



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant Scott A. Lindberg Assoc

Application Date 3/17/05

Applicant's Mailing Address P.O. Box 7026 Portland ME 04112

Project Name/Description 2360 ...

Consultant/Agent/Phone Number 237-0422

Address of Proposed Site 2360 ...

CBL: 051-E-021

Description of Proposed Development:

Upgrade the existing ...

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions: See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
b) Footprint Increase Less Than 500 Sq. Ft.
c) No New Curb Cuts, Driveways, Parking Areas
d) Curbs and Sidewalks in Sound Condition/Comply with ADA
e) No Additional ... increase
f) No Stormwater Problems
g) Sufficient Property Screening

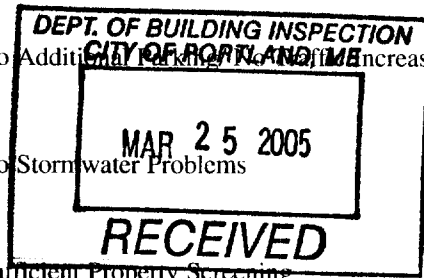


Table with 2 columns: Applicant's Assessment (Yes, No, N/A) and Planning Office Use Only. Contains checkmarks for each criterion.

equate Utilities

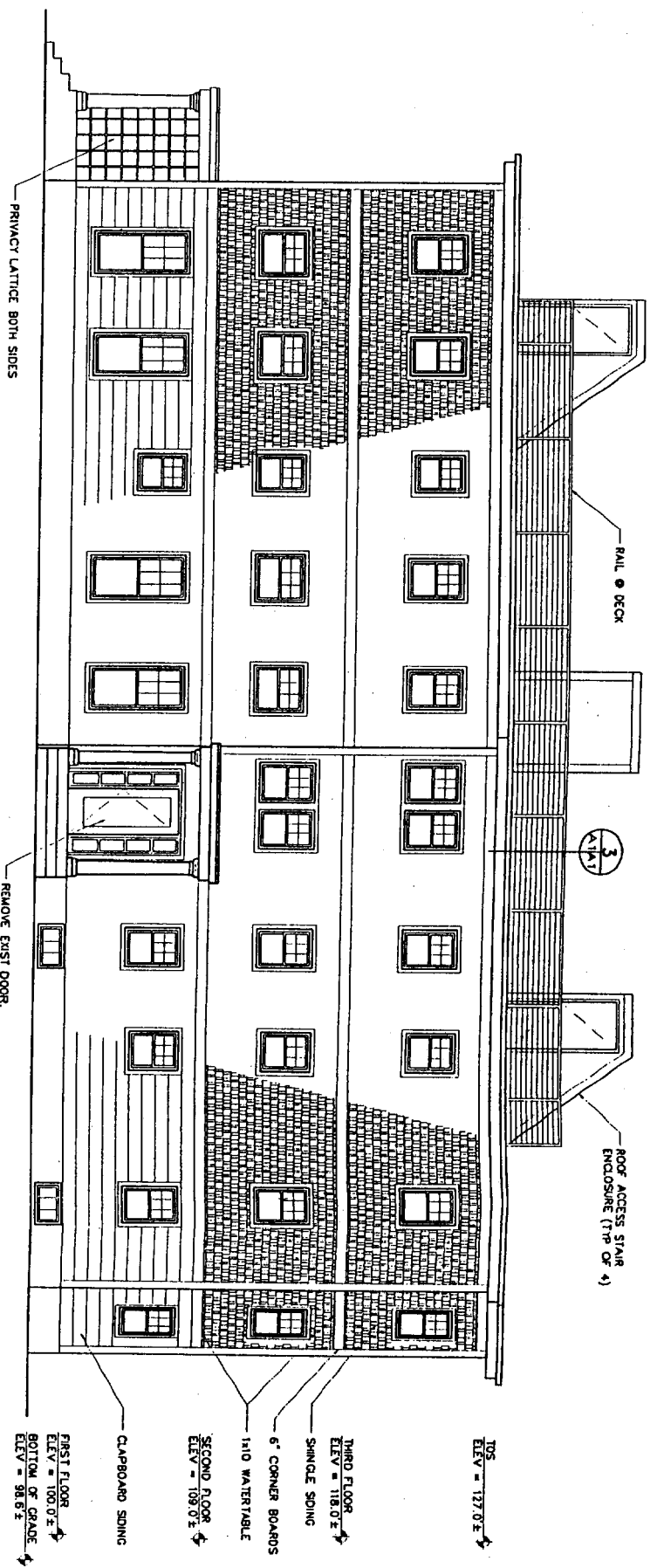
Planning Division Use Only

nted [checked] Partial Exemption [] Exemption Denied []

