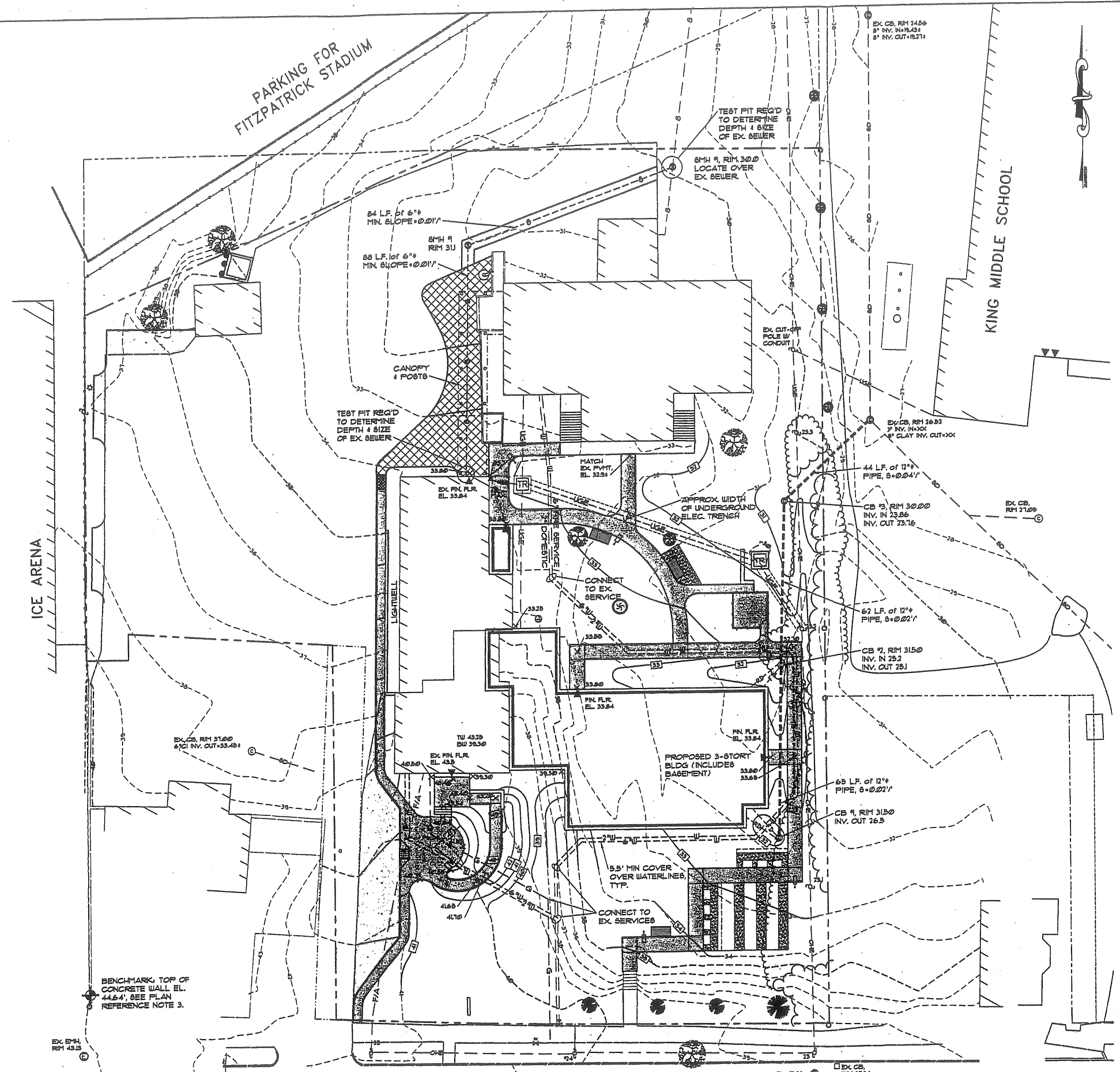
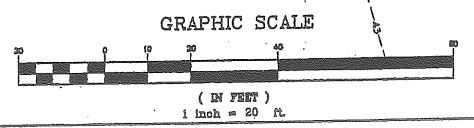
PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN
 SCALE: AS SHOWN
 REVISIONS:
 DATE: JAN. 13, 2005

SHEET:
C3

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EASEMENT
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ADJUTERS PROPERTY	--- VERTICAL GRANITE CURB
--- EASEMENT	--- GRADE BREAKS AT RAMP
--- EDGE OF PAVEMENT	--- CONTOURS
--- BUILDING	--- BUILDING ENTRY/EGRESS
--- CURB	--- STORM DRAIN
--- GAS LINE	--- GAS LINE
--- SANITARY SEWER	--- SANITARY SEWER
--- STORM DRAIN	--- STORM DRAIN
--- OVERHEAD WIRES	--- UNDERGROUND ELECTRIC
--- UNDERGROUND WIRES	--- WATER LINE
--- WATER LINE	--- UNDERDRAIN
--- FIRE ALARM	--- FOUNDATION DRAIN
--- SPOT GRADE	--- DRIPSTRIP W/ UNDERDRAIN
--- CATCH BASIN	--- SPOT GRADE
--- DRAIN MANHOLE	--- CATCH BASIN
--- ELECTRIC MANHOLE	--- DRAIN MANHOLE
--- TRANSFORMER	--- BOLLARD
--- BEWER MANHOLE	--- SANITARY MANHOLE
--- UTILITY POLE	--- TRANSFORMER
--- TREE	--- LIGHTPOLE
--- TREELINE	--- SIGN
--- CHAINLINK FENCE	--- HANDICAP PARKING
--- BENCHMARK	--- PAINTED CROSSWALK
--- BOUND FOUND	--- SURFACE DRAINAGE
--- IRON PIPE FOUND	--- BITUMINOUS PAVEMENT
--- HYDRANT	--- CONCRETE PAVEMENT
--- GATE VALVE	--- CONC. PAVERS AT RAMP
--- GAS VALVE	
--- LIGHT POLE	
--- EX. FLAGPOLE	
--- CONTOURS	
--- SOILS BOUNDARY	
--- SOILS DESIGNATION	

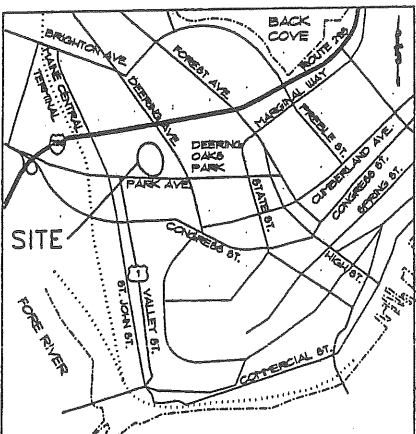


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LEGEND

EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ADJUTERS PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- BUILDING CURB
- GAS LINE
- SANITARY SEWER
- STORM DRAIN
- OVERHEAD WIRES
- UNDERGROUND WIRES
- WATER LINE
- F/A
- 86.4+ SPOT GRADE
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TRANSFORMER
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- CHAIN LINK FENCE
- BENCHMARK
- BOUND FOUND
- IRON PIPE FOUND
- HYDRANT
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- EX. FLAGPOLE



LOCATION PLAN

SCALE: 1"=3000'

PLAN REFERENCES:

- STANDARD BOUNDARY SURVEY OF KING MIDDLE SCHOOL DEERING AVENUE PORTLAND MAINE BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION MAY 31, 1934 CITY FILE 3471
- PLAN OF LAND IN PORTLAND MAINE FOR MAIN INSTITUTION FOR THE BLIND BY OREN HASKELL, INC. JANUARY 25, 1914 CITY OF PORTLAND ENGINEERING FILE 82516
- PLAN OF PORTLAND SPORTS COMPLEX PARK AVENUE PORTLAND MAINE MADE FOR CITY OF PORTLAND BY OREN HASKELL, INC. JULY 16, 1924

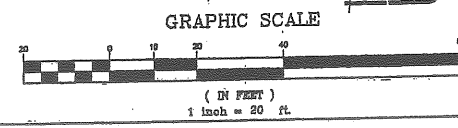
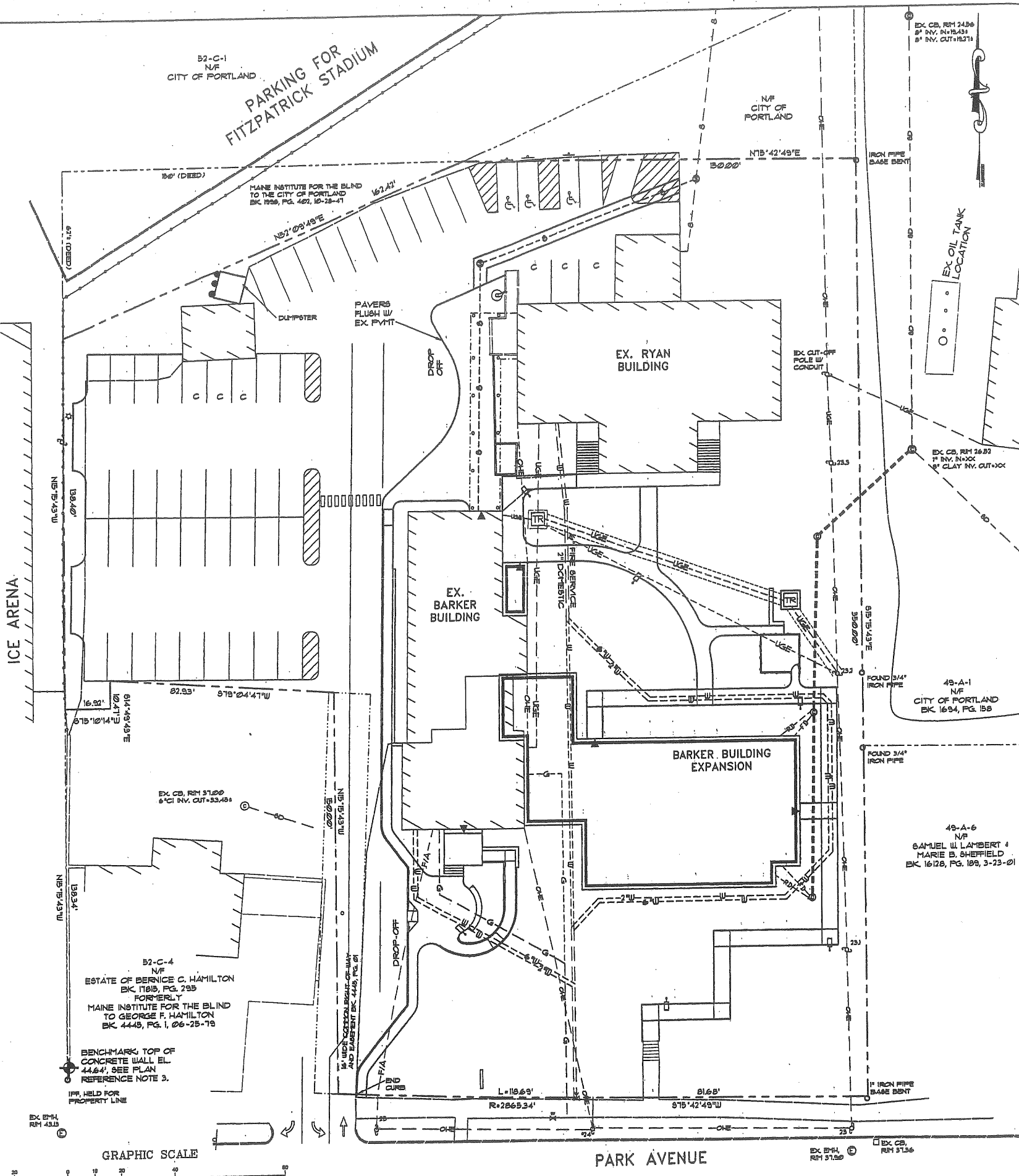
LOCUS DEED REFERENCE:

- CITY OF PORTLAND TO THE MAINE INSTITUTION FOR THE BLIND, BOOK 821 PAGE 126 APRIL 4, 1928

SURVEY NOTES:

- TOTAL AREA: 134 ACRES OR 84705 SQ. FT.
- LOCUS PARCEL TAX MAP 52-C-3.
- ELEVATIONS BASED ON CITY DATUM PER PLAN REFERENCE 3.

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD



GENERAL NOTES

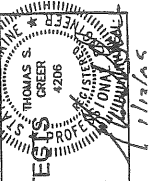
- OWNER: IRIS NETWORK, 189 PARK AVENUE, PORTLAND, MAINE 04103.
- ARCHITECT: SEMPLE AND DRANE ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY AND BOUNDARY INFORMATION TAKEN FROM "PLAN SHOWING A STANDARD BOUNDARY AND TOPOGRAPHIC SITE SURVEY MADE FOR THE IRIS NETWORK PARK STREET PORTLAND, MAINE" 06-03-04 BY DANIEL J. DALPONSO, LLC LAND SURVEYOR OCEAN STREET SOUTH PORTLAND, MAINE. BENCHMARK: SEE SURVEY NOTES 9.
- LANDSCAPE DESIGN BY MITCHELL & ASSOCIATES, PORTLAND MAINE.
- ZONE: EXISTING R-5, TO BE REZONED AS CONTRACT ZONE.
- TAX MAP REFERENCE: MAP 52, BLOCK C, LOT 3.
- TOTAL PARCEL: 84,705 sq. ft. 134 acres.
- EXISTING SERVICES ARE UNCHANGED, PUBLIC GAS, SEWER AND WATER.
- TRASH WILL BE STORED IN A DUMPSTER OUTSIDE THE BUILDING FOR COLLECTION BY A PUBLIC HAULER.
- SOILS ARE TAKEN FROM "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE AND ARE CLASSIFIED AS DEERFIELD (Dsb) AND HINCKLEY (Hib).
- AN EASEMENT EXISTS BETWEEN LOT 52-C-4 AND THE SUBJECT PARCEL FOR COMMON RIGHT-OF-WAY AND EASEMENT, BK. 448, PG. 21.
- THIS PROJECT IS THE SUBDIVISION OF 134 ACRES OF LAND INTO 31 RESIDENTIAL UNITS.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPEDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED, SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE-BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THESE PLANS. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

ZONING REQUIREMENTS

- ZONE: CONDITIONAL ZONE
- THIS REZONING SHALL APPLY ONLY WHILE IRIS, OR AN ENTITY CONTROLLED BY OR AFFILIATED WITH IRIS OWNS THE PROPERTY AND THE HOUSING THEREON IS RESERVED FOR USE BY SIGHT IMPAIRED INDIVIDUALS. OTHERWISE, THE PROPERTY SHALL REVERT TO THE R-5 OR ANY SUCCESSOR ZONE.
 - THE PROPERTY SHALL OTHERWISE CONFORM TO THE ZONING REQUIREMENTS OF THE R-5 ZONE WITH THE EXCEPTIONS NOTED HEREIN.
 - PARKING:
 - A TOTAL OF 53 PARKING SPACES SHALL BE PROVIDED AND DEDICATED AS FOLLOWS:
 - 42 SPACES DEDICATED TO THE OFFICE USES ON THE PROPERTY
 - 13 SPACES DEDICATED TO THE RESIDENTIAL USE ON THE PROPERTY
- UNDERLYING R-5 ZONE SETBACKS & COVERAGE:
- | | |
|--------------------------|--------------|
| MINIMUM STREET FRONTAGE: | 50 FEET |
| FRONT YARD: | 20 FEET |
| REAR YARD: | 20 FEET |
| SIDE YARD: | 14 FEET |
| 3 STORY STRUCTURE: | 40% COVERAGE |
| MAXIMUM LOT COVERAGE: | 40% |
| MINIMUM LOT WIDTH: | 60 FEET |



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sdrane@maine.ir.net

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

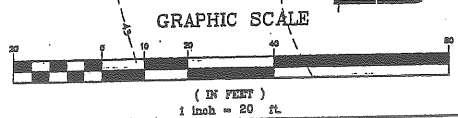
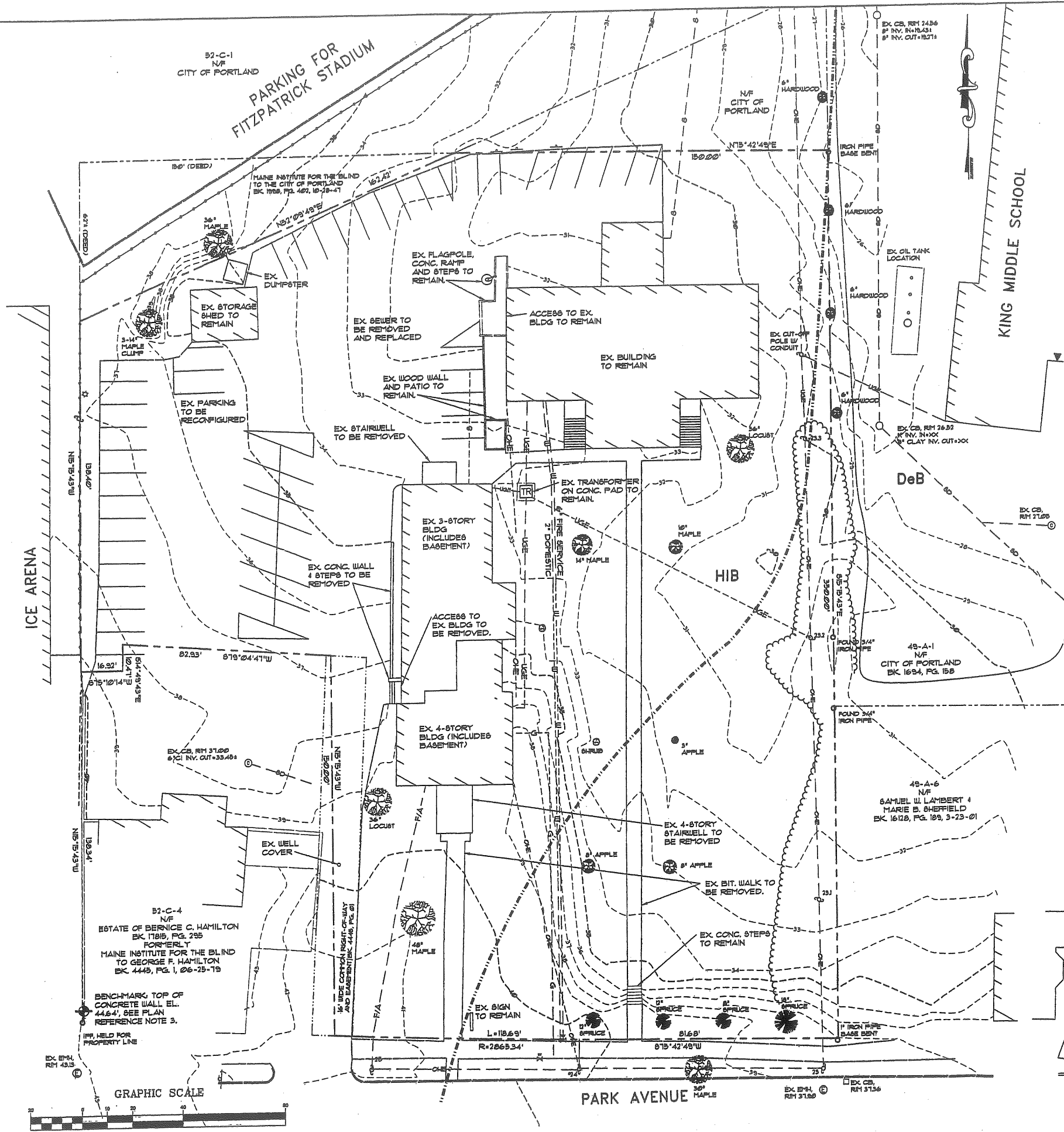
PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
SUBDIVISION AND SITE PLAN
SCALE: AS SHOWN
DATE: JAN. 13, 2005
REVISIONS:
SHEET: C1

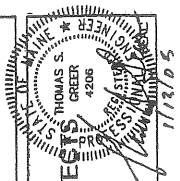
LEGEND

EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ADJUTERS PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- STORMDRAIN
- OVERHEAD WIRES
- UNDERGROUND WIRES
- WATER LINE
- F/A FIRE ALARM
- SPOT GRADE
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TRANSFORMER
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- CHAINLINK FENCE
- BENCHMARK
- BOUND FOUND
- IRON PIPE FOUND
- HYDRANT
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- EX FLAGPOLE
- CONTOUR
- SOILS BOUNDARY
- SOILS DESIGNATION



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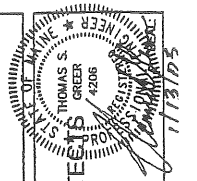
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 496 CONGRESS STREET
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 asemple1@maine.ir.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK
RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING:
 EXISTING SITE AND DEMOLITION PLAN
SCALE: AS SHOWN
REVISIONS:
DATE: JAN 13, 2005

SHEET:
C2



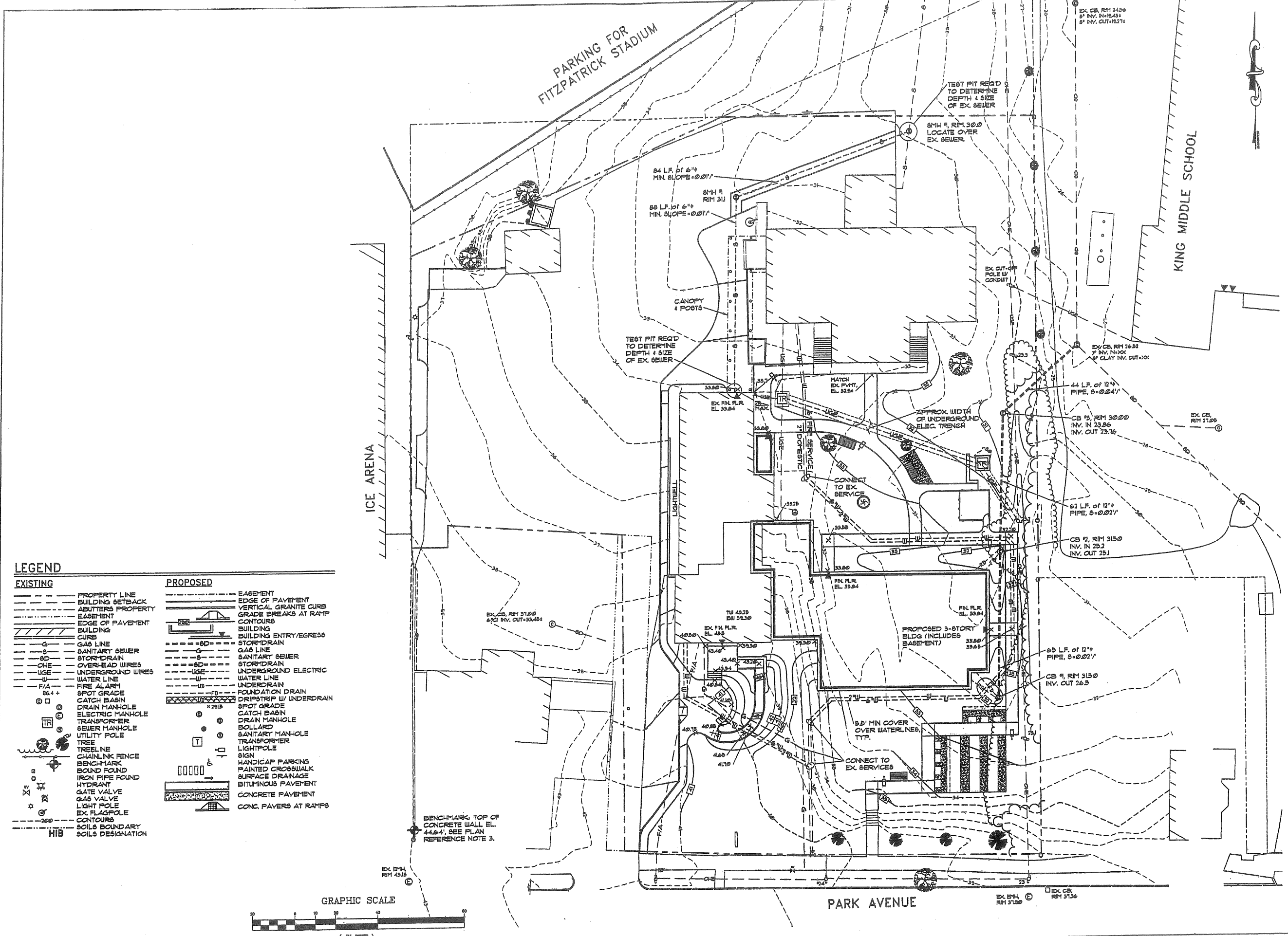
ARCHITECT:
SEMPLE & DRANE ARCHITECTS
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 (207) 761-4231
 asemble1@maine.rr.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

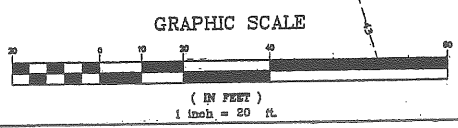
DRAWING:
GRADING AND UTILITIES PLAN
 SCALE: AS SHOWN
 DATE: JAN. 13, 2005

SHEET:
C3



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EASEMENT
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ADJUTERS PROPERTY	--- VERTICAL GRANITE CURB
--- EASEMENT	--- GRADE BREAKS AT RAMP
--- EDGE OF PAVEMENT	--- CONTOURS
--- BUILDING	--- BUILDING ENTRY/EGRESS
--- CURB	--- STORM DRAIN
--- G GAS LINE	--- GAS LINE
--- SD SANITARY SEWER	--- SANITARY SEWER
--- SD STORM DRAIN	--- STORM DRAIN
--- OHE OVERHEAD WIRES	--- UNDERGROUND ELECTRIC
--- UGE UNDERGROUND WIRES	--- WATER LINE
--- W WATER LINE	--- UNDERDRAIN
--- F/A FIRE ALARM	--- FOUNDATION DRAIN
--- 86.4+ SPOT GRADE	--- DRIPTRIP W/ UNDERDRAIN
--- CATCH BASIN	--- SPOT GRADE
--- DRAIN MANHOLE	--- CATCH BASIN
--- ELECTRIC MANHOLE	--- DRAIN MANHOLE
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--- SEWER MANHOLE	--- SANITARY MANHOLE
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--- BOUND FOUND	--- SURFACE DRAINAGE
--- IRON PIPE FOUND	--- BITUMINOUS PAVEMENT
--- HYDRANT	--- CONCRETE PAVEMENT
--- GATE VALVE	--- CONC. PAVERS AT RAMPS
--- GAS VALVE	
--- LIGHT POLE	
--- EX. FLAGPOLE	
--- CONTOURS	
--- SOILS BOUNDARY	
--- SOILS DESIGNATION	



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EROSION CONTROL GENERAL NOTES

GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CLIMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILTFENCES AND STONE CHECKDAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.

PERMANENT SEED MIX	SEED RATE	DATE
PERMANENT SEED MIX	50.00 LBS/ACRE	4/01 - 5/14
PERMANENT SEED MIX	40.00 LBS/ACRE	5/15 - 8/14
PERMANENT SEED MIX	40.00 LBS/ACRE	5/15 - 8/14
PERMANENT SEED MIX	50.00 LBS/ACRE	5/15 - 8/14
PERMANENT SEED MIX	10.00 LBS/ACRE	9/15 - 9/30
PERMANENT SEED MIX	10.00 LBS/ACRE	10/01 - 3/31
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

MULCH	AMOUNT	AREA
STRAW OR HAY (ANCHORED)	10 - 20 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	100 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	100 - 275 LBS	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
JUTE MESH	AS REQUIRED	
- DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND WETLANDS
- BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125B.
- FOLLOW SILT FENCE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILTFENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILTFENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 117.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	50.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	50.00 LBS/ACRE	5/15 - 8/14
WINTER RYE	10.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	10.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

MULCH:

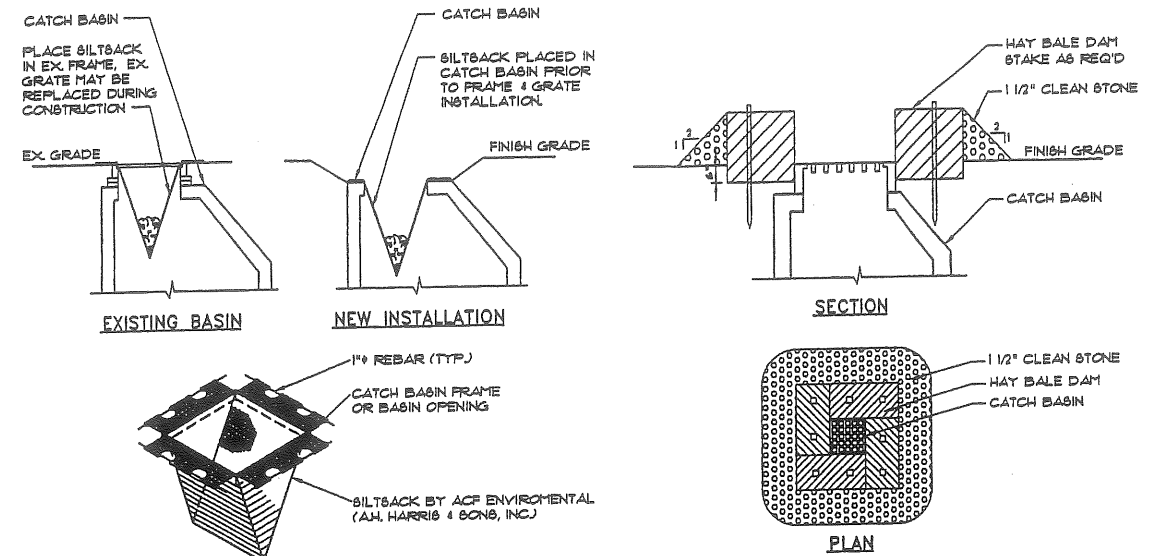
STRAW OR HAY (ANCHORED)	10 - 20 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	100 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	100 - 275 LBS	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
JUTE MESH	AS REQUIRED	

EXCELSIOR MAT

AS REQUIRED

MULCH ANCHORING

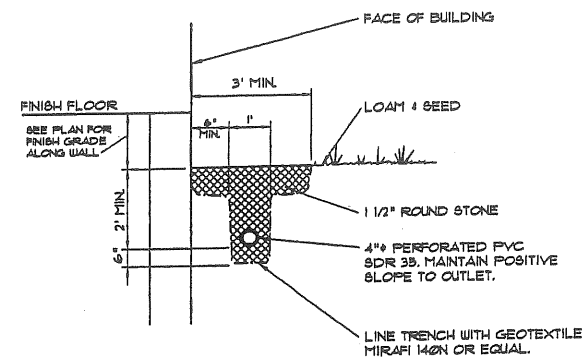
PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK



1 CATCH BASIN PROTECTION

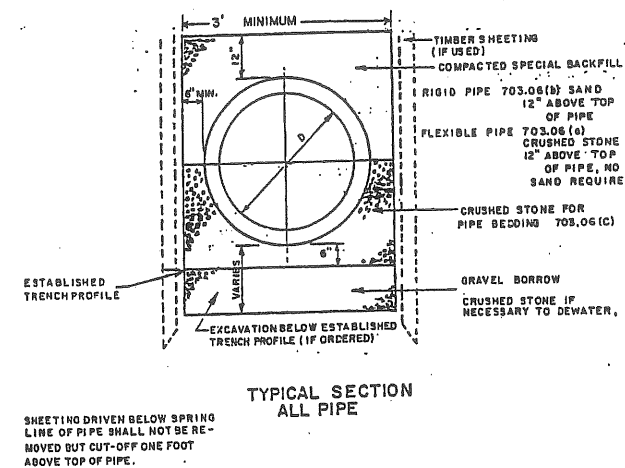
CATCHBASIN INLET MAY BE PROTECTED BY EITHER HAYBALE AND STONE FILTER OR SILTBACK.

NOT TO SCALE



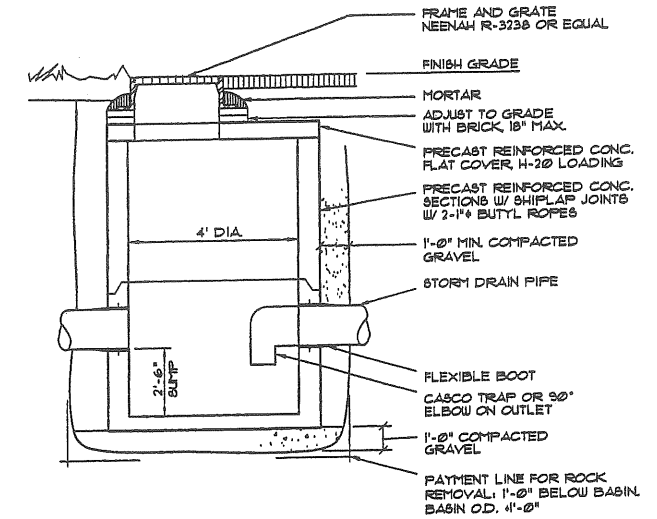
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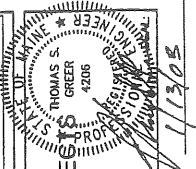
3 TRENCH SECTION

NOT TO SCALE



2 PRECAST CATCH BASIN

NOT TO SCALE



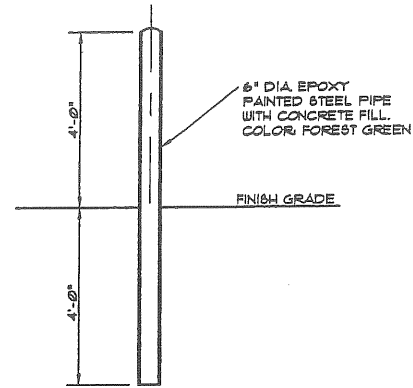
ARCHITECT:
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IRIS NETWORK
PORTLAND, ME 04101

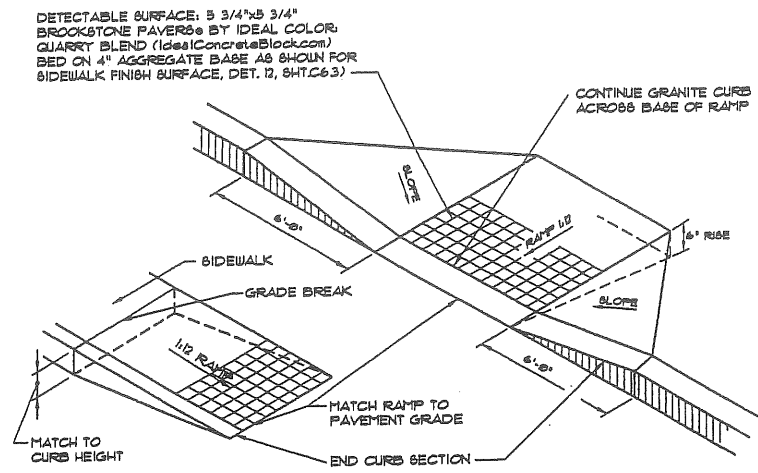
PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
DETAILS
SCALE: AS SHOWN
DATE: JAN 13, 2005

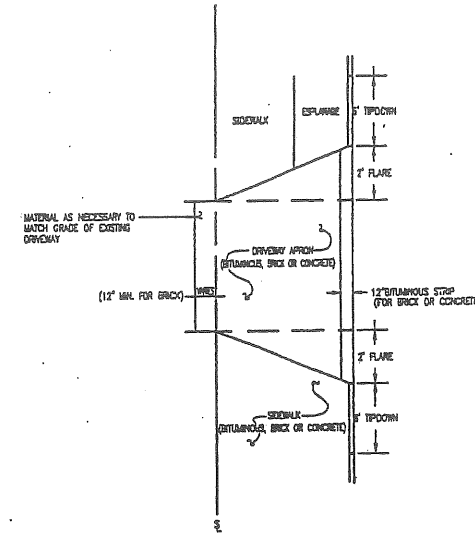
SHEET:
C4



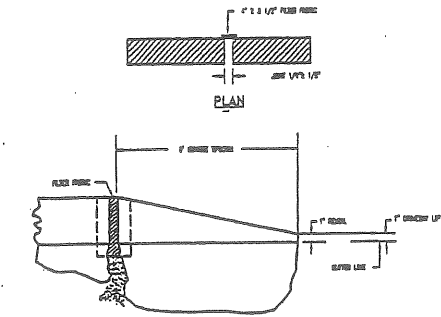
4 STEEL BOLLARD DETAIL
NOT TO SCALE



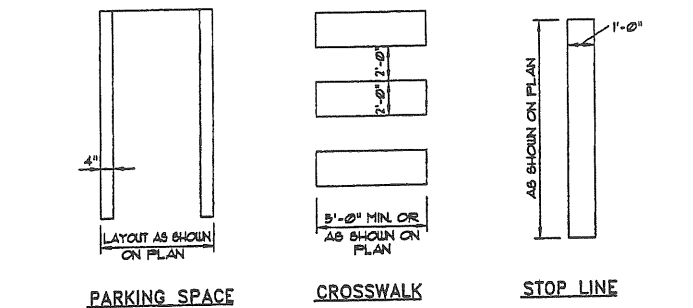
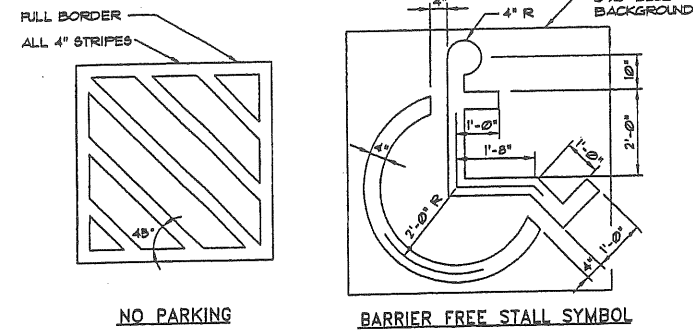
3 SIDEWALK RAMP DETAILS
NOT TO SCALE



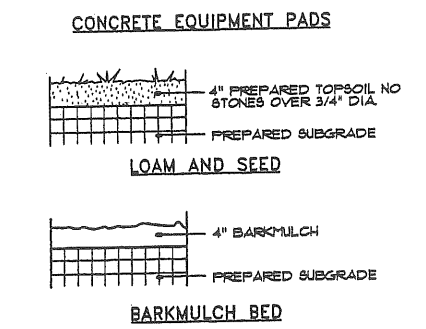
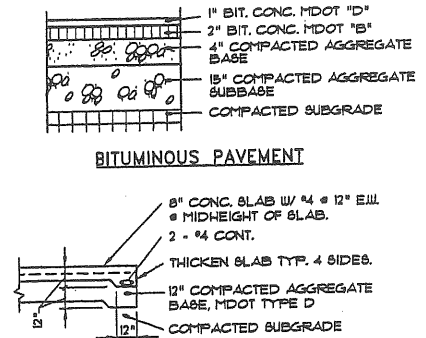
2 SIDEWALK & DRIVEWAY CONSTRUCTION
NOT TO SCALE



1 CURB INSTALLATION
NOT TO SCALE

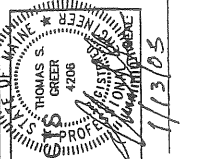


6 STRIPING DETAILS
NOT TO SCALE



NOTES:
1. ALL COURSE THICKNESS AFTER FINAL COMPACTION.
2. SEE LANDSCAPE DRAWINGS FOR BARKMULCH AND LAWN AREAS

5 SURFACING DETAILS
NOT TO SCALE



ARCHITECT:
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PROJECT:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

OWNER:
IRIS NETWORK

DRAWING:
DETAILS
SCALE: AS SHOWN
DATE: JAN 13, 2005

SHEET:
C5

GENERAL NOTES

- CALL 800-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DURING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES DAMAGED BY THIS PROJECT AT HIS OWNERS RISK AND AT HIS OWNERS RISK.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING.
- DO NOT SCALE FROM DRAWINGS. ANY QUESTIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS AND NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WORK REQUIRED.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS 2 INCHES IN ALL TREE PITS AND 12 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- NONCULTURAL PRACTICES: THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PROPER STAKING OF CUTTING, WEEDING, SPRINKLING, FERTILIZATION, WEEDING AND GENERAL MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND SOBS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SHOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE DAMAGED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, SNOW STORAGE AND OR VEHICLES PARKING SHALL NOT BE PERMITTED WITHIN THE DROP LINE OF TREES OR TWENTY FEET, WHICHEVER IS GREATER.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATIONS THAT INCLUDE FERTILIZING AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPERMATOPHYTES PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-SORTED OR DECOMPOSED MANURE OR COMPOST. ROOTBALL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE REMOVAL MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES (E.G. FENCE, HAY BALE) OF A UNIFORM 75% CATCH OR TURF IS REQUIRED FOR ACCEPTANCE.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A. GN	1	ACER GINNALA	AMUR MAPLE	2" CAL
A. SAC	3	ACER SACCHARUM	SUGAR MAPLE	3" CAL
M. X LUM	1	MAGNOLIA X LOEBNERI 'LEONARD MESSE'	LEONARD MESSE MAGNOLIA	5'-6" HT.
M. SS	4	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2" CAL
P. CA	2	PIRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2.5" CAL
Q. RUB	1	QUERCUS RUBRA	RED OAK	3" CAL
T. FL	22	TULIA OCCIDENTALIS 'TILIFORMIS'	FILIFORMIS ARBORVITAE	3'-4" HT.
T. CAN	8	TSUGA CANADENSIS	CANADIAN HEMLOCK	4'-5" HT.
SHRUBS				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	#3 CONT.
D. BUR	3	DAPHNE BURKWOODI 'SOMERSET'	SOMERSET DAPHNE	#3 CONT.
F. COU	8	FORSYTHIA COURTASOL 'GOLD TIDE'	GOLD TIDE FORSYTHIA	#3 CONT.
F. GAR	10	FOTHERGILLA GARDENI	DWARF BOTTLEBRUSH	18"-24" HT.
J. COC	22	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	#3 CONT.
J. PRO	4	JUNIPERUS PROCUMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	#3 CONT.
K. LI	3	KALMA LATIFOLIA 'TIDDLYWINKS'	TIDDLYWINKS MOUNTAIN LAUREL	#3 CONT.
R. WIN	6	RHOODENDRON 'WINDBEAM'	WINDBEAM RHOODENDRON	#3 CONT.
PERENNIALS				
H. SDO	18	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL POT
GROUNDCOVERS				
A. GEN	75	AJUGA GENEVENSIS	BUGLE WEED	FLAT
A. UU	5	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	#3 CONT.

NOTES:

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL, FOR BROAD-LEAVED EVERGREENS AND RELATED EPICACAE PLANTS: 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER CROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" x 2" OF 3/4" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 18" APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).

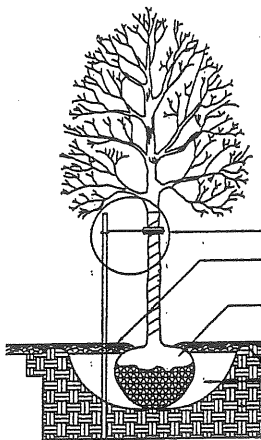
2-4" WELL ROTTED BLACK PINE BARK MULCH OVER PLANTING AREA AND AWAY FROM TRUNK.