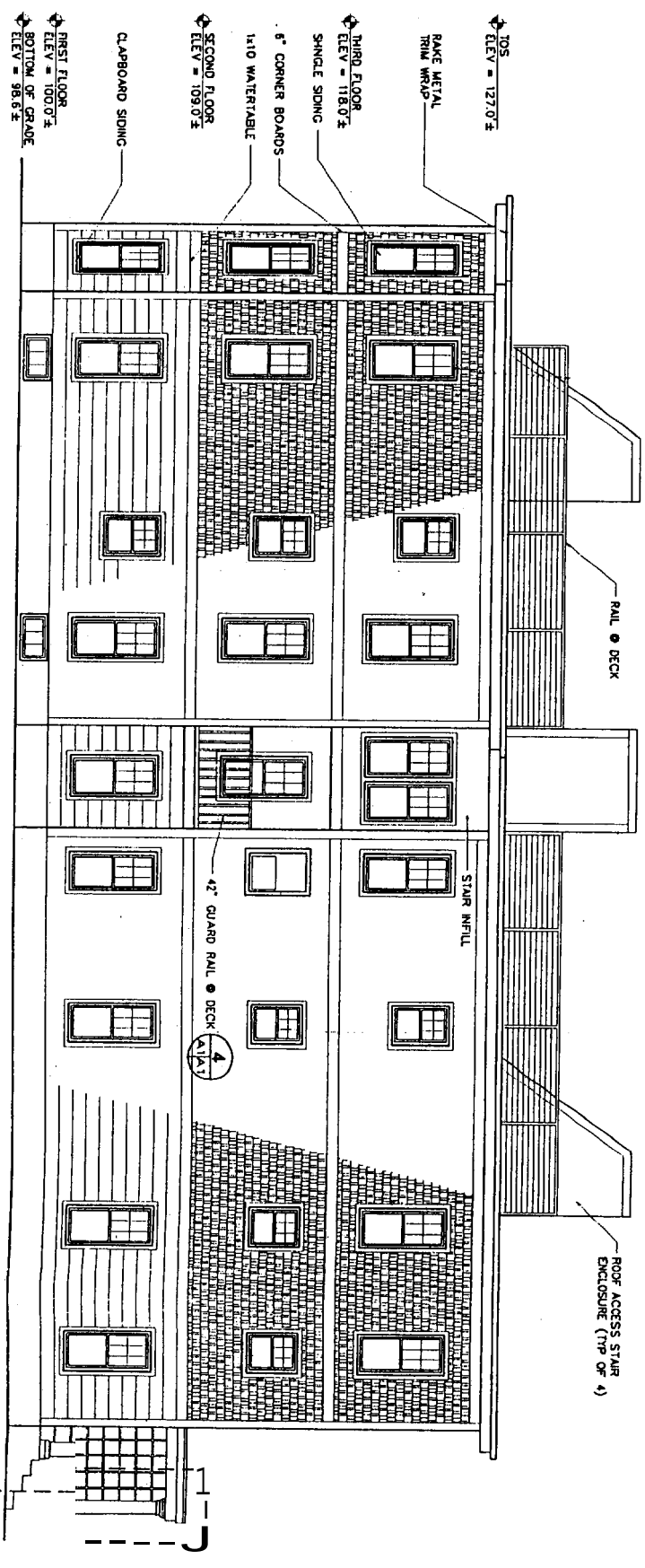
[Signature]

Date 3-23-05

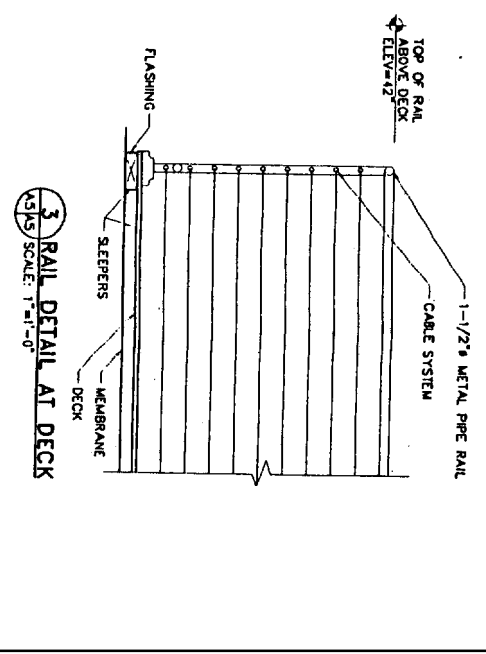
Office Pink - Inspections Yellow - Applicant



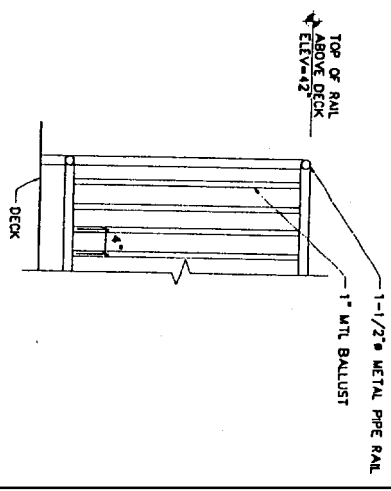
1 EAST ELEVATION
AS/AS SCALE: 1/8"=1'-0"



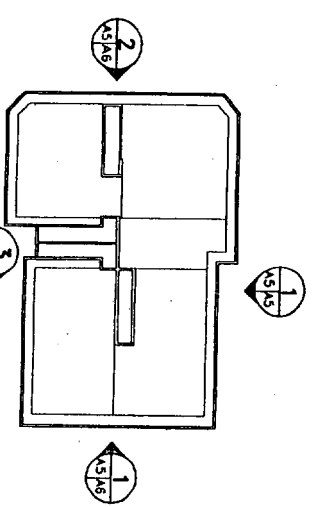
2 WEST ELEVATION
AS/AS SCALE: 1/8"=1'-0"