REMOVE PLASTIC BURLAP. REMOVE MATERIAL FROM AT LEAST THE TOP 1/3 OF ROOTBALL OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/2 OF WIRE BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX--SEE NOTE ABOVE

UNDISTURBED SUBGRADE

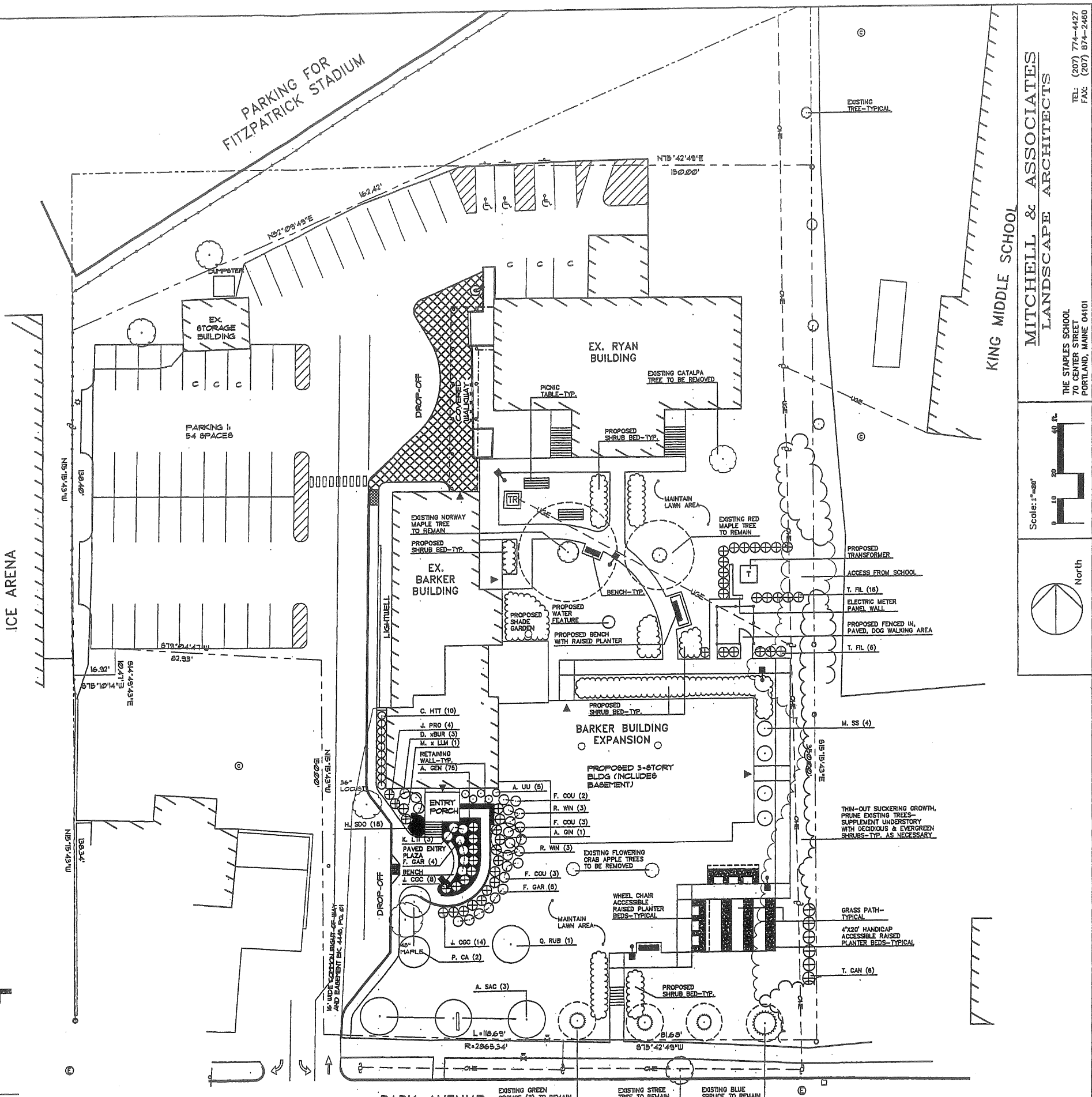


TREE INSTALLATION

NOT TO SCALE

ICE ARENA

PARKING FOR FITZPATRICK STADIUM



KING MIDDLE SCHOOL



TEL: (207) 774-4427
FAX: (207) 874-2460

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

THE STAPLES SCHOOL
70 CENTER STREET
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ARCHITECT:
SEMPLE & DRANE ARCHITECTS
496 CONGRESS STREET
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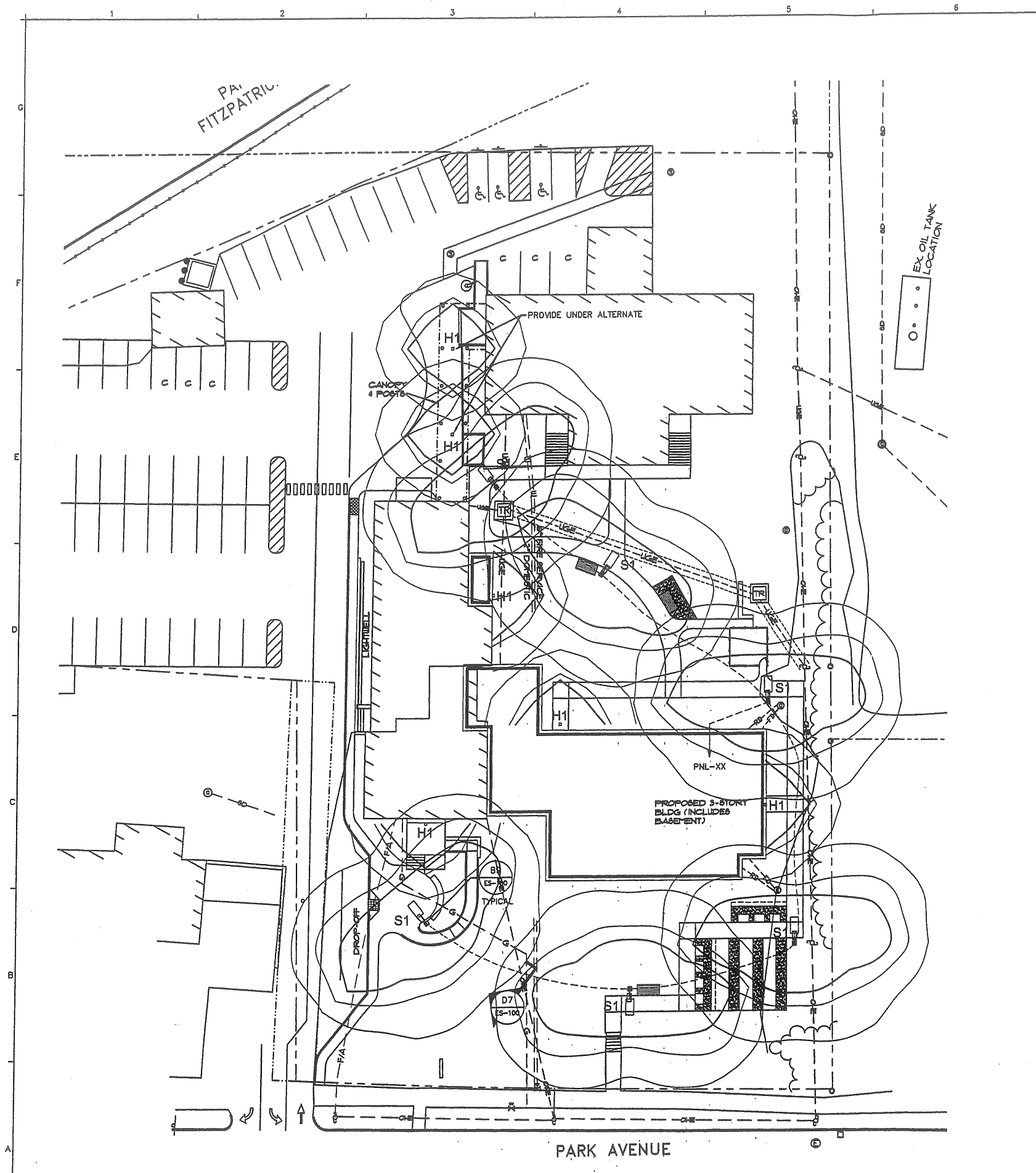
OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
PRELIMINARY PLANTING PLAN

SCALE: AS SHOWN
DATE: DECEMBER 11, 2004
REVISIONS:
01

Project: 2003\03181-RIS NETWORK.dwg LUCHTING.030605.dwg E-000 1/13/2005 10:05:37 AM

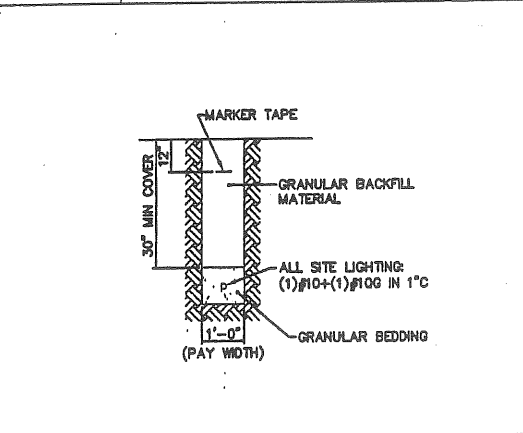


1. POLE BASES, TRANSFORMER PADS AND MANHOLES PROVIDED BY DIVISION 16.
2. PROTECT ALL EXISTING UNDERGROUND ELECTRIC AND COMMUNICATIONS WIRING DURING CONSTRUCTION, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, EXCEPT WHERE SUCH IS INDICATED TO BE REMOVED.
3. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.
4. WHERE EXISTING OVERHEAD WIRING IS INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ALL ASSOCIATED POLES, GUYS, ANCHORS, ETC.
5. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION OF UNDERGROUND UTILITIES.
6. WHERE EXISTING ITEMS SUCH AS POLES LIGHTS ETC. ARE INDICATED TO BE REMOVED, PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES, CONNECTIONS, ETC. AS REQUIRED FOR CONTINUED OPERATION OF EXISTING ITEMS ON THE SAME CIRCUIT OR FED FROM THE SAME CONDUIT THAT ARE INDICATED TO REMAIN.
7. SLOPE ALL CONDUITS AWAY FROM THE BUILDING THAT ENTER THE BUILDING FOOTPRINT ~ PROVIDE A WEEP HOLE AT THE LOWEST POINT OF THE CONDUIT.

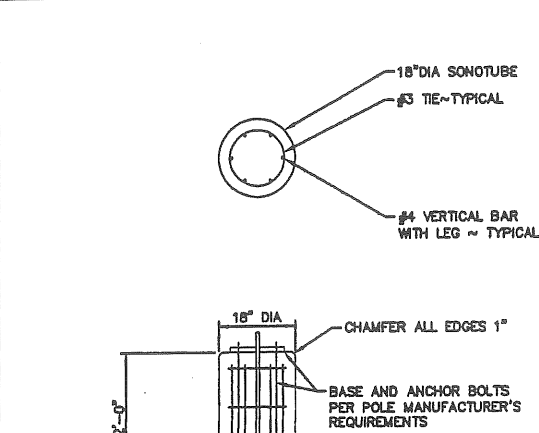
(E)	EXISTING
(R)	REMOVE
FA	FIRE ALARM
C	CATV
E	ELECTRIC POWER
F	FIBER OPTIC CABLING
T	TELEPHONE
OH	OVERHEAD
UG	UNDERGROUND
---	OVERHEAD WIRING ~ TYPE AS INDICATED
---	UNDERGROUND WIRING ~ TYPE AS INDICATED
○	UTILITY POLE
□	IN-GROUND JUNCTION BOX
□	ELECTRICAL MANHOLE
□	ELECTRICAL HANDHOLE ~ 11"x18" UNO
□	PADMOUNT TRANSFORMER
□	METER & CT CABINET ~ PEDESTAL MOUNTED
○	SINGLE POLE MOUNTED LIGHT
□	DOUBLE POLE MOUNTED LIGHT

F7 SITE PLAN GENERAL NOTES
NO SCALE

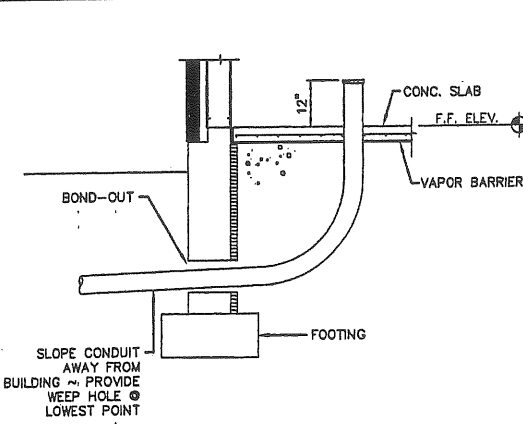
F9 ELECTRICAL LEGEND
NO SCALE



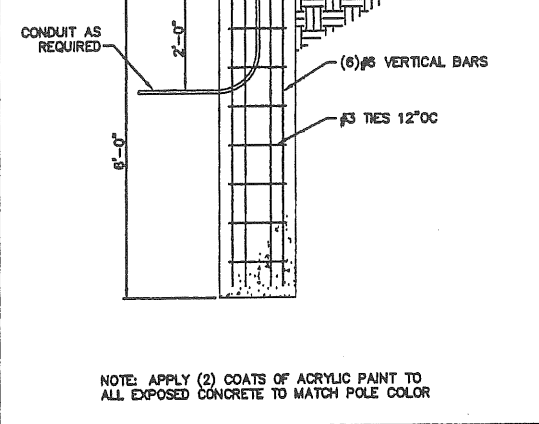
D7 TYPICAL SITE LTG TRENCH DETAIL
NO SCALE



B9 LIGHT POLE BASE DETAIL
NO SCALE ~ FOR ALL SITE LIGHTING, UNO ~



G1 CONDUIT ENTRANCE INTO BUILDING
NO SCALE



A7
NO SCALE

FOR REVIEW
12 JAN 2005



ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
 496 CONGRESS STREET
 PORTLAND, MAINE 04101
 TEL: (207) 761-4231 FAX: (207) 761-0152
 sdr@semplerdrane.com

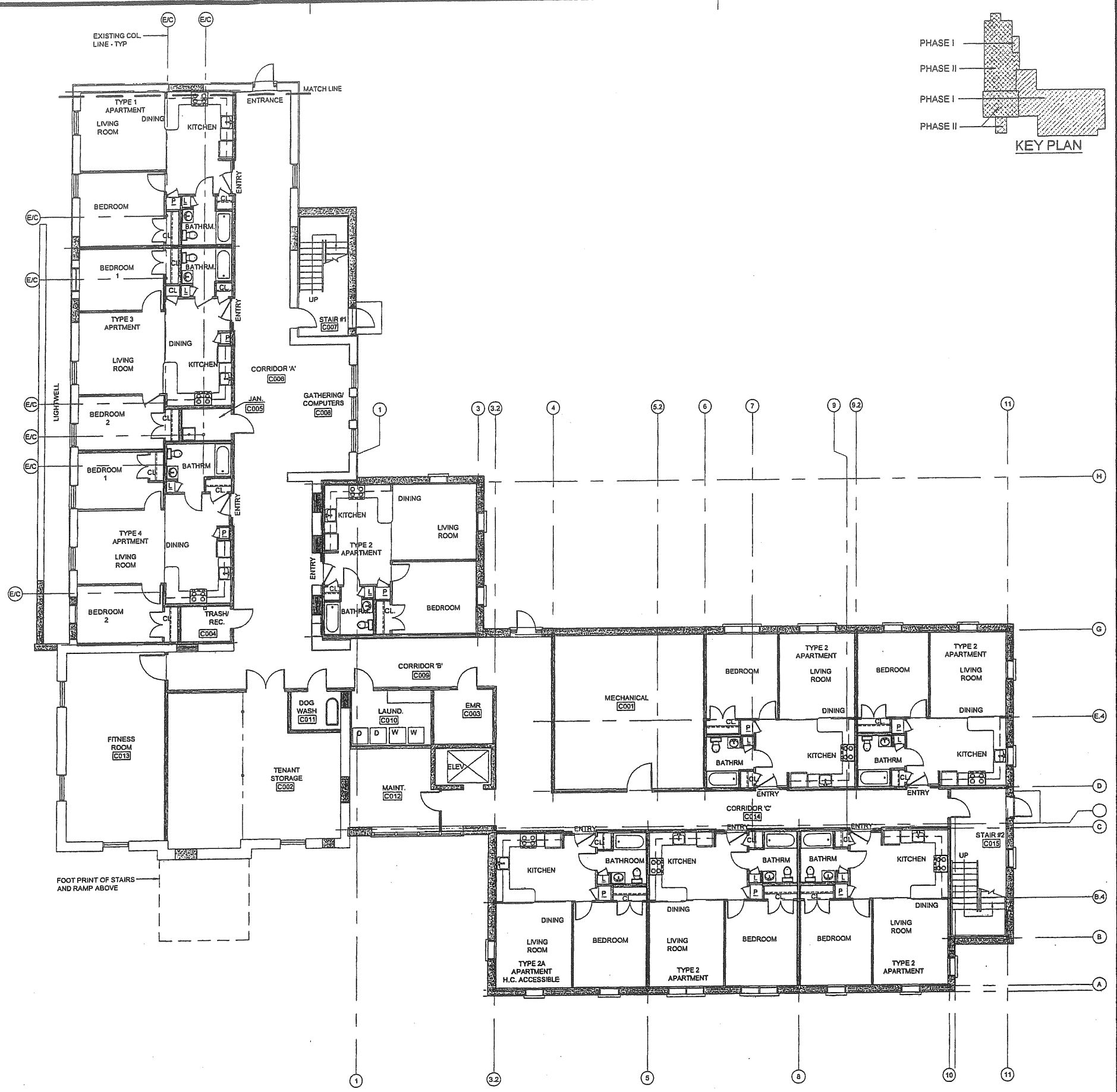
ENGINEERING: **allied engineering, inc.**
 1000 W. BROAD ST. SUITE 200
 PORTLAND, ME 04102

ENGINEERING: **IRIS PARK APARTMENTS L.P.**
 PORTLAND, MAINE 40101

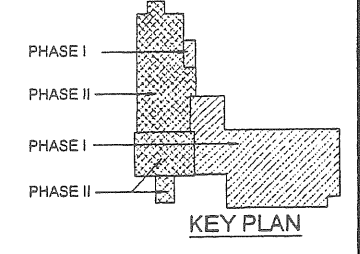
OWNER: **IRIS PARK APARTMENTS RENOVATION & ADDITIONS**
 PORTLAND, MAINE 04101

PROJECT: **ELECTRICAL LEGEND AND NOTES**
 REVISIONS:
 SCALE: AS NOTED
 CAD FILE: 030605.DWG
 DATE:

SHEET: **ES-100**

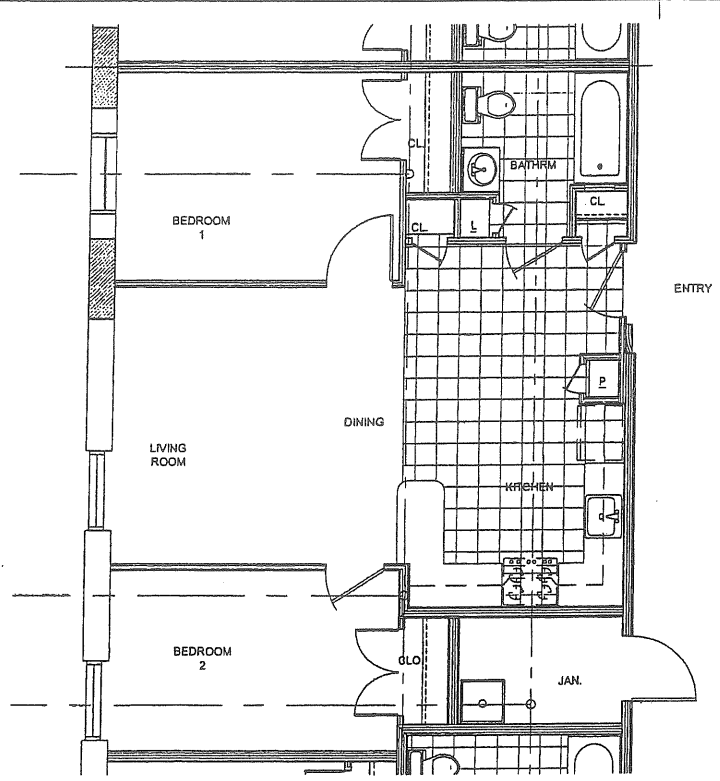


GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

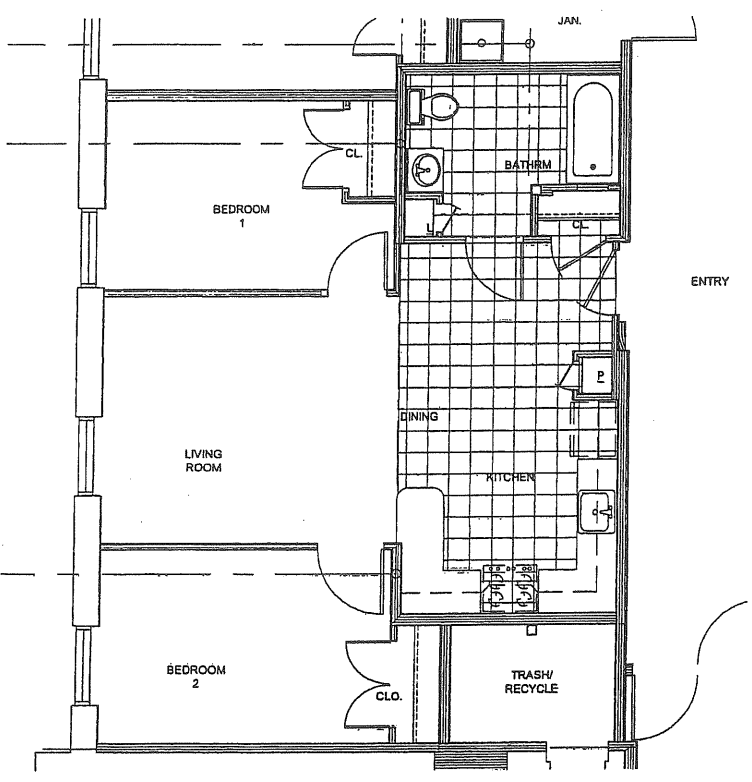


ARCHITECT:	SEMPLE & DRANE ARCHITECTS 486 CONGRESS STREET PORTLAND, MAINE 04101 (207) 761-4231 ase@simple1.com
OWNER:	IRIS NETWORK PORTLAND, ME 04101
PROJECT:	IRIS PARK APARTMENTS L.P. RENOVATION & ADDITIONS PORTLAND, ME 04101
DRAWING:	GROUND FLOOR PLAN
SCALE:	AS NOTED
DATE:	JAN. 13, 2005
SHEET:	A100