3 RAIL DETAIL AT DECK
AS/AS SCALE: 1"=1'-0"



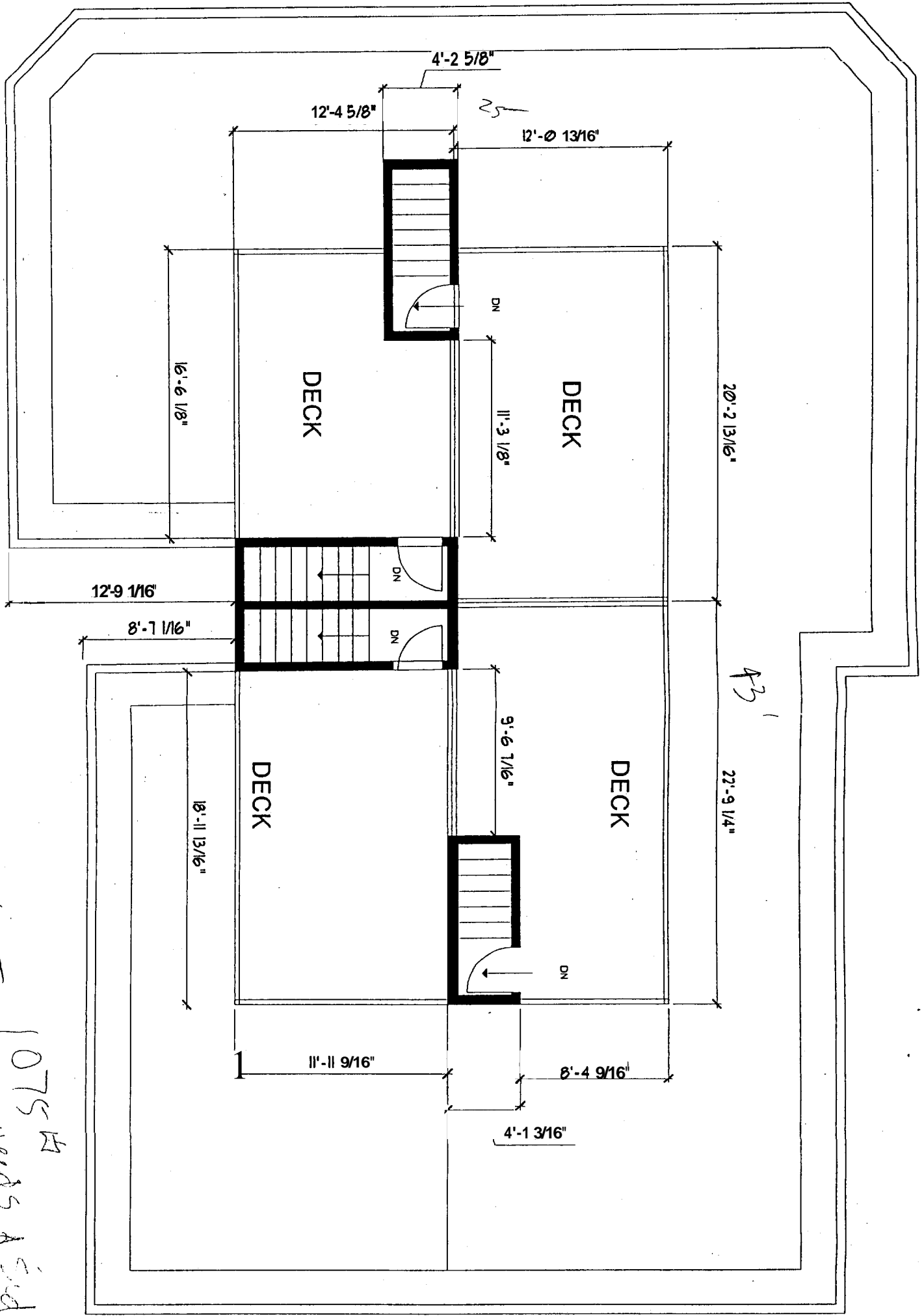
4 RAIL DETAIL AT INFILL DECK
AS/AS SCALE: 1"=1'-0"



KEY PLAN
NOT TO SCALE
NORTH

GRAPHIC SCALES
1/4"=1'-0"
1"=1'-0"

CHECK GRAPHIC SCALES BEFORE USING



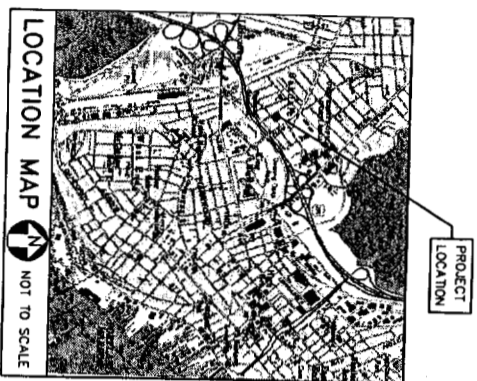
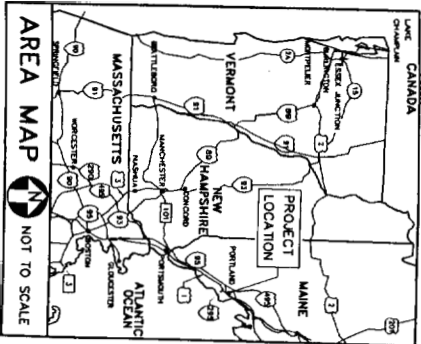
25 X 43 = 1075 sq ft
 needs a sidewalk
 permits exemption

4	ROOF DECK PLAN	Date 17 FEBRUARY 05	Scale 1/4" = 1' - 0"	Project: 25 GRANITE STREET	INTERIOR RESOURCES 48 Union Wharf Portland, Maine 04101 (207) 828-5082 Fax (207) 772-4056
		Drawn By MAD	By MAD	PORTLAND, MAINE	
		Revisions			



13 GRANITE STREET RENOVATION

SCOTT A. LINDSAY ASSOCIATES
92 EXCHANGE STREET
PORTLAND, MAINE



INTERIOR DESIGNER:

INTERIOR RESOURCES

48 Union Wharf Portland, Maine 04101
(207) 828-5082 Fax (207) 772-4056

INTERIOR RESOURCES

ABBREVIATION	
±	PLUS OR MINUS
APP	APPROXIMATELY
BLDG	BUILDING
CONC	CONCRETE
DN	DOWN
EXIST	EXISTING
FLOOR	FLOOR
FLUR	FLOOR
FT	FEET
H/HT	HEIGHT
L	LENGTH
MAX	MAXIMUM
MIN	MINIMUM
MTL	METAL
N	NORTH
N.#	NUMBER
R	RADIUS
SQ	SQUARE
TP	TYPICAL
W/	WITH