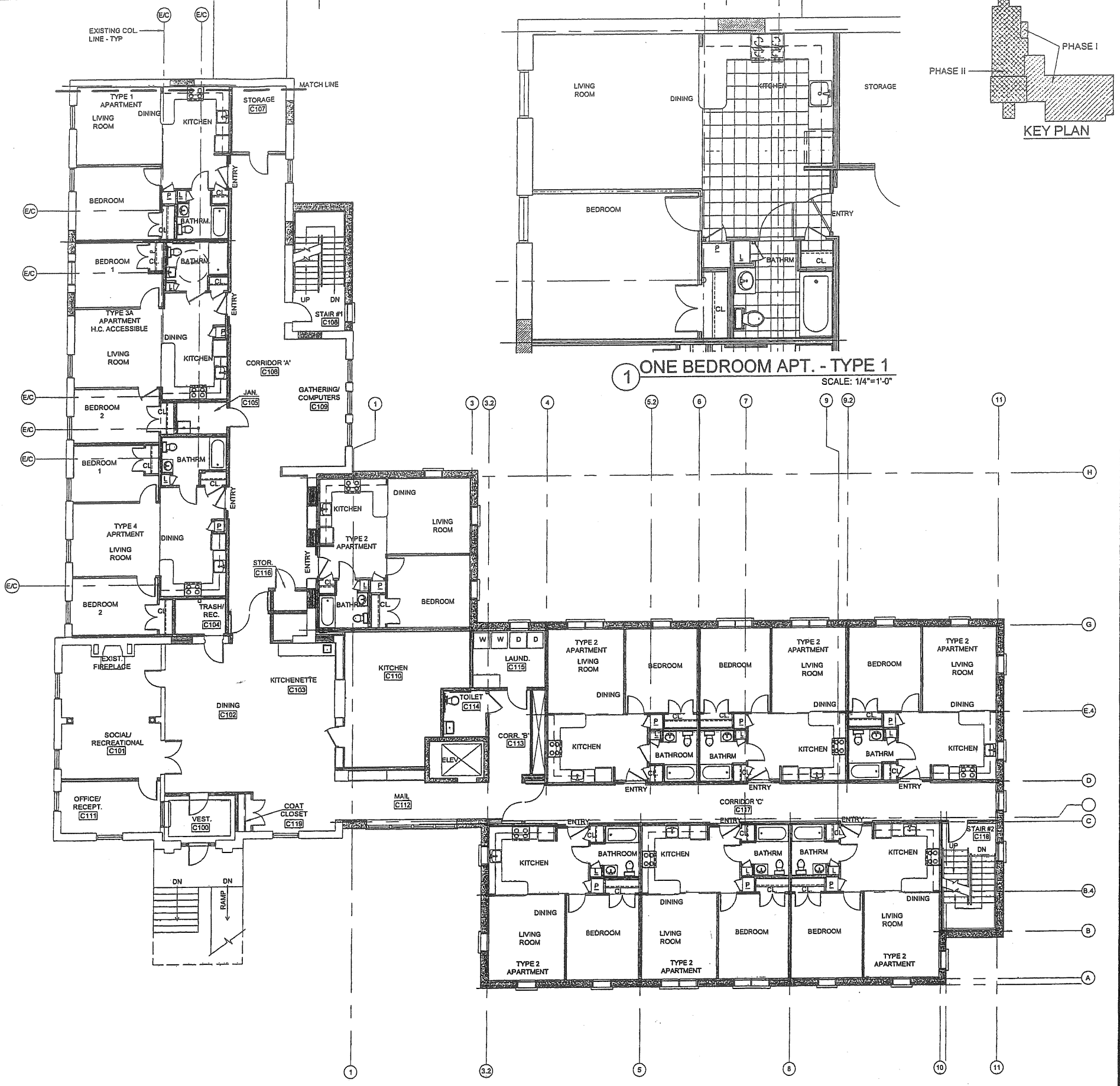
SCALE



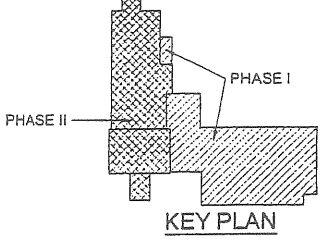
2 TWO BEDROOM APT. - TYPE 3
SECOND AND GROUND FLOORS ONLY SCALE: 1/4"=1'-0"



3 TWO BEDROOM APT. - TYPE 4
SCALE: 1/4"=1'-0"



1 ONE BEDROOM APT. - TYPE 1
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
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PORTLAND, MAINE 04101
(207) 761-4231
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OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

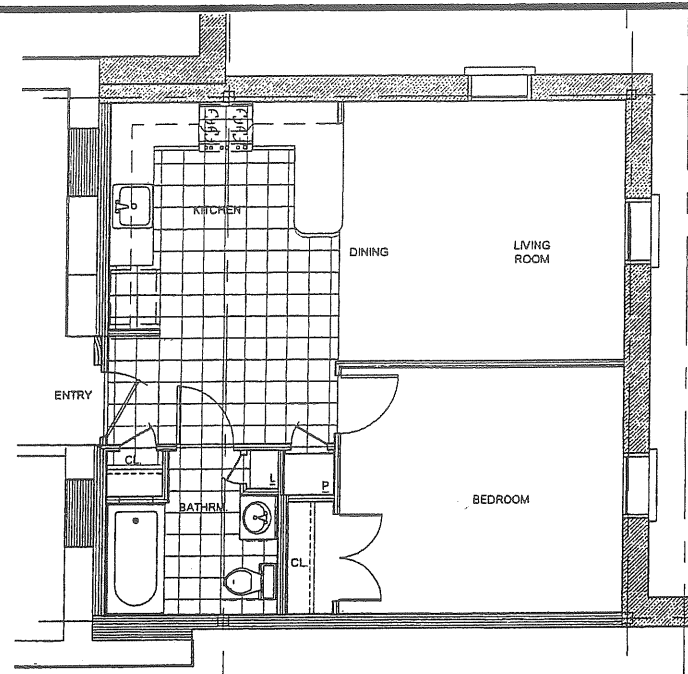
PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **FIRST FLOOR PLAN**

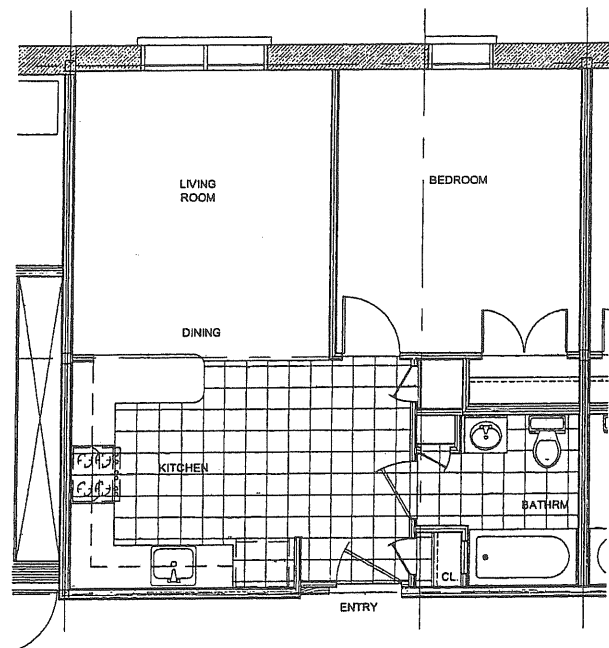
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DATE: JAN. 13, 2005

REVISIONS:

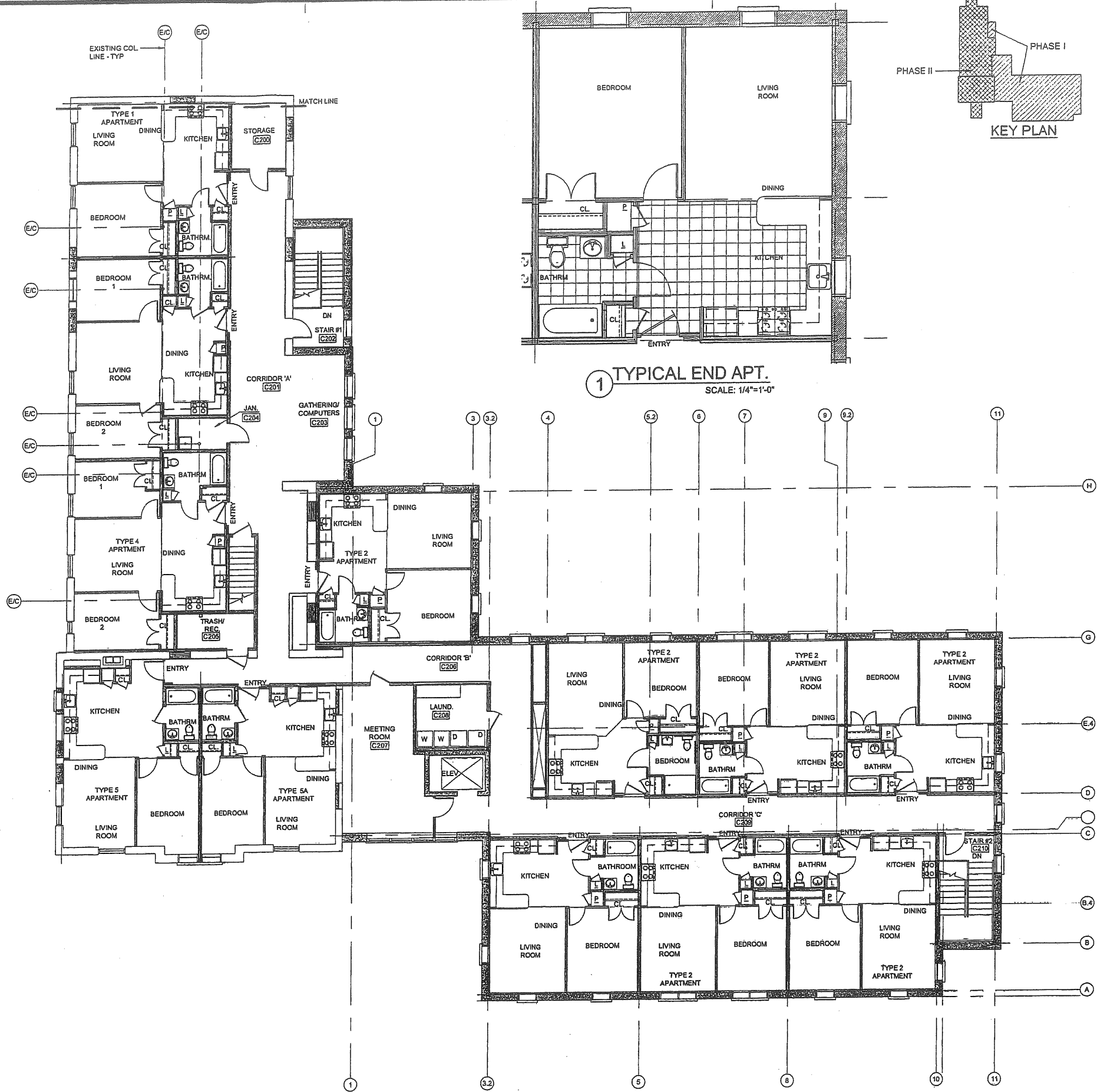
SHEET: **A101**



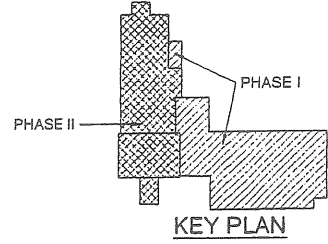
2 COUTYARD APARTMENT
SCALE: 1/4"=1'-0"



3 TYPICAL - TYPE 2 APT.
SCALE: 1/4"=1'-0"



1 TYPICAL END APT.
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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PORTLAND, MAINE 04101
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ssimple@maine.rr.com

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

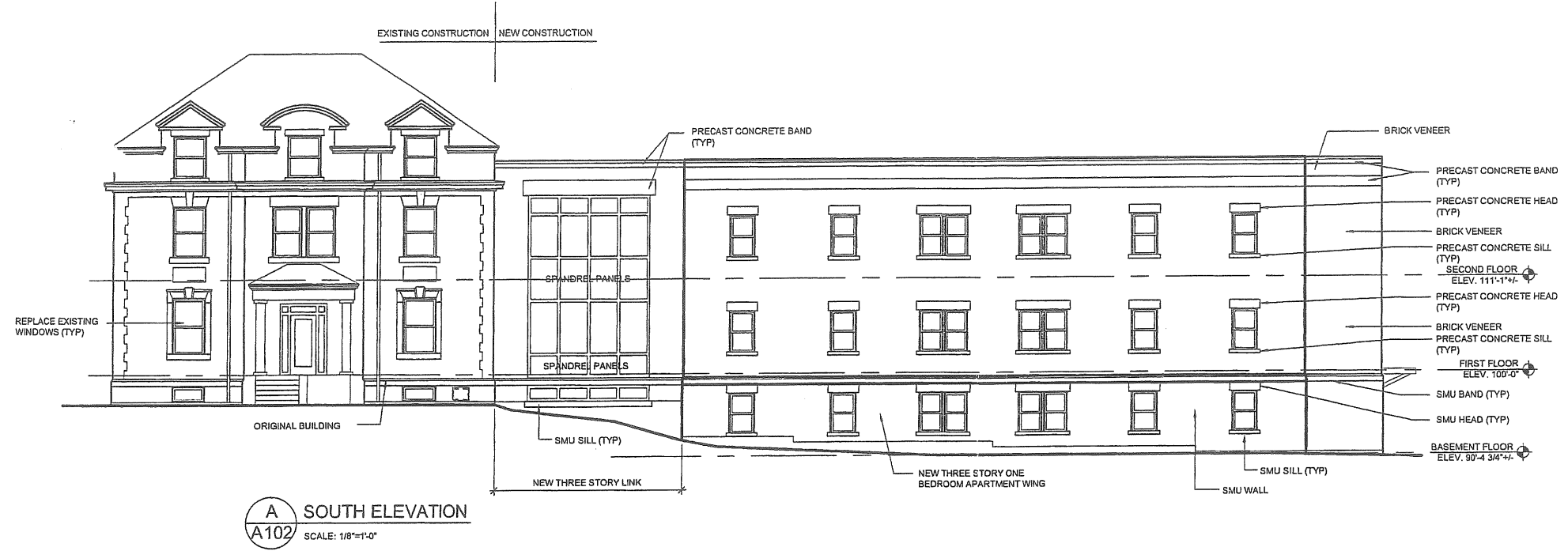
DRAWING: **SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"

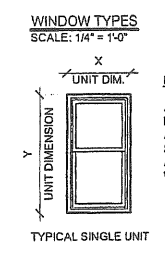
DATE: JAN. 13, 2005

REVISIONS:

SHEET: **A102**



A SOUTH ELEVATION
 A102 SCALE: 1/8"=1'-0"



NOTE:
 ALL WINDOWS TO BE ALUMINUM DOUBLE HUNG U.N.O., HEAD, JAMB AND SILL DETAILS - REFER TO THIS SHEET INSTALL MEMB. FLASH AROUND THE PERIMETER OF ALL WINDOWS



B EAST ELEVATION
 A101 SCALE: 1/8"=1'-0"

WINDOW SCHEDULE			
MARK	MODEL NO	MASONRY OPENING	REMARKS
A	DH-	3'-0" x 4'-10"	
A'	DH-	3'-0" x 4'-8"	
A1	DH-	3'-0" x 2'-6"	
B	DH-	5'-8 5/8" x 4'-10"	
B'	DH-	5'-8 5/8" x 4'-8"	
C	DH-	3'-0" x 3'-10"	
D	AW (4)	14'-4" x 1'-10"	PROVIDE (4) AWNINGS
E	-	14'-4" x 21'-3"	
F	DH-	3'-8" x 6'-0 1/2"	
F'	DH-	3'-8" x 6'-0 1/2"	
G	DH-	3'-8" x 6'-5 1/2"	
G'	DH-	3'-8" x 6'-5 1/2"	
H	DH-	3'-8" x 5'-5"	
H'	DH-	3'-8" x 5'-5"	
J1	DH-	4'-4" x 2'-8"	
J2	DH-	3'-4" x 2'-8"	
J3	DH-	4'-0" x 1'-10"	
K	DH-	4'-4" x 5'-10 1/2"	
L	DH-	4'-4" x 6'-5 1/2"	
M	DH-	3'-4" x 6'-5 1/2"	
N	DH-	3'-4" x 5'-10 1/2"	
P1	DH-	3'-8" x 6'-0 1/2"	
P2	DH-	3'-8" x 6'-5 1/2"	
P3	DH-	3'-8" x 5'-5"	
Q	DH-	4'-0" x 4'-10 1/2"	
R	DH-	4'-0" x 5'-10 1/2"	
S	DH-	4'-0" x 6'-5 1/2"	
T	DH-	3'-8" x 5'-10 1/2"	

NOTES:
 1. SEE SPEC FOR BLINDS/SHADES.
 2. VERIFY MODEL NUMBERS & R.O. DIMENSIONS w/MANUFACTURER.

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
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 (207) 761-4231
 ssemple@simpledrane.com

OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

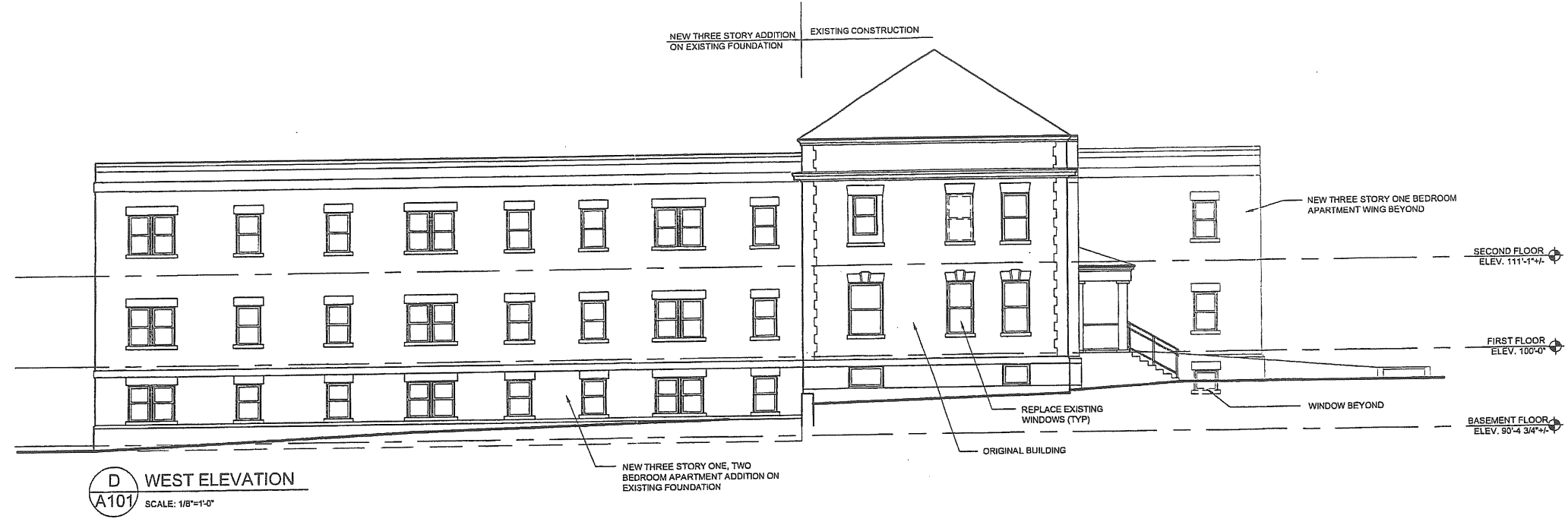
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 SCALE: 1/8"=1'-0"
 DATE: JAN. 13, 2005

75% SUBMISSION
 REVISIONS:

SHEET: **A201**



C NORTH ELEVATION
 A101 SCALE: 1/8"=1'-0"



D WEST ELEVATION
 A101 SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
 486 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4331
 www.sempledrane.com

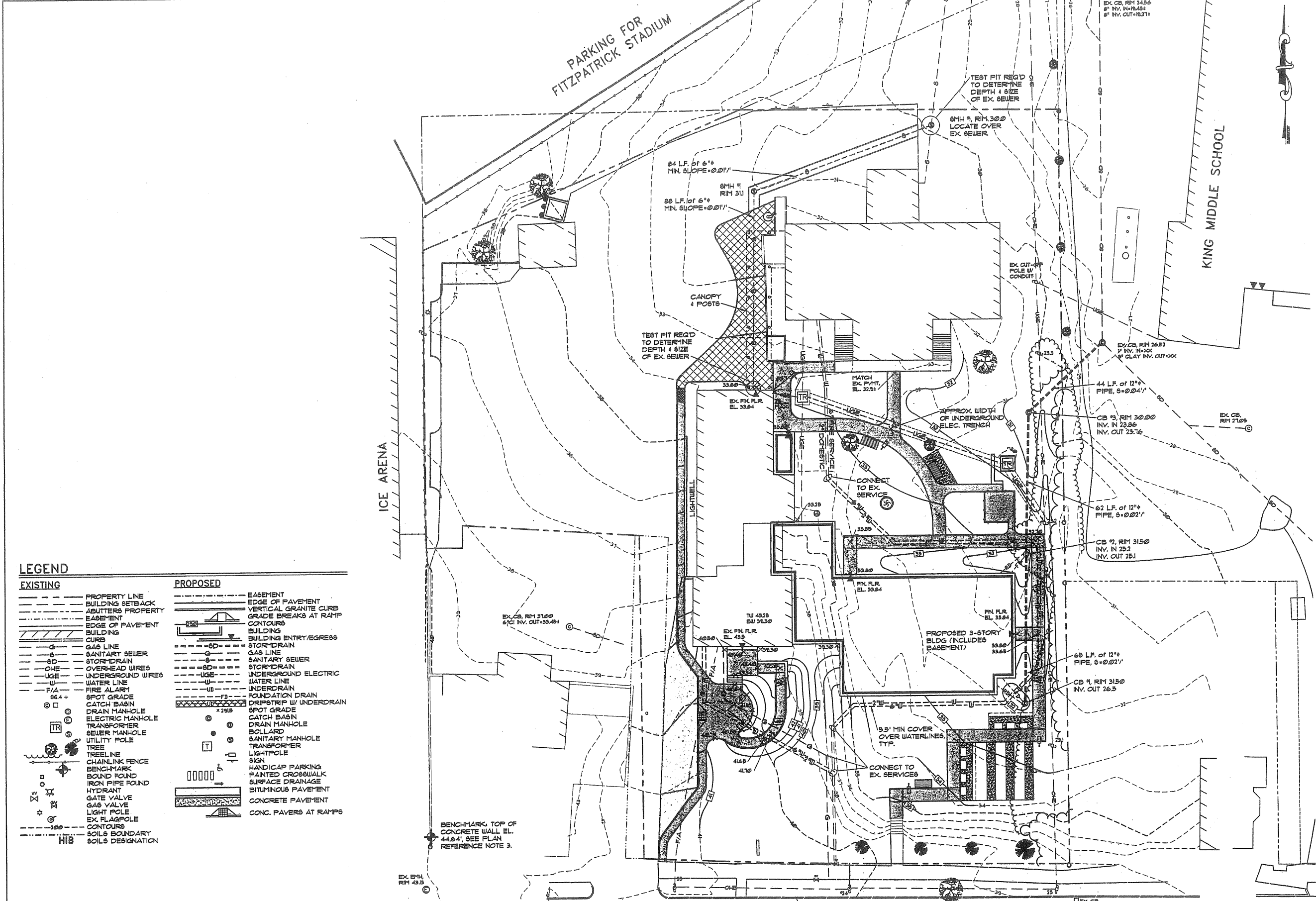
OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
75% SUBMISSION
 SCALE: 1/8"=1'-0"
 DATE: JAN. 13, 2005

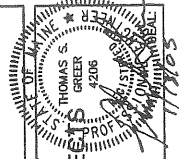
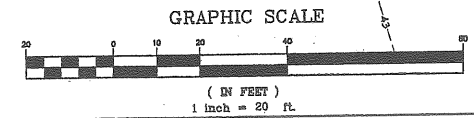
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G:\Land Projects\2003\0318-IRIS NETWORK.dwg (0318) BASE.dwg, UTIL&GRADING, 1/13/2005 2:21:57 PM, Job:



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EASEMENT
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ABUTTERS PROPERTY	--- VERTICAL GRANITE CURB
--- EASEMENT	--- GRADE BREAKS AT RAMP
--- EDGE OF PAVEMENT	--- CONTOURS
--- BUILDING	--- BUILDING ENTRY/EGRESS
--- CURB	--- STORM DRAIN
--- G GAS LINE	--- GAS LINE
--- S SANITARY SEWER	--- SANITARY SEWER
--- SD STORM DRAIN	--- STORM DRAIN
--- OHE OVERHEAD WIRES	--- UNDERGROUND ELECTRIC
--- U UNDERGROUND WIRES	--- WATER LINE
--- W WATER LINE	--- UNDER DRAIN
--- F/A FIRE ALARM	--- FOUNDATION DRAIN
--- 86.4+ SPOT GRADE	--- DRIPSTRIP W/ UNDER DRAIN
--- C CATCH BASIN	--- SPOT GRADE
--- DM DRAIN MANHOLE	--- CATCH BASIN
--- EM ELECTRIC MANHOLE	--- DRAIN MANHOLE
--- TR TRANSFORMER	--- BOLLARD
--- SM SEWER MANHOLE	--- SANITARY MANHOLE
--- UF UTILITY POLE	--- TRANSFORMER
--- T TREE	--- LIGHTPOLE
--- TL TREE LINE	--- SIGN
--- CLF CHAIN LINK FENCE	--- HANDICAP PARKING
--- BM BENCHMARK	--- PAINTED CROSSWALK
--- BF BOUND FOUND	--- SURFACE DRAINAGE
--- IFP IRON PIPE FOUND	--- BITUMINOUS PAVEMENT
--- H HYDRANT	--- CONCRETE PAVEMENT
--- GV GATE VALVE	--- CONC. PAVERS AT RAMP
--- LV GAS VALVE	
--- LP LIGHT POLE	
--- EFP EX. FLAGPOLE	
--- CO CONTOURS	
--- SB SOILS BOUNDARY	
--- SD SOILS DESIGNATION	



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 asemple1@maine.net

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN
 SCALE: AS SHOWN
 REVISIONS:
 DATE: JAN. 13, 2005

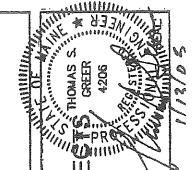
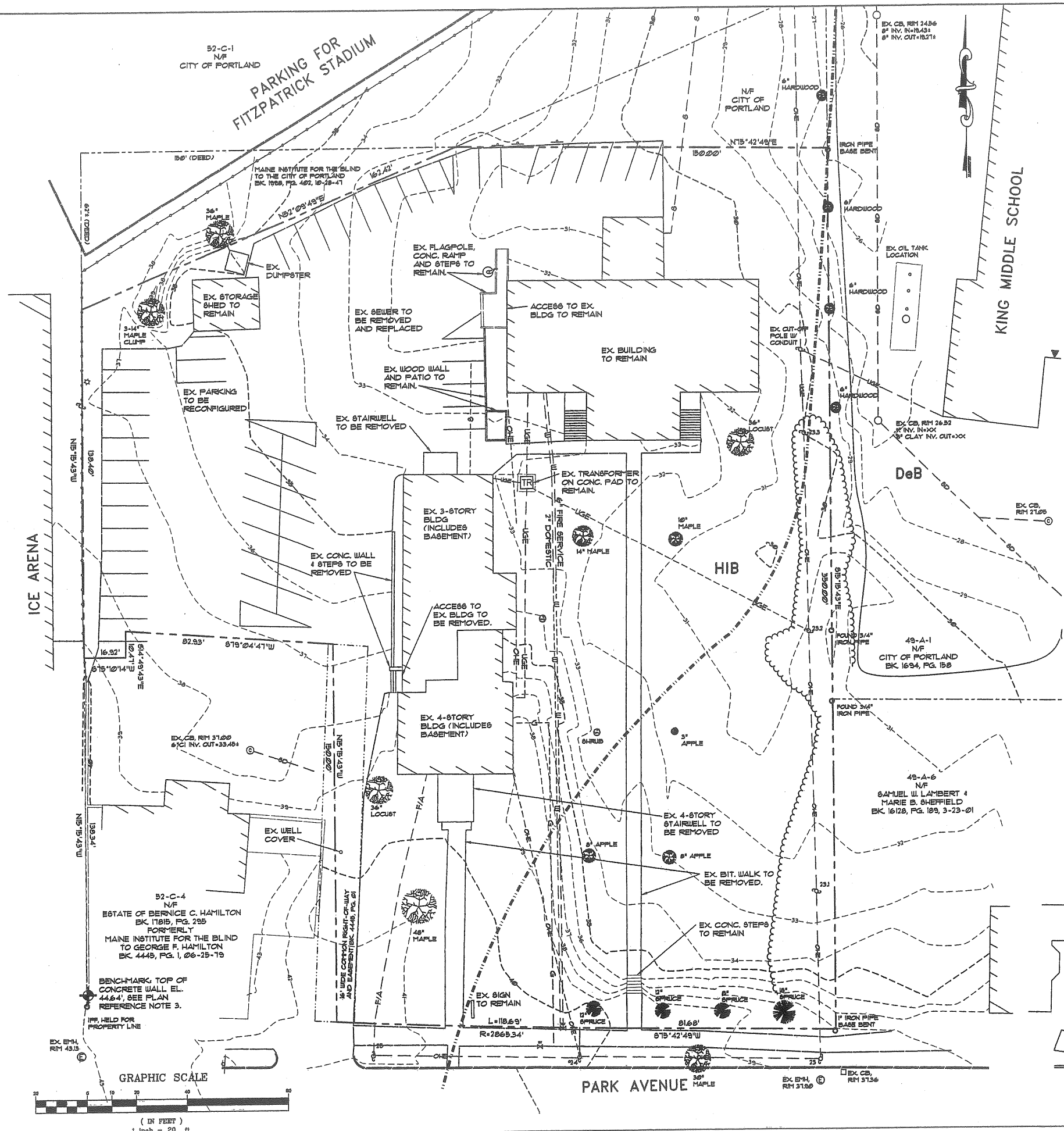
SHEET:
C3

LEGEND

EXISTING

---	PROPERTY LINE
---	BUILDING SETBACK
---	ADJUTERS PROPERTY
---	EASEMENT
---	EDGE OF PAVEMENT
---	BUILDING CURB
---	GAS LINE
---	SANITARY SEWER
---	STORM DRAIN
---	OVERHEAD WIRES
---	UNDERGROUND WIRES
---	WATER LINE
---	FIRE ALARM
---	SPOT GRADE
---	CATCH BASIN
---	DRAIN MANHOLE
---	ELECTRIC MANHOLE
---	TRANSFORMER
---	SEWER MANHOLE
---	UTILITY POLE
---	TREE
---	TREELINE
---	CHAINLINK FENCE
---	BENCHMARK
---	BOUND FOUND
---	IRON PIPE FOUND
---	HYDRANT
---	GAS VALVE
---	LIGHT POLE
---	EX. FLAGPOLE
---	CONTOURS
---	SOILS BOUNDARY
---	SOILS DESIGNATION

HIB



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OWNER:
IRIS NETWORK
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PROJECT:
**IRIS NETWORK
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING:
EXISTING SITE AND DEMOLITION PLAN
 SCALE: AS SHOWN
 REVISIONS:
 DATE: JAN 13, 2005

SHEET:
C2

LEGEND

EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ADJUTERS PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- CURB
- G GAS LINE
- S SANITARY SEWER
- SD STORM DRAIN
- OHE OVERHEAD WIRES
- UGE UNDERGROUND WIRES
- W WATER LINE
- F/A FIRE ALARM
- 86.4 + SPOT GRADE
- CATCH BASIN
- DRAIN MANHOLE
- ELEC. MANHOLE
- TRANSFORMER
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- CHAINLINK FENCE
- BENCHMARK
- SOUND FOUND
- IRON PIPE FOUND
- HYDRANT
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- EX. FLAGPOLE
- CONTOURS
- SOILS BOUNDARY
- SOILS DESIGNATION

PROPOSED

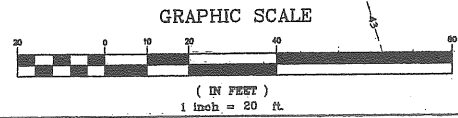
- EASEMENT
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- GRADE BREAKS AT RAMP
- CONTOURS
- BUILDING
- BUILDING ENTRY/EGRESS
- SD STORM DRAIN
- G GAS LINE
- S SANITARY SEWER
- SD STORM DRAIN
- UGE UNDERGROUND ELECTRIC
- W WATER LINE
- UD UNDERDRAIN
- FD FOUNDATION DRAIN
- DRIPSTRIP W/ UNDERDRAIN
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- CATCH BASIN
- DRAIN MANHOLE
- BOLLARD
- SANITARY MANHOLE
- TRANSFORMER
- LIGHTPOLE
- SIGN
- HANICAP PARKING
- PAINTED CROSSWALK
- SURFACE DRAINAGE
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONC. PAVERS AT RAMPS

ICE ARENA

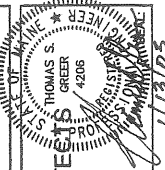
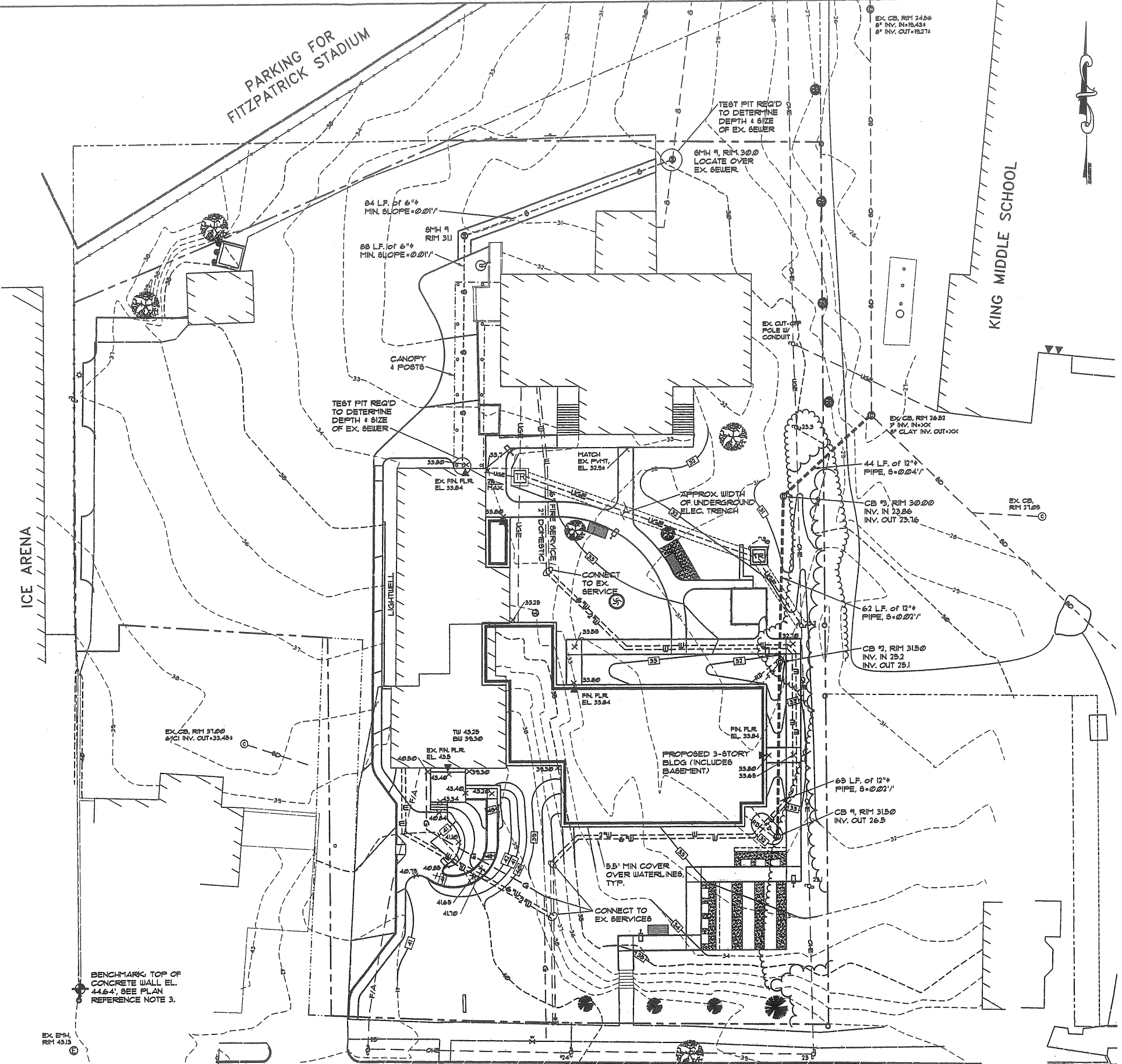
PARKING FOR FITZPATRICK STADIUM

KING MIDDLE SCHOOL

PARK AVENUE



BENCHMARK: TOP OF CONCRETE WALL EL. 44.64', SEE PLAN REFERENCE NOTE 3.



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 ssemple1@maine.rr.com

OWNER:
IRIS NETWORK
 PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING:
GRADING AND UTILITIES PLAN
 SCALE: AS SHOWN
 DATE: JAN. 13, 2005

SHEET:
C3

EROSION CONTROL GENERAL NOTES

GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORMY EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILTFENCES AND STONE CHECKDAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND WETLANDS
 - BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN SILT FENCE PRODUCT C25B.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 11703(a) METHOD NUMBER 3

TEMPORARY SEED:

CATS	8000 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	4000 LBS/ACRE	
SUDANGRASS	4000 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	8000 LBS/ACRE	5/15 - 5/14
WINTER RYE	11200 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	11200 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

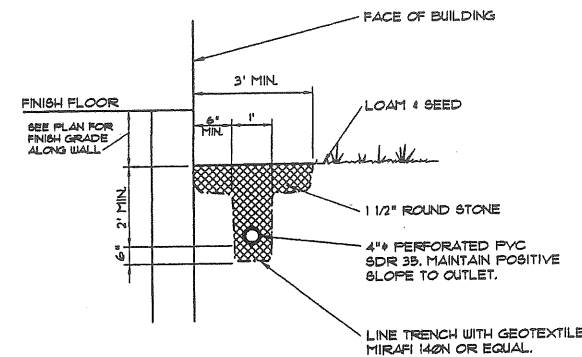
MULCH:

STRAW OR HAY (ANCHORED)	10 - 20 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	105 - 215 LBS	WINDY AREAS
SHREDDED OR CHOPPED	105 - 215 LBS	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
JUTE MESH	AS REQUIRED	

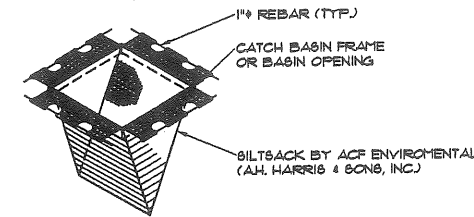
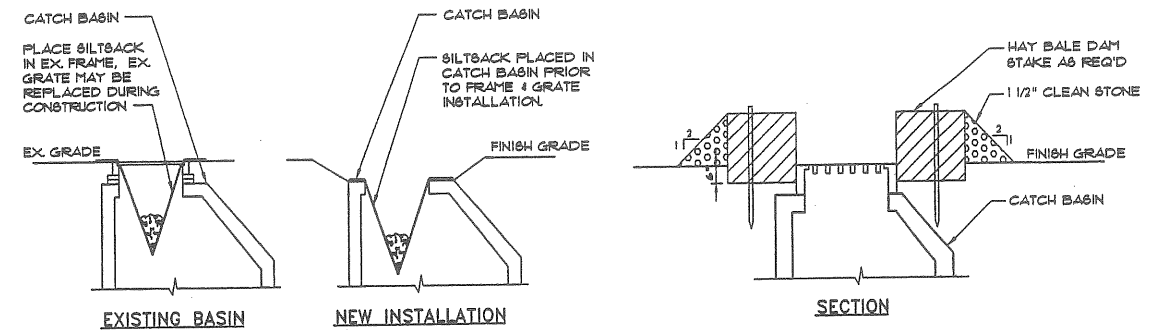
EXCELSIOR MAT AS REQUIRED

MULCH ANCHORING

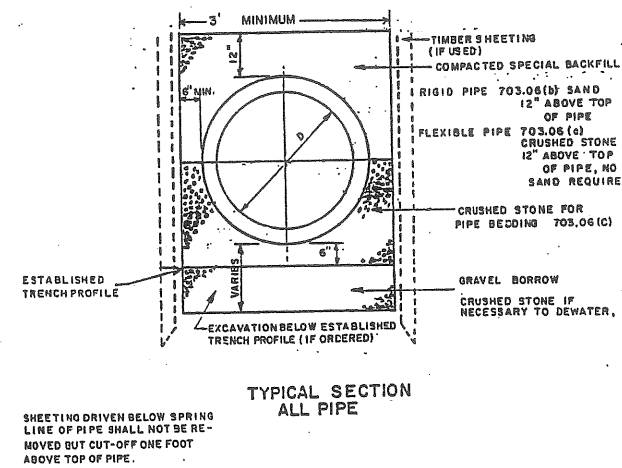
PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK



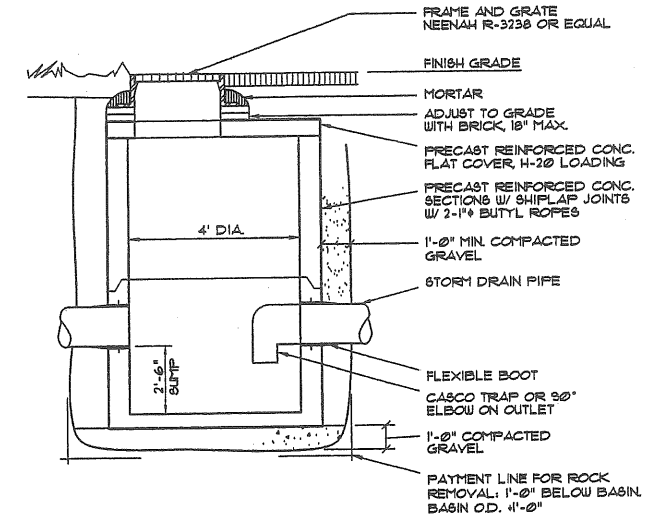
4 STONE DRIPSTRIP SECTION
NOT TO SCALE



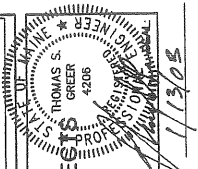
1 CATCH BASIN PROTECTION



3 TRENCH SECTION
NOT TO SCALE



2 PRECAST CATCH BASIN
NOT TO SCALE



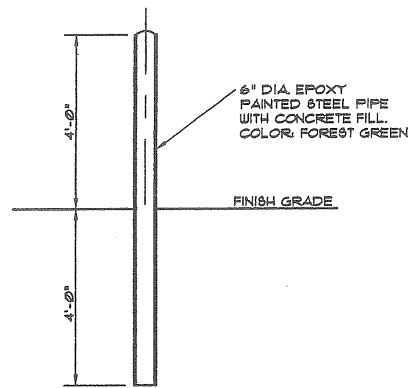
ARCHITECT:
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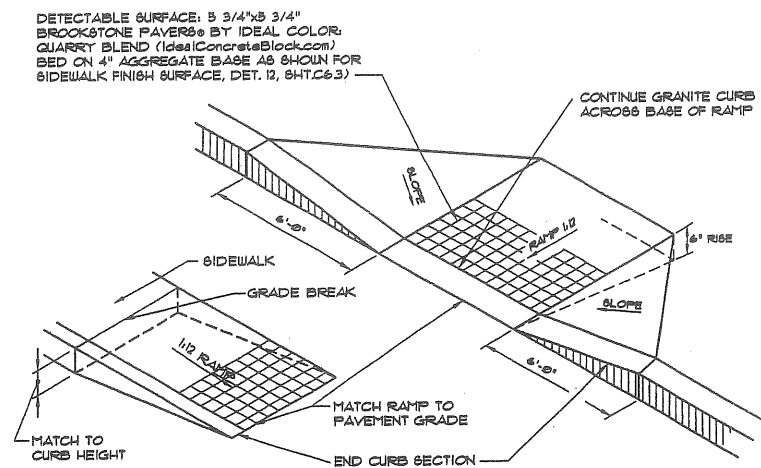
PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: DETAILS
SCALE: AS SHOWN
DATE: JAN. 15, 2005