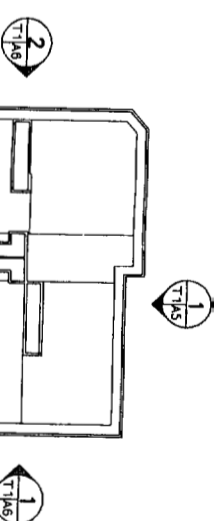
LEGEND	
	DETAIL NUMBER
	SHEET NUMBER
	DETAIL IS DRAWN SHEET WHERE DETAIL IS TAKEN
	DETAIL IS DRAWN SHEET WHERE DETAIL IS TAKEN
	INDICATES DIRECTION OF CUTTING PLANE
	WALL SECTION OR ELEVATION NUMBER SHEET WHERE WALL SECTION OR ELEVATION IS TAKEN
	WALL SECTION OR ELEVATION NUMBER SHEET WHERE WALL SECTION OR ELEVATION IS TAKEN
	DETAIL NUMBER DISCIPLINE SHEET # BE WH E
	ELEVATION, BENCHMARK OR VERTICAL HEIGHT TARGET
	KEYNOTE
	EXISTING BUILDING
	EXISTING STONE FOUNDATION BELOW GRADE
	EXISTING APPROXIMATE PROPERTY LINE

LIST OF DRAWINGS

SHEET NO. AND TITLE	DRAWING TITLE
T1 1 OF 8	TITLE, LIST OF DRAWINGS, MAPS AND ABBREVIATIONS
A1 2 OF 8	FIRST FLOOR PLANS
A2 3 OF 8	SECOND FLOOR PLANS
A3 4 OF 8	THIRD FLOOR PLANS
A4 5 OF 8	ROOF DECK PLAN
A5 6 OF 8	NORTH, SOUTH ELEVATIONS AND DETAILS
A6 7 OF 8	EAST AND WEST ELEVATIONS
A7 8 OF 8	PARTIAL BUILDING SECTIONS AND DETAILS

GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS IN THE FIELD.
2. COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
3. MATERIALS AND FINISHES AS SELECTED BY OWNER.
4. IBC 2003, R-2 OCCUPANCY
5. CITY OF PORTLAND C/B.A.L.: 51-E-21
6. ZONE: R5 (MULTI-FAMILY)
7. MECHANICAL/ELECTRICAL IS DESIGN BUILD.
8. STRUCTURAL ASSESSMENT BY OTHERS.



OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
231 MAIN STREET BIDDLEFORD, MAINE 04005

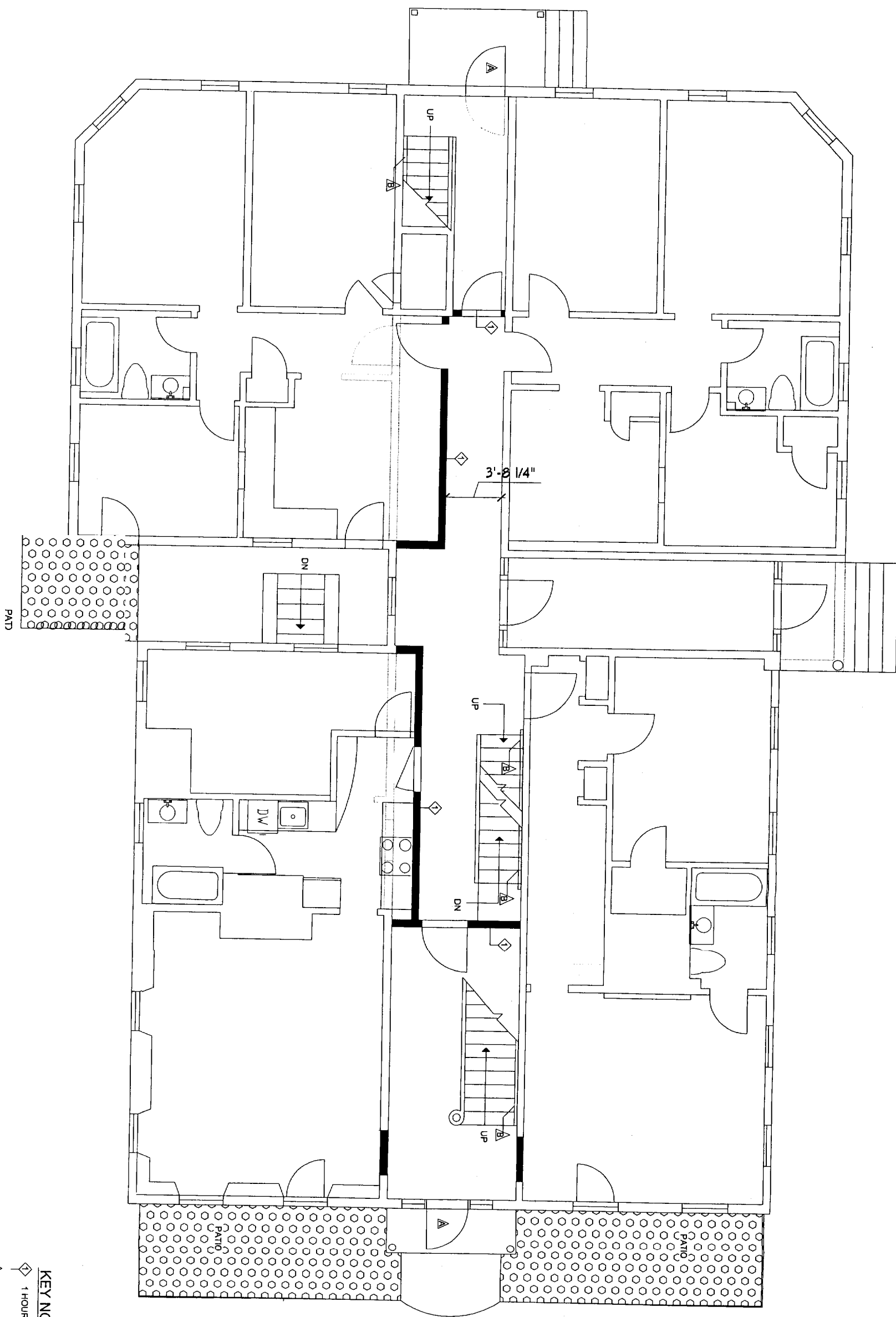
13 GRANITE STREET RENOVATION
PORTLAND, ME
SCOTT A LINDSAY ASSOCIATES

DATE: 02/15/05
DESIGN: GLH
DRAWN: CFT
CHECKED: GLH
SCALE: AS NOTED
JOB: 20410.01

COVER SHEET

T1

1 OF 8



KEY NOTES

- ◊ 1 HOUR WALL
- ▲ REVERSE DOOR SWING
- R-2 OCCUPANCY
- TYPE V-A CONSTRUCTION 3 STORES 10' 0" SF ALLOWED (13,104 EXISTING) - OK
- 1 H O RATING FOR ALL CONG WALLS, FLOORS AND ROOF
- SPRINKLER REQUIRED AT BOILER
- ▲ HAND RAIL

A1

FIRST FLOOR PLANS

Date	17 FEBRUARY 05	Scale	1/4" = 1' - 0"
Drawn By	MAD	By	MAD
Revisions			

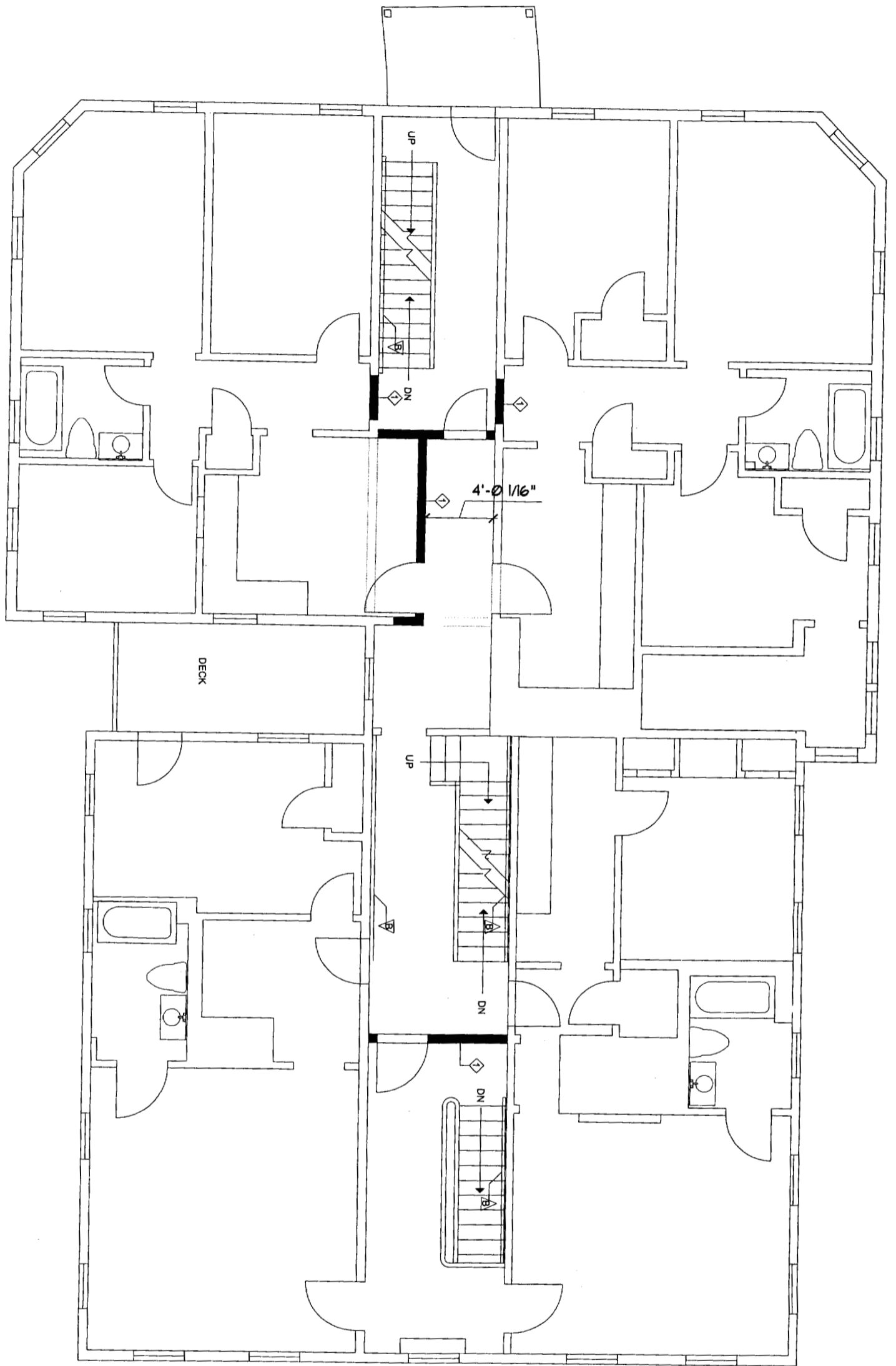
Project:

25 GRANITE STREET
PORTLAND, MAINE

INTERIOR RESOURCES

48 Union Wharf Portland, Maine 04101
(207) 828-5082 Fax (207) 772-4056





KEY NOTES

- ◊ 1 HOUR WALL
- ▲ REVERSE DOOR SWING
- R-2 OCCUPANCY
- TYPE V-A CONSTRUCTION 3 STORIES 14,000 SF ALLOWED (13,104 EXISTING) - OK
- 1 HOUR RATING FOR BEARING WALLS, FLOORS AND ROOF SPRINKLER REQUIRED AT BOILER
- ▲ HAND RAIL