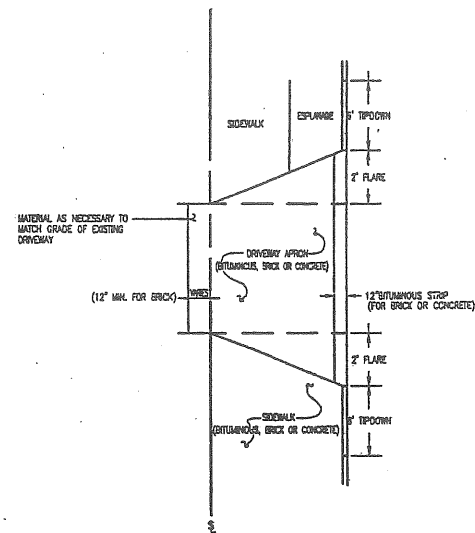
REVISIONS:
C4



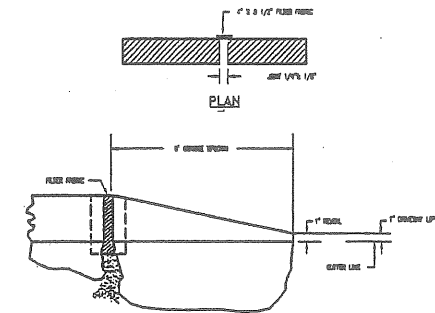
4 STEEL BOLLARD DETAIL
NOT TO SCALE



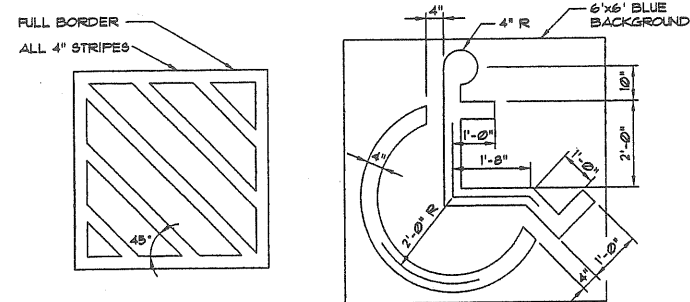
3 SIDEWALK RAMP DETAILS
NOT TO SCALE



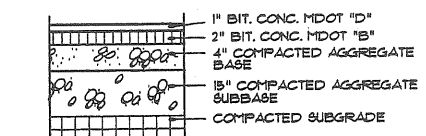
2 SIDEWALK & DRIVEWAY CONSTRUCTION
NOT TO SCALE



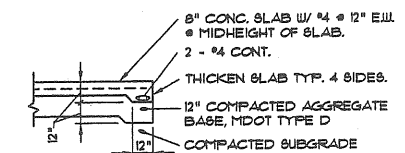
1 CURB INSTALLATION
NOT TO SCALE



6 STRIPING DETAILS
NOT TO SCALE



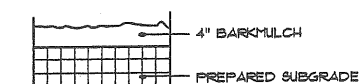
BITUMINOUS PAVEMENT



CONCRETE EQUIPMENT PADS



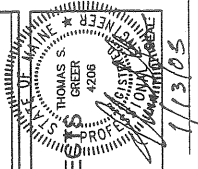
LOAM AND SEED



BARKMULCH BED

- NOTES:
1. ALL COURSE THICKNESS AFTER FINAL COMPACTION.
2. SEE LANDSCAPE DRAWINGS FOR BARKMULCH AND LAWN AREAS

5 SURFACING DETAILS
NOT TO SCALE



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4206
PROF. ARCHITECT
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OWNER:
IRIS NETWORK
PORTLAND, ME 04101

PROJECT:
IRIS NETWORK RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: DETAILS
SCALE: AS SHOWN
DATE: JAN 15, 2005
REVISIONS:

SHEET:
C5

GENERAL NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PLANNED, DAMAGED OR DESTROYED BY THE PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- DO NOT SCALE FROM DRAWINGS AND DIMENSIONS IN DIMENSIONS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHURB BEDS, 30 INCHES IN ALL TREE PITS AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SURFACE PREPARATION WITH THE GEOTECHNICAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUTTING WRAPPING, SPRINKLING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET, WHICHEVER IS GREATER.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATIONS THAT INCLUDE FERTILIZING AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH COMPOST OR DEHYDRATED MANURE OR COMPOST. RETOTILL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR FROM THE DATE OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL TURF AREAS ARE STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE REGULAR INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE SAVING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCES, HAY BALE FENCES) SHALL BE REMOVED ONCE STABILIZATION OF DISTURBED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO (2) MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM OF A UNIFORM 70% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A. GN	1	ACER GINNALA	AMUR MAPLE	2" CAL
A. SAC	3	ACER SACCHARUM	SUGAR MAPLE	3" CAL
M. x LLM	1	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	LEONARD MESSEL MAGNOLIA	5'-8" HT.
M. SS	4	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2" CAL
P. CA	2	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2.5" CAL
Q. RUB	1	QUERCUS RUBRA	RED OAK	3" CAL
T. FL	22	THUJA OCCIDENTALIS 'TILIFORMIS'	FILIFORMIS ARBORVITAE	3'-4" HT.
T. CAN	8	TSUGA CANADENSIS	CANADIAN HEMLOCK	4'-5" HT.
SHRUBS				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	#3 CONT.
D. JSUR	3	DAPHNE X BURKWOOD 'SOMERSET'	SOMERSET DAPHNE	#3 CONT.
F. COU	8	FORSYTHIA COURTASOL 'GOLD TIDE'	GOLD TIDE FORSYTHIA	#3 CONT.
F. GAR	10	FOTHERGILLIA GARDENI	DWARF BOTTLEBRUSH	18"-24" HT.
J. CGC	22	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	#3 CONT.
J. PRO	4	JUNIPERUS PROCUMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	#3 CONT.
K. LTI	3	KALMA LATIFOLIA 'TODOLYHNKS'	TODOLYHNKS MOUNTAIN LAUREL	#3 CONT.
R. WIN	6	RHOODENDRON 'WINDBEAM'	WINDBEAM RHOODENDRON	#3 CONT.
PERENNIALS				
H. SDO	18	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL POT
GROUNDCOVERS				
A. GEN	75	AJUGA REPEENSIS	BUGLE WEED	FLAT
A. UU	5	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	#3 CONT.

NOTES:

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDED EVERGREEN TREES AND SHRUBS
 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS.
 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK:
 REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS. PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRAIN. REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).

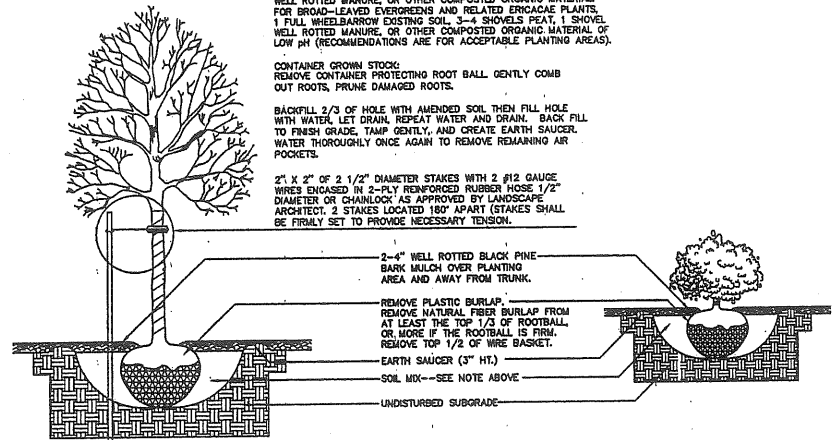
2-4" WELL ROTTED BLACK PINE BARK MULCH OVER PLANTING AREA AND AWAY FROM TRUNK.

REMOVE PLASTIC BURLAP. REMOVE NATURAL FIBER BURLAP FROM AT LEAST THE TOP 1/3 OF ROOTBALL OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/3 OF BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX--SEE NOTE ABOVE

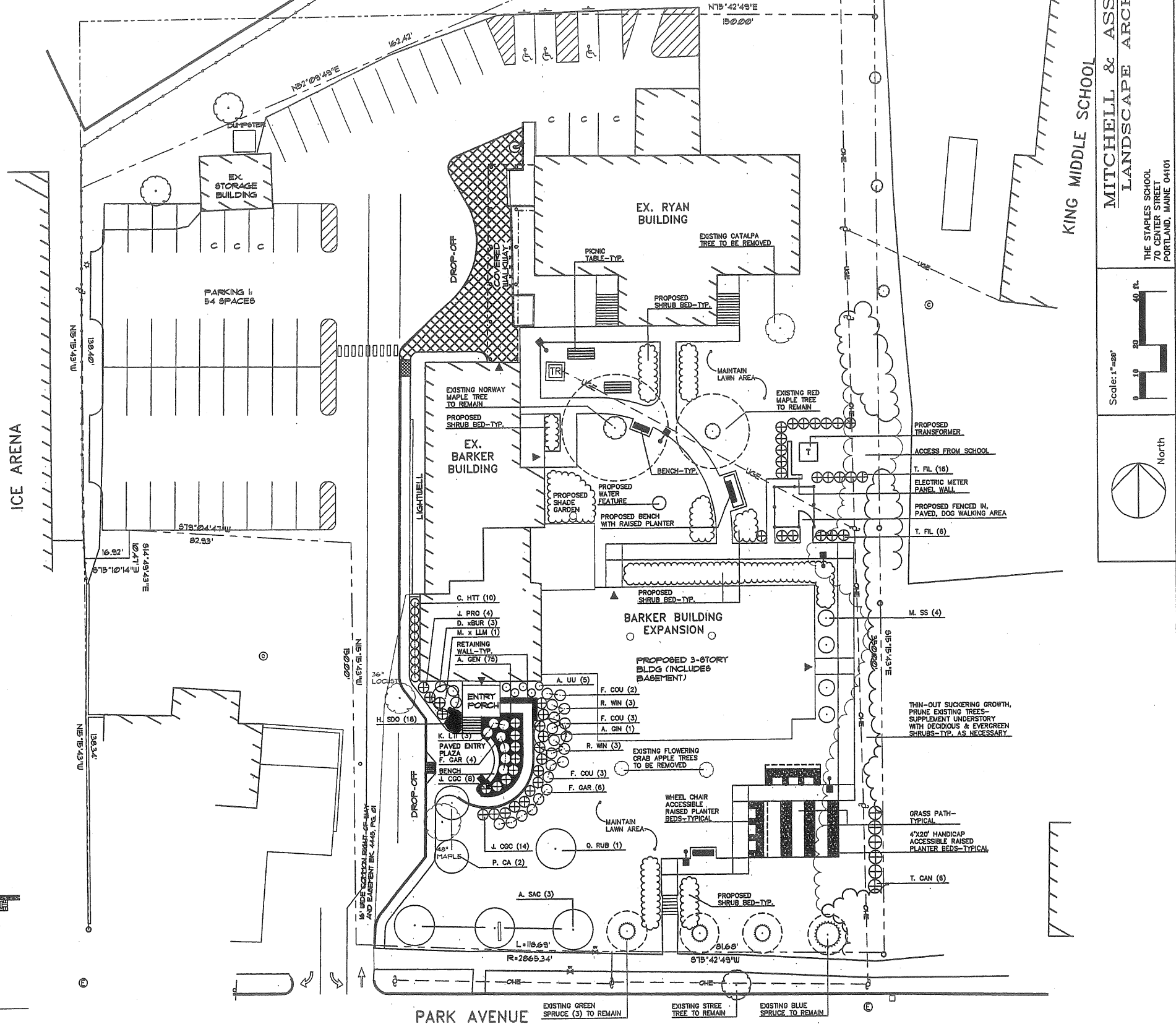
UNDISTURBED SUBGRADE



TREE INSTALLATION
NOT TO SCALE

ICE ARENA

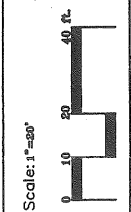
PARKING FOR FITZPATRICK STADIUM



MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

THE STAPLES SCHOOL
70 CENTER STREET
PORTLAND, MAINE 04101

ARCHITECT:
SEMPLER & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
TEL: (207) 774-4427
FAX: (207) 874-2460



OWNER:
IRIS NETWORK
PORTLAND, ME 04101

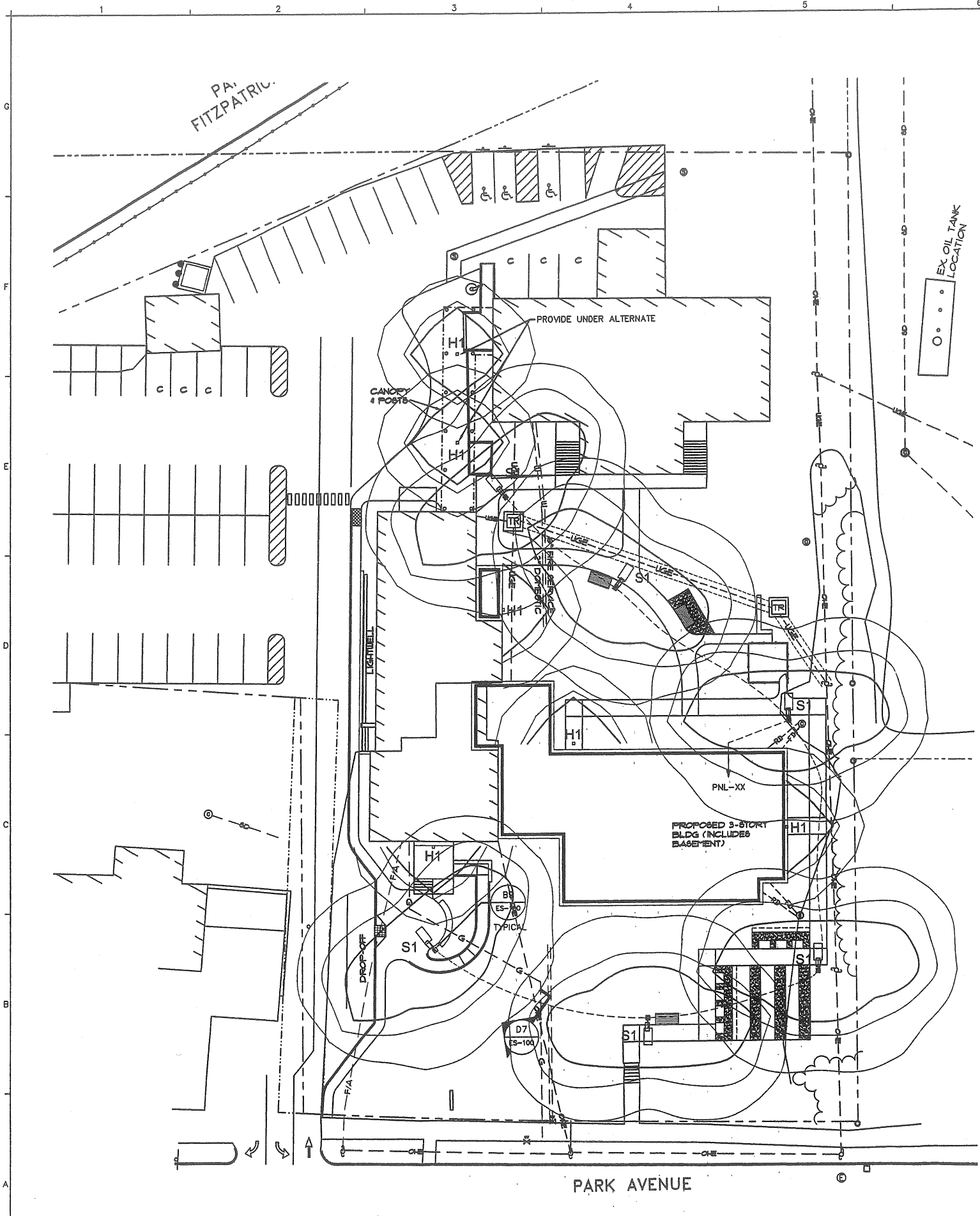
PROJECT:
IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING:
PRELIMINARY PLANTING PLAN

REVISIONS:
SCALE: AS SHOWN
DATE: DECEMBER 11, 2004

SHEET:
01

1-13-2005
 C:\Projects\2005\03181-IRIS NETWORK.dwg LIGHTING 03066ES.dwg E-000 1/13/2005 10:05:37 AM

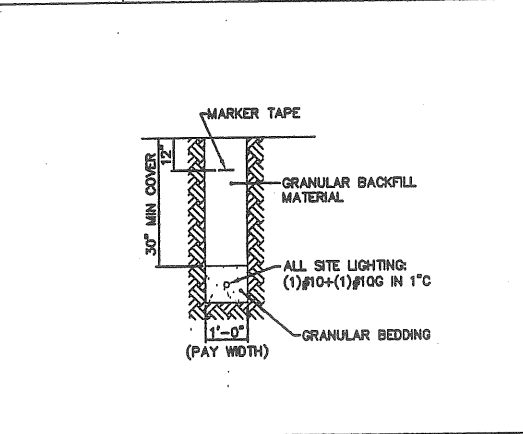


1. POLE BASES, TRANSFORMER PADS AND MANHOLES PROVIDED BY DIVISION 16.
2. PROTECT ALL EXISTING UNDERGROUND ELECTRIC AND COMMUNICATIONS WIRING DURING CONSTRUCTION, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, EXCEPT WHERE SUCH IS INDICATED TO BE REMOVED.
3. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.
4. WHERE EXISTING OVERHEAD WIRING IS INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ALL ASSOCIATED POLES, GUYS, ANCHORS, ETC.
5. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. VERIFY ACTUAL LOCATION OF UNDERGROUND UTILITIES.
6. WHERE EXISTING ITEMS SUCH AS POLES LIGHTS ETC. ARE INDICATED TO BE REMOVED, PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES, CONNECTIONS, ETC. AS REQUIRED FOR CONTINUED OPERATION OF EXISTING ITEMS ON THE SAME CIRCUIT OR FED FROM THE SAME CONDUIT THAT ARE INDICATED TO REMAIN.
7. SLOPE ALL CONDUITS AWAY FROM THE BUILDING THAT ENTER THE BUILDING FOOTPRINT ~ PROVIDE A WEEP HOLE AT THE LOWEST POINT OF THE CONDUIT.

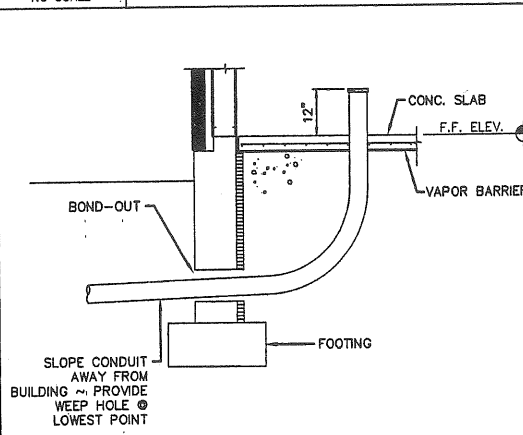
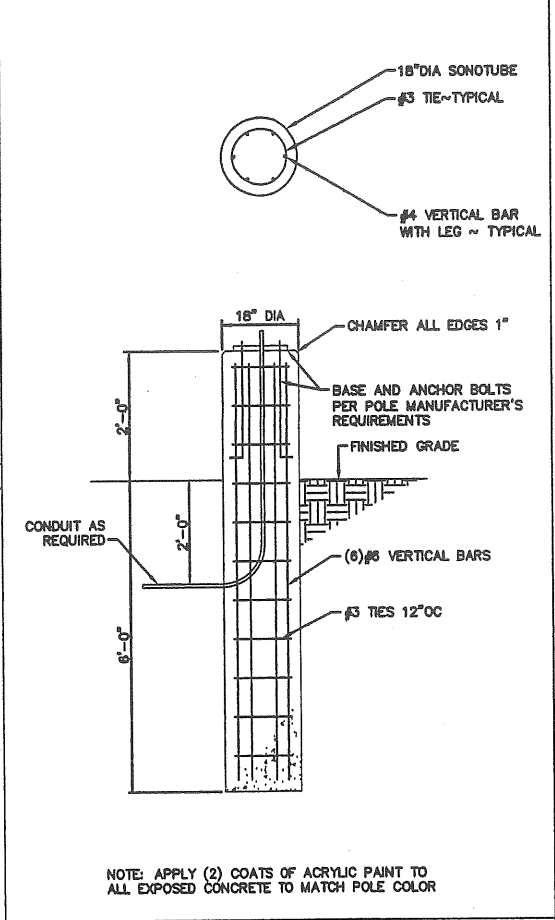
- (E) EXISTING
 (R) REMOVE
 FA FIRE ALARM
 C CATV
 E ELECTRIC POWER
 F FIBER OPTIC CABLING
 T TELEPHONE
 OH OVERHEAD
 UG UNDERGROUND
- OVERHEAD WIRING ~ TYPE AS INDICATED
 ----- UNDERGROUND WIRING ~ TYPE AS INDICATED
- UTILITY POLE
 □ IN-GROUND JUNCTION BOX
 □ ELECTRICAL MANHOLE
 □ ELECTRICAL HANDHOLE ~ 11"x16" UNO
 □ PADMOUNT TRANSFORMER
 □ METER & CT CABINET ~ PEDESTAL MOUNTED
 □ SINGLE POLE MOUNTED LIGHT
 □ DOUBLE POLE MOUNTED LIGHT

F7 SITE PLAN GENERAL NOTES
 NO SCALE

F9 ELECTRICAL LEGEND
 NO SCALE

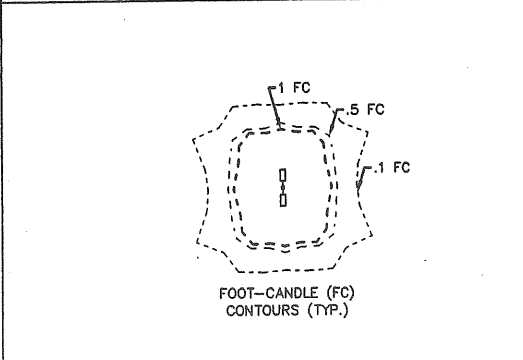


D7 TYPICAL SITE LTG TRENCH DETAIL
 NO SCALE



G1 CONDUIT ENTRANCE INTO BUILDING
 NO SCALE

B9 LIGHT POLE BASE DETAIL
 NO SCALE ~ FOR ALL SITE LIGHTING, UNO ~



A7
 NO SCALE

FOR REVIEW
 12 JAN 2005



A1 ELECTRICAL SITE PLAN
 1" = 20'-0"

ARCHITECT:
 SEMPLE & DRANE ARCHITECTS
 496 CONGRESS STREET
 PORTLAND, MAINE 04101
 TEL: (207) 761-4231 FAX: 774-0162
 sdr@sempledrane.com

ENGINEERING:

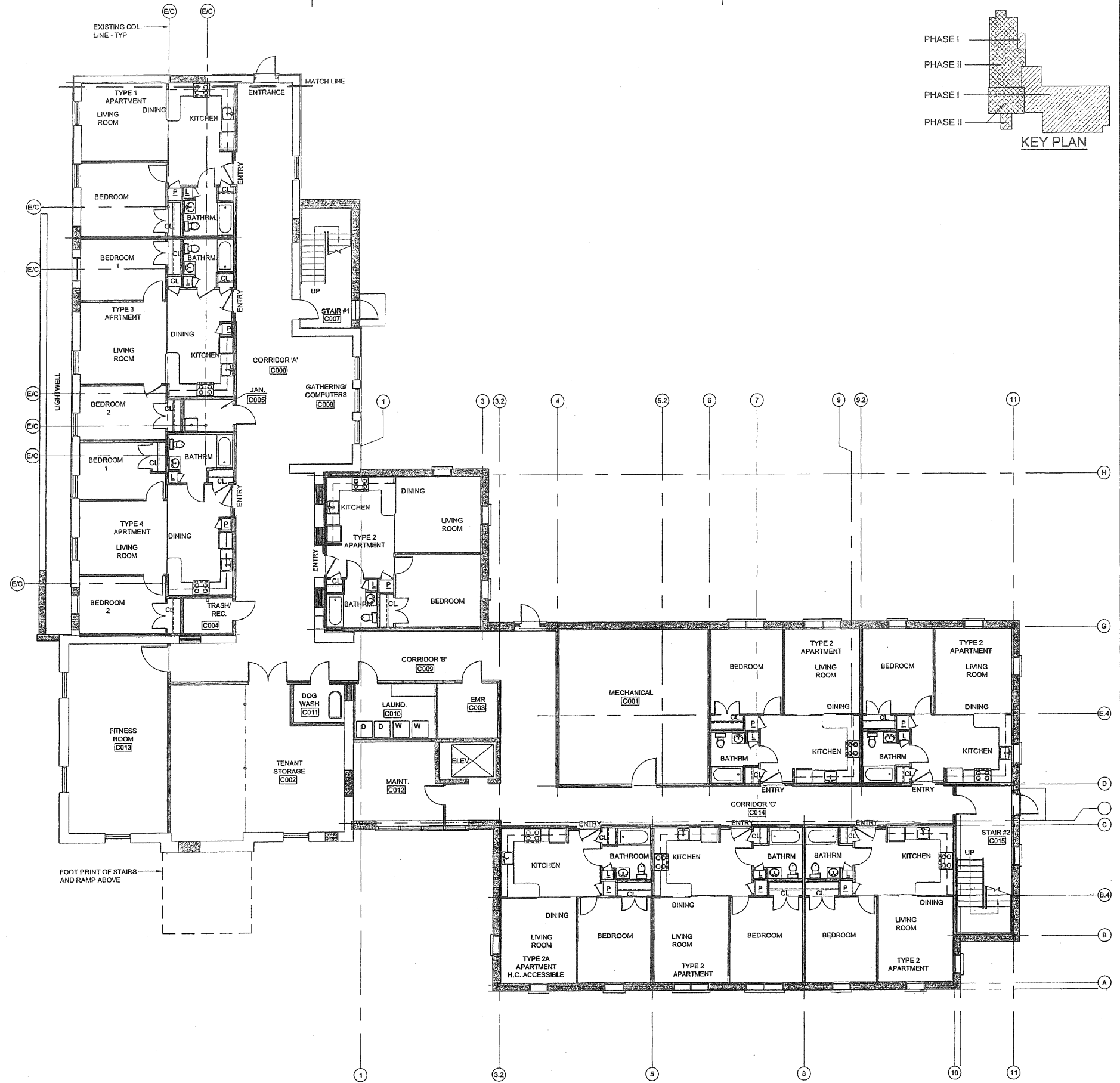
OWNER:
 IRIS PARK APARTMENTS L.P.
 PORTLAND, MAINE 40101

PROJECT:
 IRIS PARK APARTMENTS
 RENOVATION & ADDITIONS
 PORTLAND, MAINE 04101

DRAWING:
 ELECTRICAL LEGEND AND NOTES
 SCALE: AS NOTED
 CAD FILE: 03066ES.DWG
 DATE:

REVISIONS:

SHEET:
ES-100



GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLER & DRANE ARCHITECTS**
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple1@maine.ir.com

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

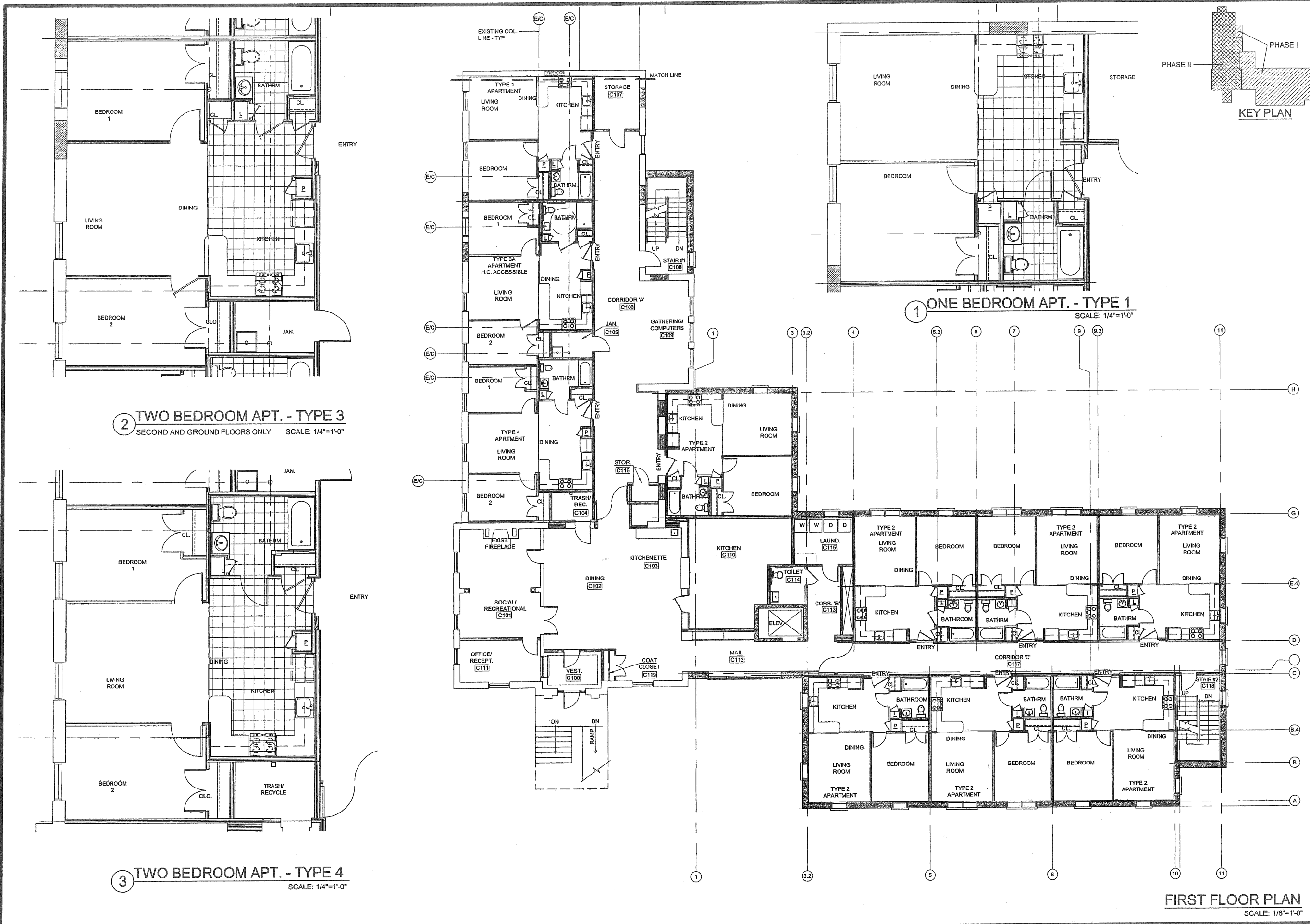
DRAWING: **GROUND FLOOR PLAN**

SCALE: AS NOTED

DATE: JAN. 13, 2005

REVISIONS:

SHEET: **A100**

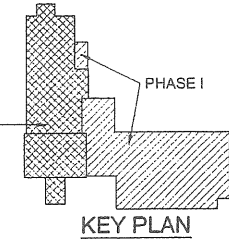


2 TWO BEDROOM APT. - TYPE 3
SECOND AND GROUND FLOORS ONLY SCALE: 1/4"=1'-0"

3 TWO BEDROOM APT. - TYPE 4
SCALE: 1/4"=1'-0"

1 ONE BEDROOM APT. - TYPE 1
SCALE: 1/4"=1'-0"

FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
 496 CONGRESS STREET
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 (207) 761-4231
 asemple@maine.ir.com

OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

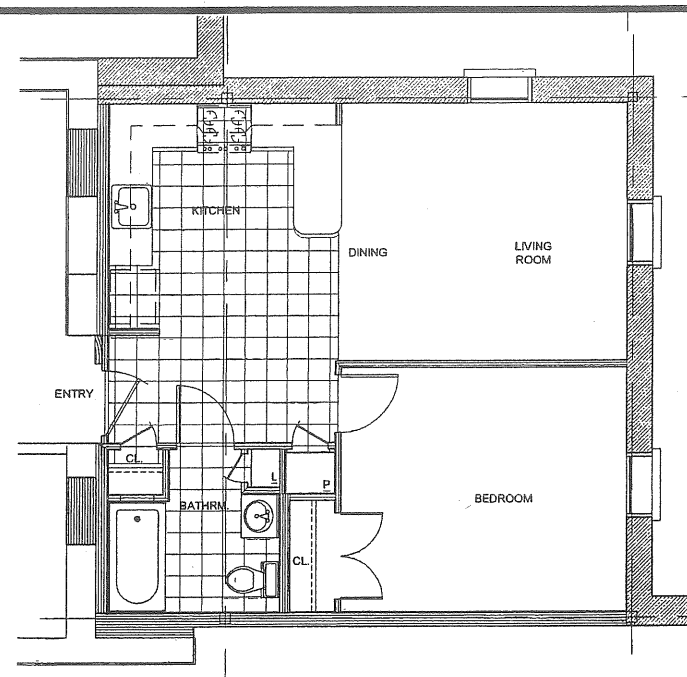
PROJECT: **IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **FIRST FLOOR PLAN**

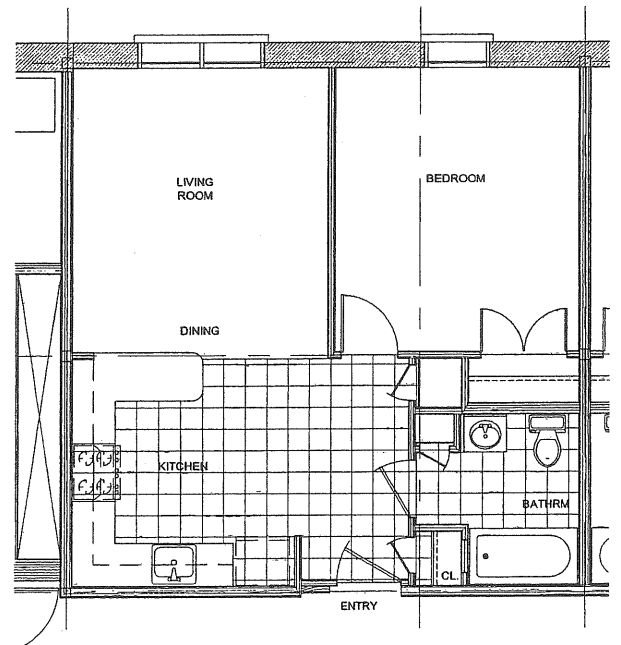
SCALE: AS NOTED
 DATE: JAN. 13, 2005

REVISIONS:

SHEET: **A101**



2 COUTYARD APARTMENT
SCALE: 1/4"=1'-0"



3 TYPICAL - TYPE 2 APT.
SCALE: 1/4"=1'-0"



1 TYPICAL END APT.
SCALE: 1/4"=1'-0"

SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPL & DRANE ARCHITECTS**
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple1@maine.rr.com

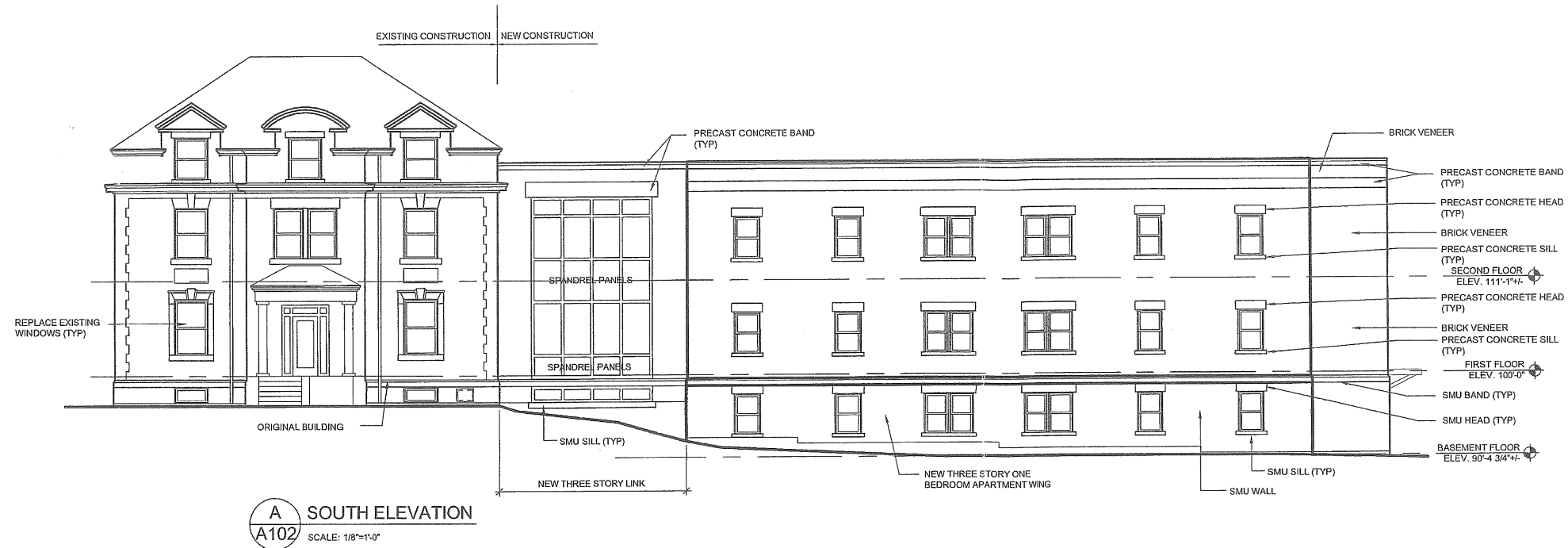
OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

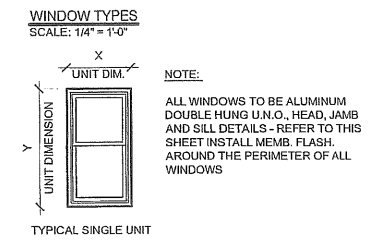
DRAWING: **SECOND FLOOR PLAN**
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

REVISIONS:

SHEET: **A102**



A SOUTH ELEVATION
A102 SCALE: 1/8"=1'-0"



B EAST ELEVATION
A101 SCALE: 1/8"=1'-0"

MARK	MODEL NO	MASONRY OPENING	REMARKS
A	DH-	3'-0" x 4'-10"	
A'	DH-	3'-0" x 4'-8"	
A1	DH-	3'-0" x 2'-6"	
B	DH-	5'-9 5/8" x 4'-10"	
B'	DH-	5'-9 5/8" x 4'-8"	
C	DH-	3'-0" x 3'-10"	
D	AW (4)	14'-4" x 1'-10"	PROVIDE (4) AWNINGS
E	-	14'-4" x 2'-3"	
F	DH-	3'-9" x 6'-0 1/2"	
F'	DH-	3'-9" x 6'-0 1/2"	
G	DH-	3'-9" x 6'-5 1/2"	
G'	DH-	3'-9" x 6'-5 1/2"	
H	DH-	3'-9" x 5'-5"	
H'	DH-	3'-9" x 5'-5"	
J1	DH-	4'-4" x 2'-8"	
J2	DH-	3'-4" x 2'-8"	
J3	DH-	4'-0" x 1'-10"	
K	DH-	4'-4" x 5'-10 1/2"	
L	DH-	4'-4" x 6'-5 1/2"	
M	DH-	3'-4" x 6'-5 1/2"	
N	DH-	3'-4" x 5'-10 1/2"	
P1	DH-	3'-9" x 6'-0 1/2"	
P2	DH-	3'-9" x 6'-5 1/2"	
P3	DH-	3'-9" x 5'-5"	
Q	DH-	4'-0" x 4'-10 1/2"	
R	DH-	4'-0" x 5'-10 1/2"	
S	DH-	4'-0" x 6'-5 1/2"	
T	DH-	3'-6" x 5'-10 1/2"	

NOTES:
 1. SEE SPEC FOR BLINDS/SHADES.
 2. VERIFY MODEL NUMBERS & R.O. DIMENSIONS w/MANUFACTURER.

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
 486 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
 sdrane@simpleanddrane.com

OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

PROJECT: **IRIS PARK APARTMENTS L.P.
 RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
 SCALE: 1/8"=1'-0"

75% SUBMISSION
 REVISIONS:

DATE: JAN. 13, 2005

SHEET: **A201**



C NORTH ELEVATION
A101 SCALE: 1/8"=1'-0"

NEW THREE STORY BAY ON EXISTING FOUNDATION and THREE STORY EXIT STAIR ON A NEW FOUNDATION

NEW THREE STORY ONE, TWO BEDROOM APARTMENT ADDITION ON EXISTING FOUNDATION



D WEST ELEVATION
A101 SCALE: 1/8"=1'-0"

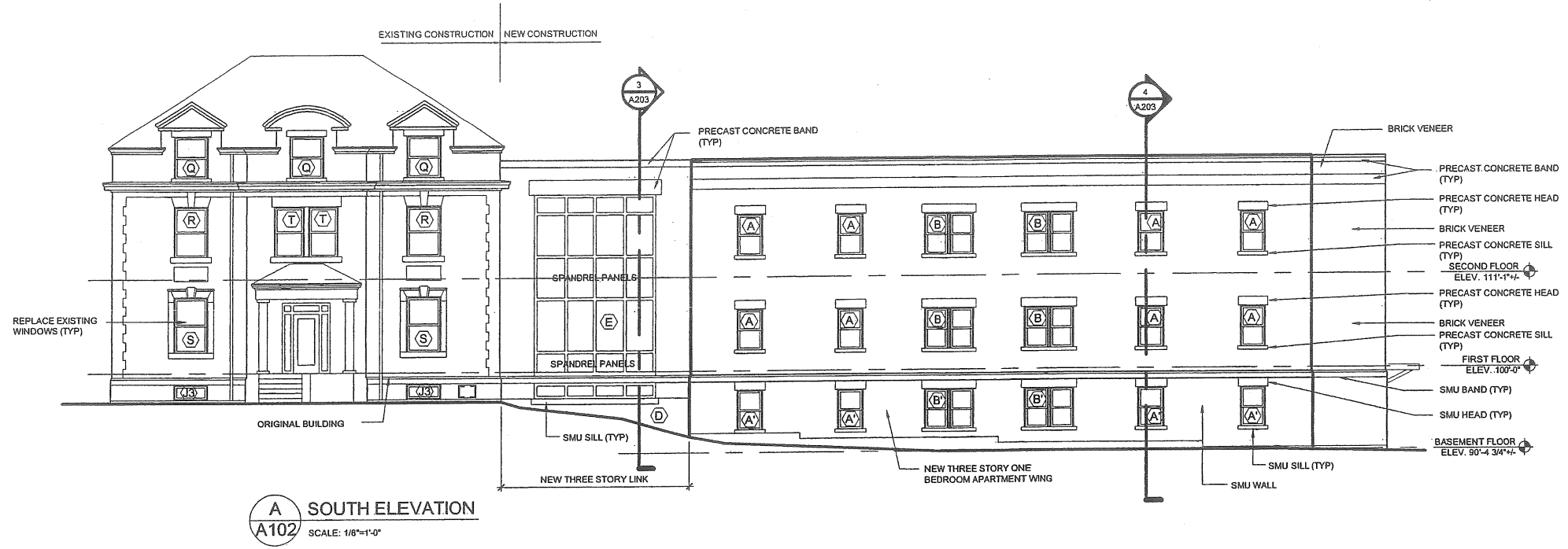
ARCHITECT:
SEMPLE & DRANE ARCHITECTS
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
assemble@maine.ir.com

OWNER:
IRIS NETWORK
PORTLAND, ME 04101

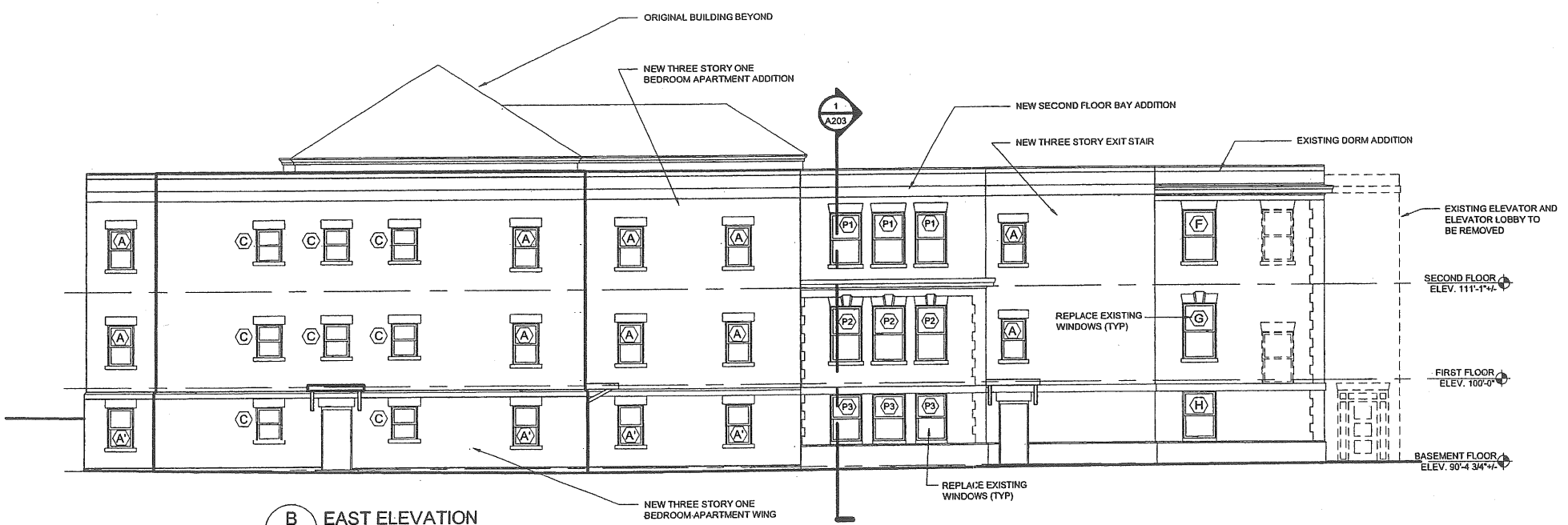
PROJECT:
**IRIS PARK APARTMENTS L.P.
RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS
75% SUBMISSION**
SCALE: 1/8"=1'-0"
DATE: JAN. 13, 2005

SHEET:
A202



A SOUTH ELEVATION
A102 SCALE: 1/8"=1'-0"



B EAST ELEVATION
A101 SCALE: 1/8"=1'-0"

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
 486 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
 asemp@seand.com

OWNER: **IRIS NETWORK**
 PORTLAND, ME 04101

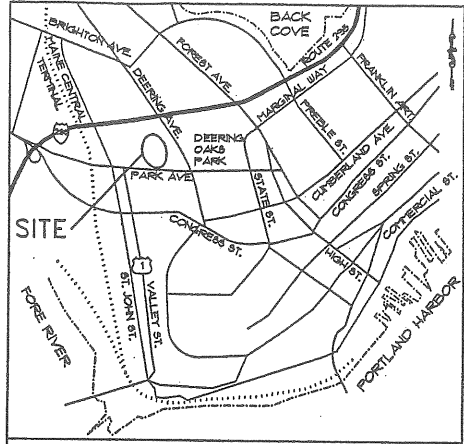
PROJECT: **IRIS PARK APARTMENTS L.P. RENOVATION & ADDITIONS**
 PORTLAND, ME 04101

DRAWING: **EXTERIOR ELEVATIONS**
 SCALE: 1/8"=1'-0"
 DATE: DEC. 06, 2004

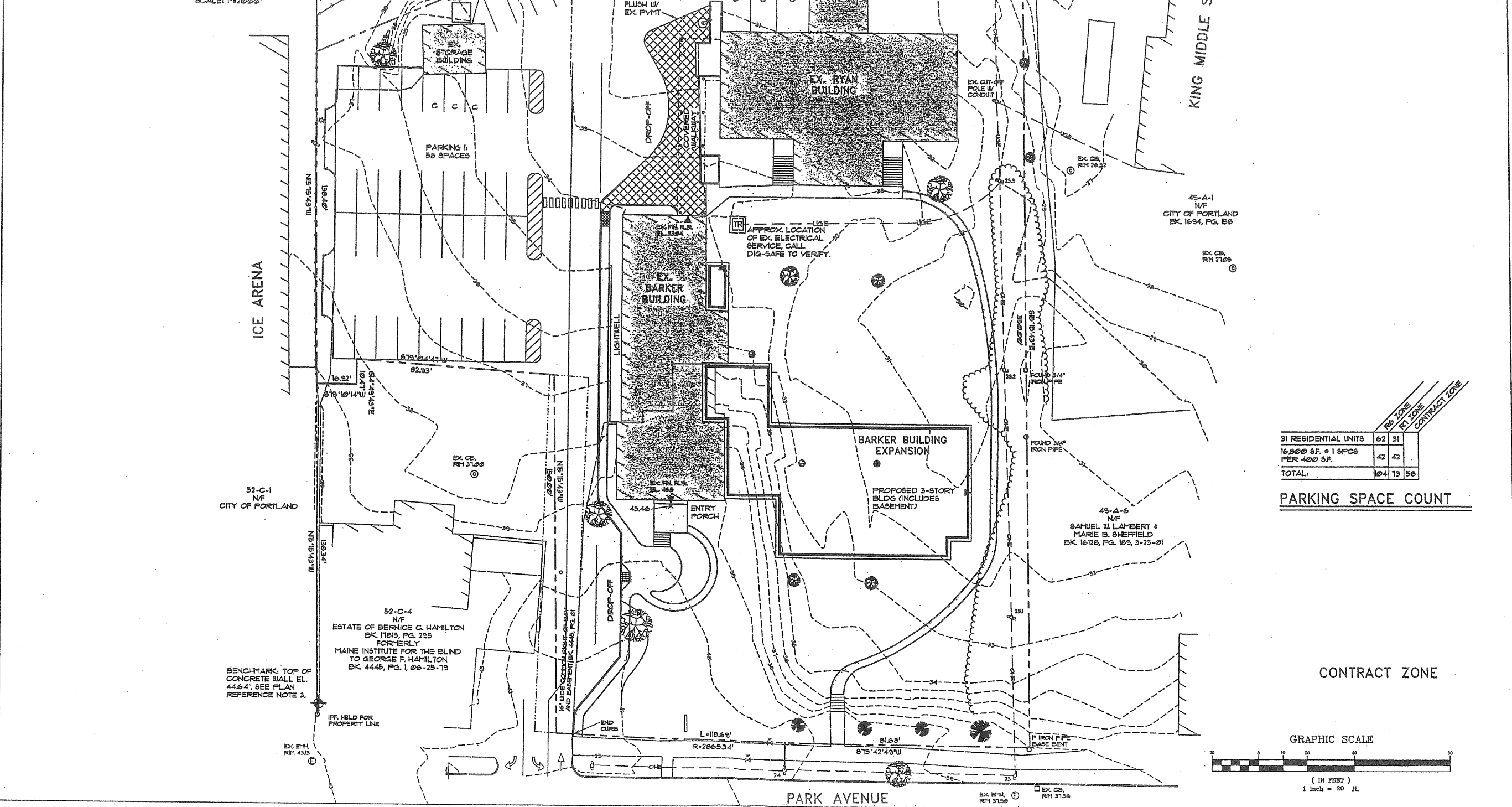
75% SUBMISSION
 REVISIONS: *1/13/05*

SHEET: **A201**

THOMAS S. GREER
 ARCHITECT
 486 CONGRESS STREET
 PORTLAND, MAINE
 (603) 761-4231
 tsgreer@maine.ir.com

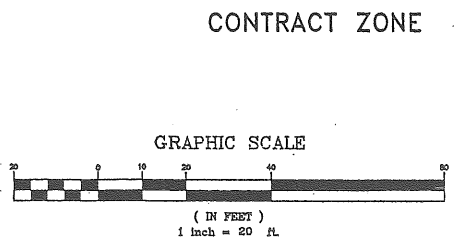


LOCATION PLAN
 SCALE: 1"=200'



PARKING SPACE COUNT

	R-5 ZONE	R-1 ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,000 S.F. ± 1 SPCS PER 400 S.F.	42	42	
TOTAL:	104	73	58



ARCHITECT: SEMPLE & DRANE ARCHITECTS
 486 CONGRESS STREET
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 (603) 761-4231
 tsgreer@maine.ir.com

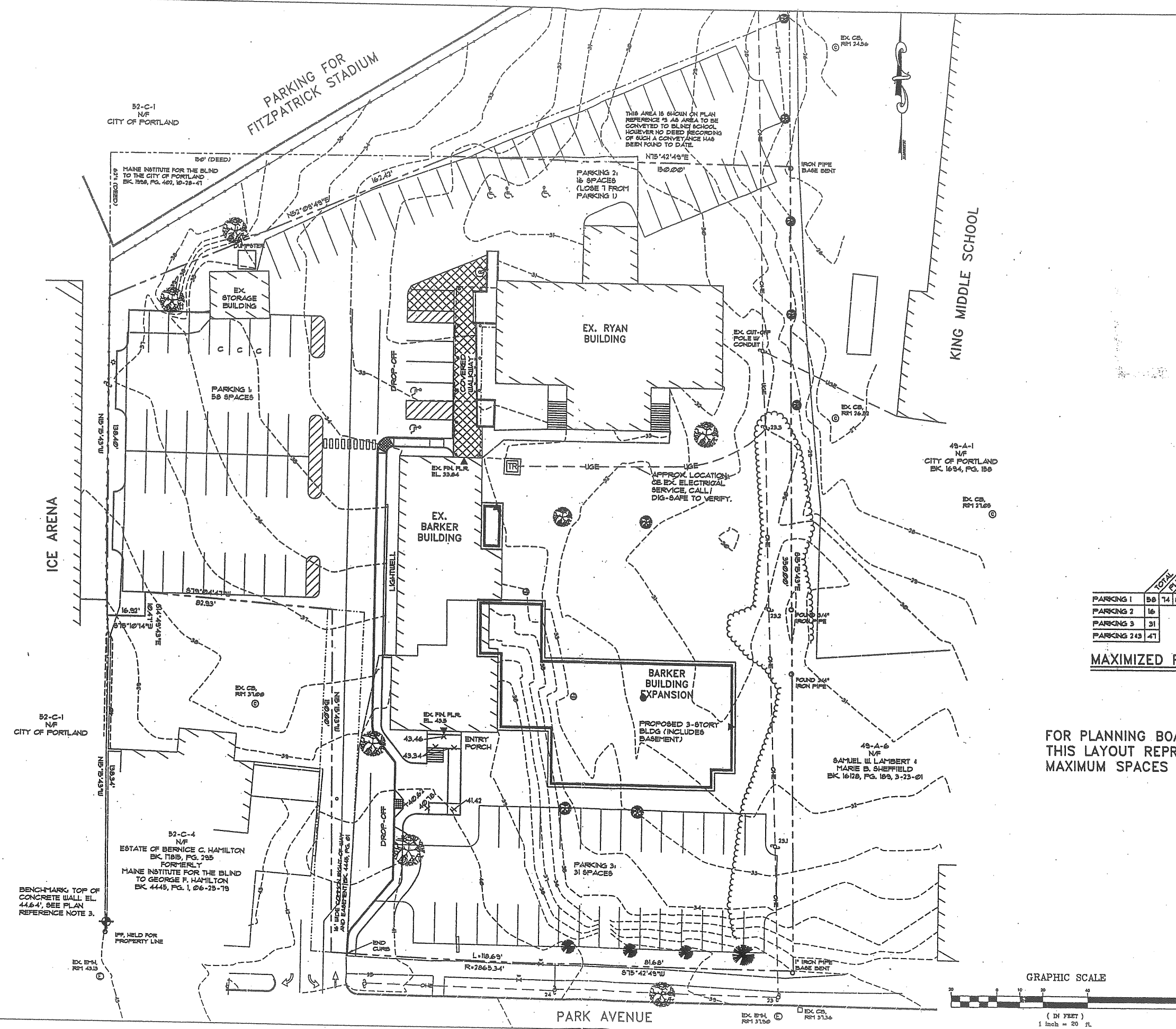
OWNER: IRIS NETWORK
 PORTLAND, ME 04101

PROJECT: IRIS NETWORK
 RENOVATION & ADDITIONS
 PORTLAND, ME 04101

DRAWING: CONTRACT ZONE LAYOUT
 SCALE: AS SHOWN
 REVISIONS: 10/5/04, REVD ABUTTER
 DATE: AUGUST 3, 2004

SHEET: 01

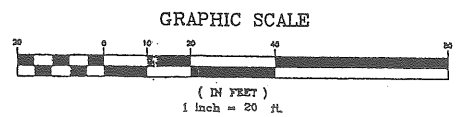
Att. B



	TOTAL	PLUS PARKING 1	PLUS PARKING 2	PLUS PARKING 3
PARKING 1	58	14	85	105
PARKING 2	16			
PARKING 3	31			
PARKING 2+3	47			

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



ARCHITECT: SEMPLE & DRANE ARCHITECTS
486 CONGRESS STREET
PORTLAND, MAINE
04101 761-4231

OWNER: IRIS NETWORK
PORTLAND, ME 04101

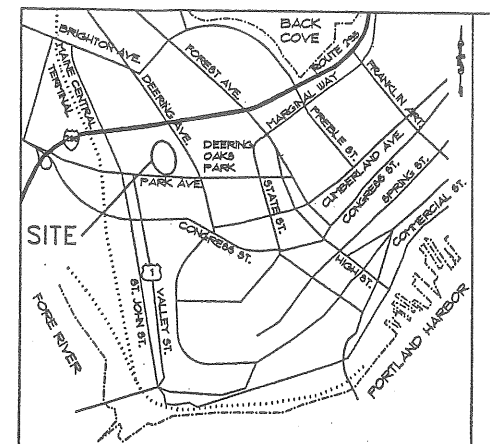
PROJECT: IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: MAXIMUM PARKING LAYOUT
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

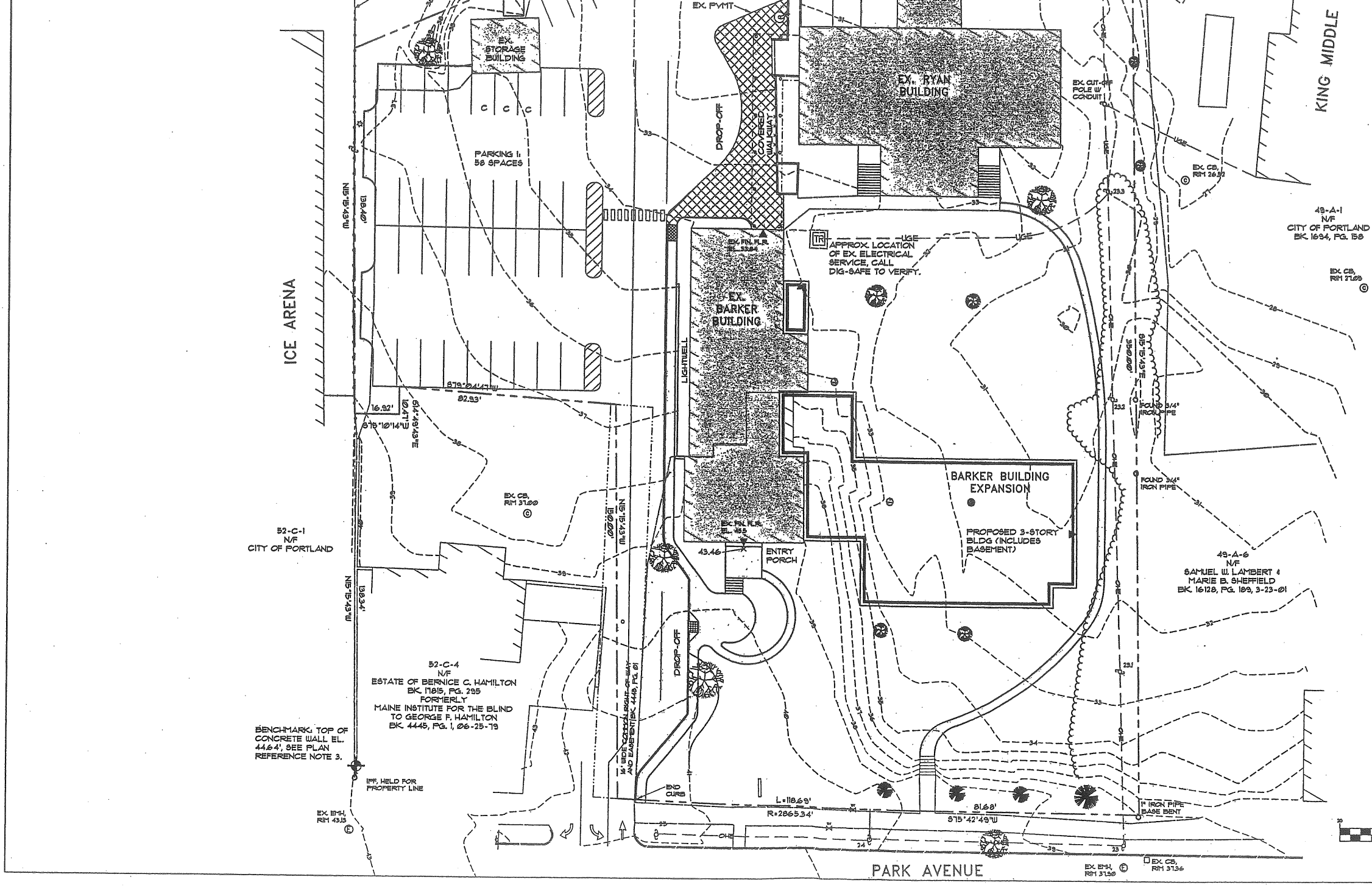
REVISIONS:

SHEET: 02

Att. 87

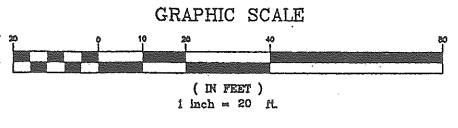


LOCATION PLAN
SCALE: 1"=200'



PARKING SPACE COUNT

	RS ZONE	RT ZONE	CONTRACT ZONE
51 RESIDENTIAL UNITS	62	31	
16,000 SF. @ 1 SPCS PER 400 SF.	42	42	
TOTAL:	104	73	56



ARCHITECT: SEMPLE & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE
PHONE: 781-4231
aseemple1@maine.r.com

OWNER: IRIS NETWORK
PORTLAND, ME 04101

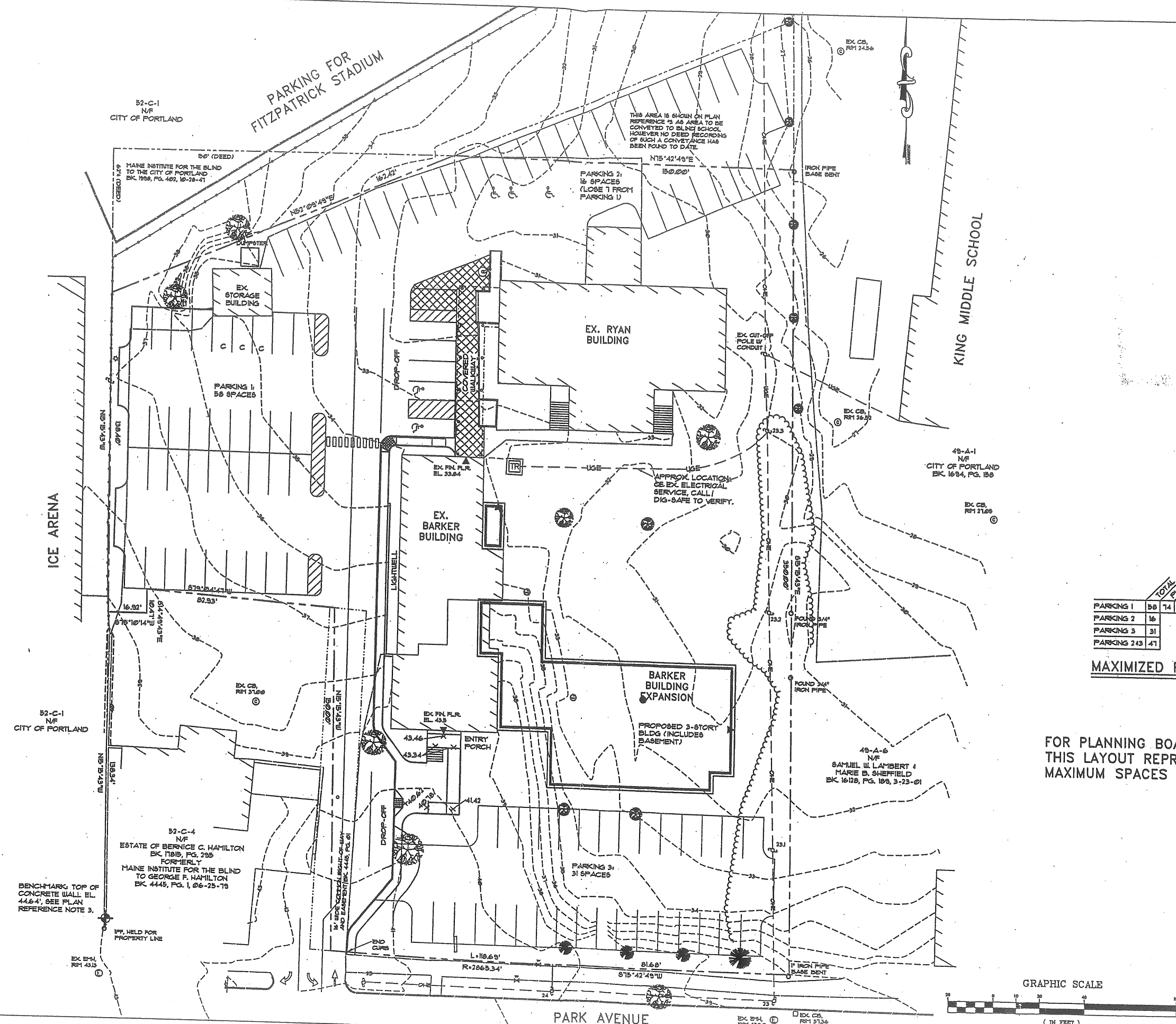
PROJECT: IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: CONTRACT ZONE LAYOUT
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

REVISIONS:
10/5/04, REV'D ABUTER

SHEET: 01

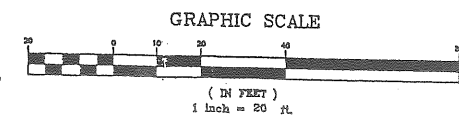
Att. B



	TOTAL	PLUS PARKING 2	PLUS PARKING 3
PARKING 1	58	74	89
PARKING 2	16		
PARKING 3	31		
PARKING 2+3	47		

MAXIMIZED PARKING

FOR PLANNING BOARD INFORMATION.
THIS LAYOUT REPRESENTS THE
MAXIMUM SPACES AVAILABLE.



ARCHITECT: SEMPLE & DRANE ARCHITECTS
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PORTLAND, MAINE
PHONE 761-4231

OWNER: IRIS NETWORK
PORTLAND, ME 04101

PROJECT: IRIS NETWORK
RENOVATION & ADDITIONS
PORTLAND, ME 04101

DRAWING: MAXIMUM PARKING LAYOUT
SCALE: AS SHOWN
REVISIONS:

SHEET: 02
DATE: AUGUST 3, 2004