Date	17 FEBRUARY 05	Scale	1/4" = 1' - 0"	Project:
Drawn By	MAD	By	MAD	
Revisions				

FLOOR PLANS

25 GRANITE STREET

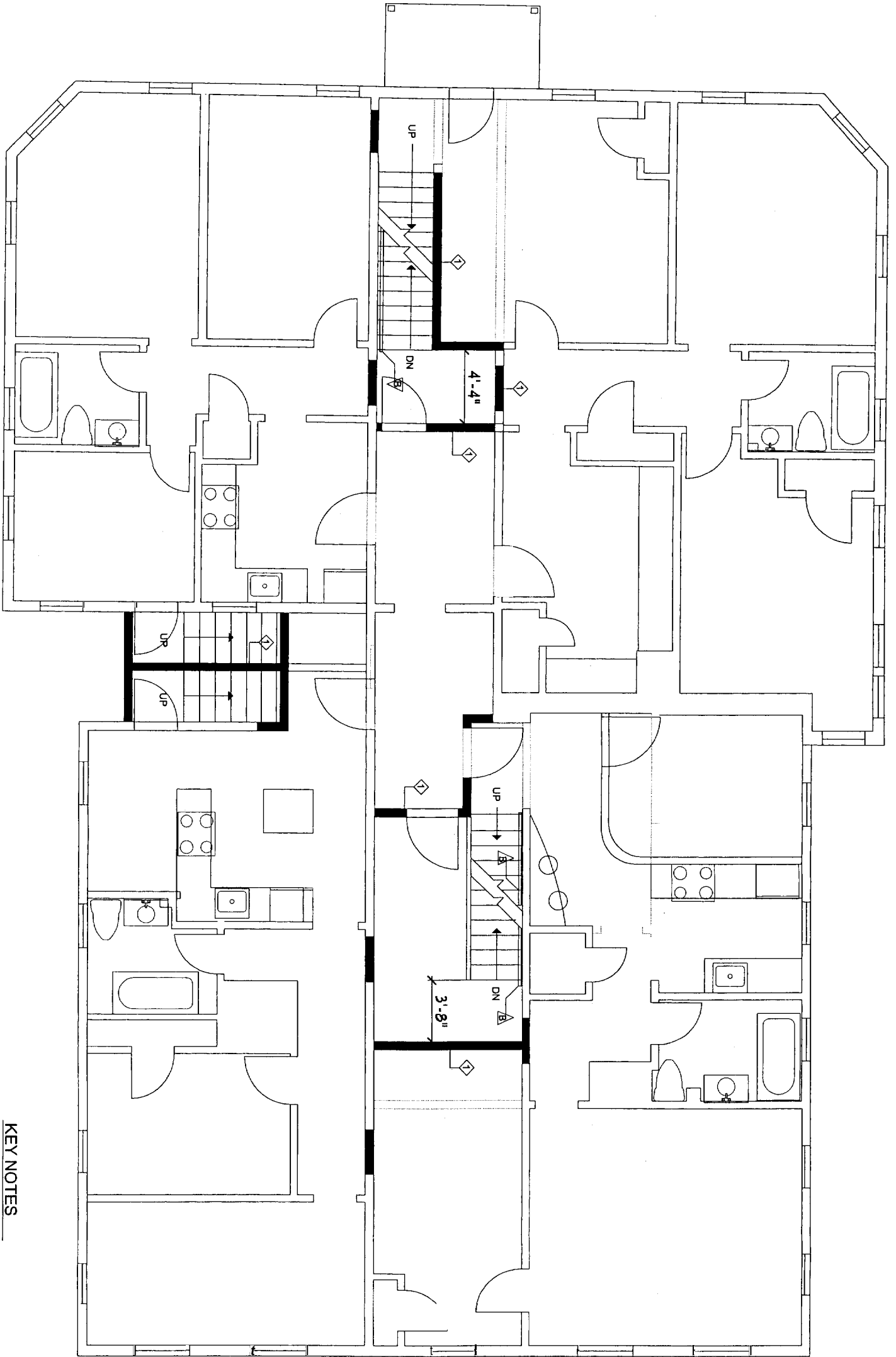
PORTLAND, MAINE

INTERIOR RESOURCES

48 Union Wharf, Portland, Maine 04101



A2



KEY NOTES

- ◊ 1 HOUR WALL
- ▲ REVERSE DOOR SWING
- ▬ OCCUPANCY
- TYPE 1 CONSTRUCTION 3 STORIES 14,000 SF ALLOWED (13,104 EXISTING) - OK
- 1 HOUR RATING FOR BEARING WALLS, FLOORS AND ROOF
- SPRINKLER REQUIRED AT BOILER
- ▲ HAND RAIL

Date	17 FEBRUARY 05	Scale	1/4" = 1' - 0"	Project:
Drawn By	MAD	By	MAD	
Revisions				

THIRD FLOOR PLANS

25 GRANITE STREET

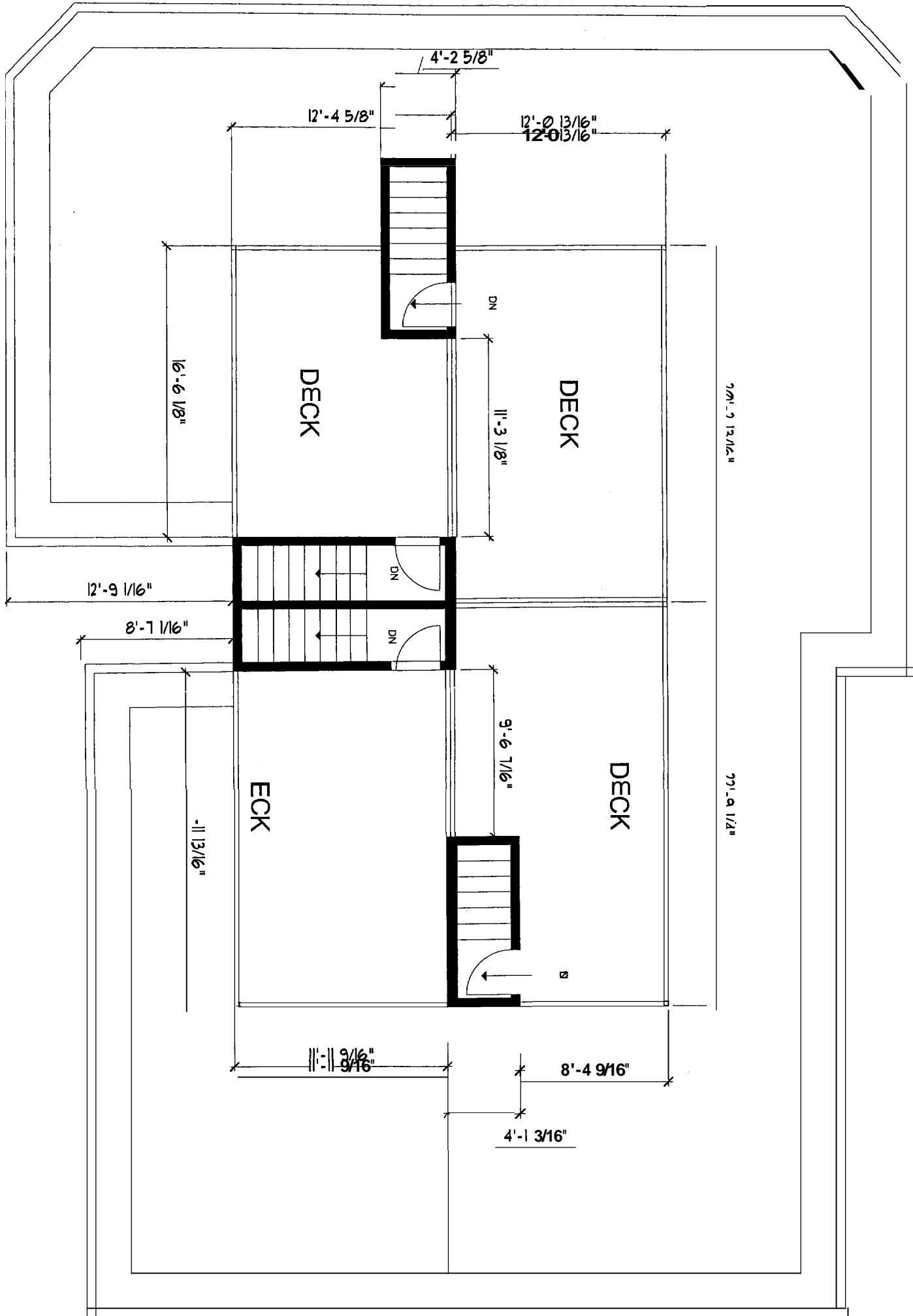
PORTLAND, MAINE

INTERIOR RESOURCES



48 Union Wharf Portland, Maine 04101
(207) 828-5082 Fax (207) 772-4056

A3



A

ROOF DECK PLAN

Date	17 FEBRUARY 05	Scale	1/4" = 1' - 0"
Drawn By	MAC	Project	
Revisions			

Project:

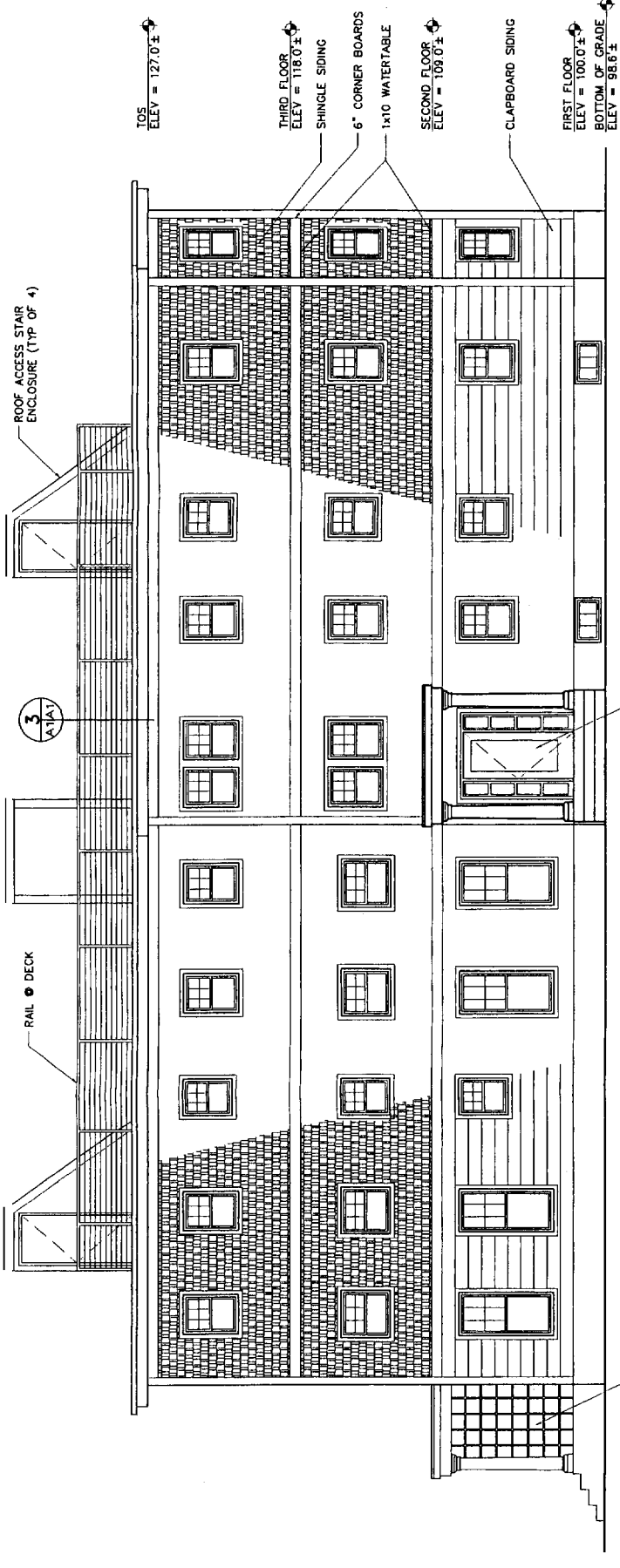
25 GRANITE STREET

PORTLAND, MAINE

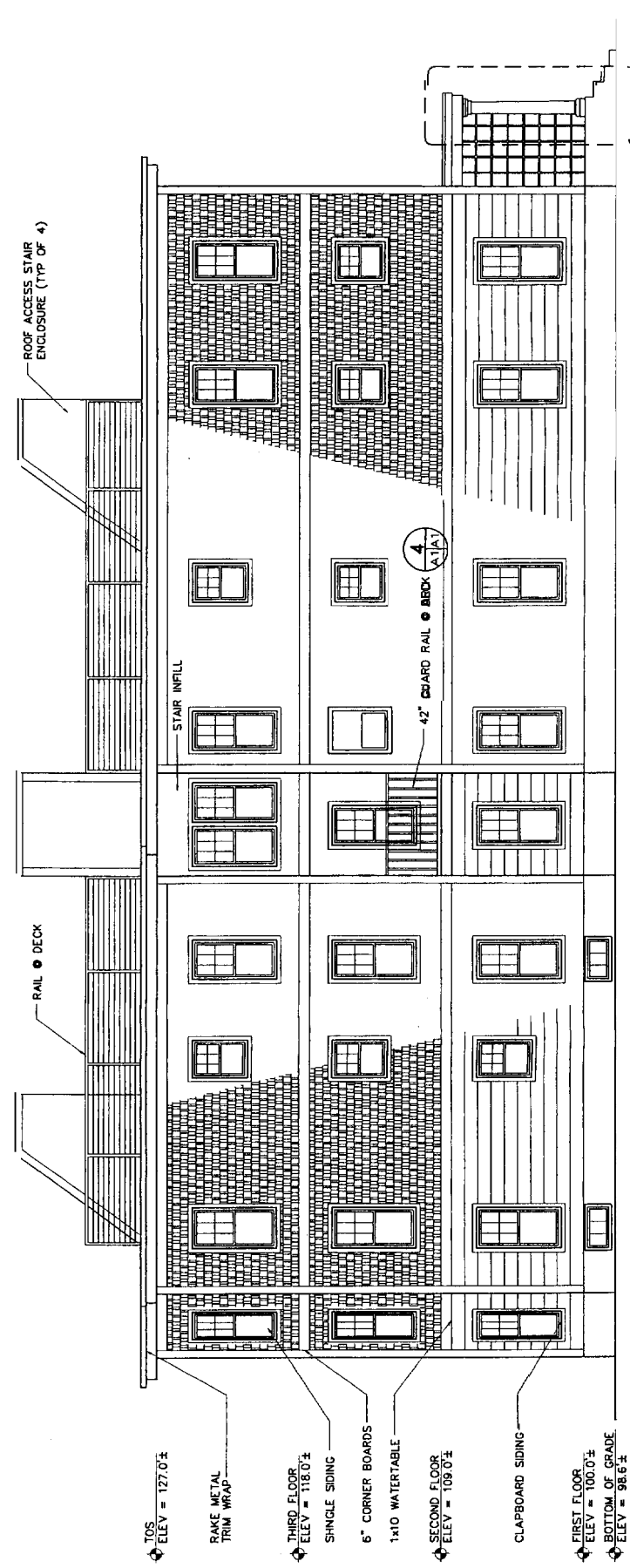
INTERIOR RESOURCES

48 Union Wharf Portland, Maine 04101
 (207) 828-5082 Fax (207) 772-4056

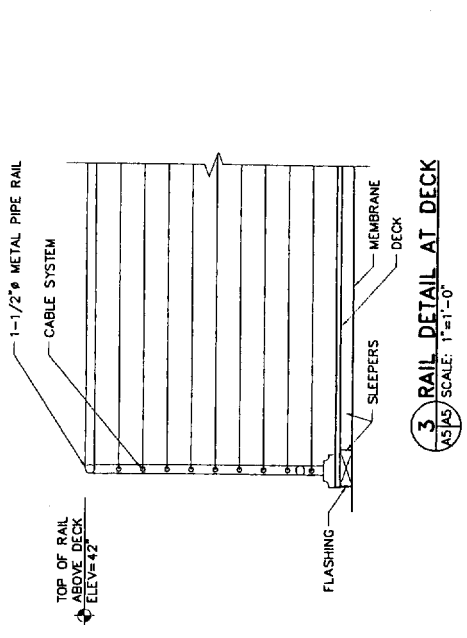




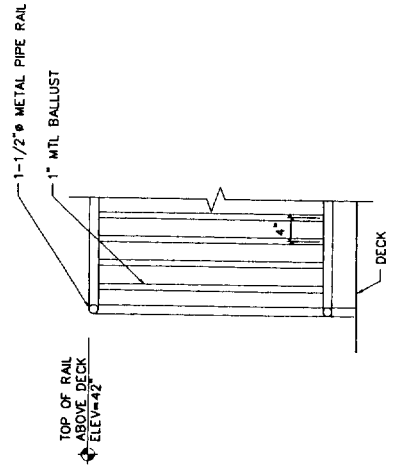
1 EAST ELEVATION
AS/A5/SCALE: 1/4"=1'-0"



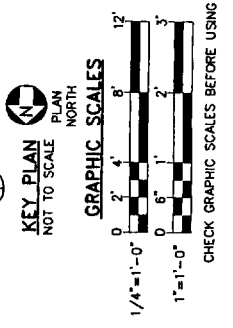
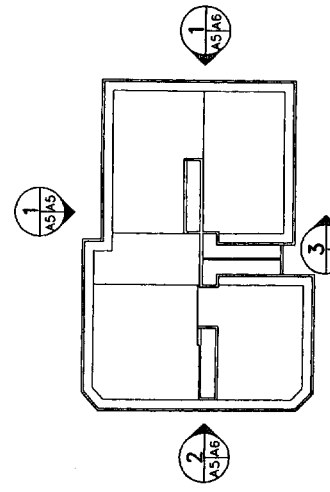
2 WEST ELEVATION
AS/A5/SCALE: 1/4"=1'-0"

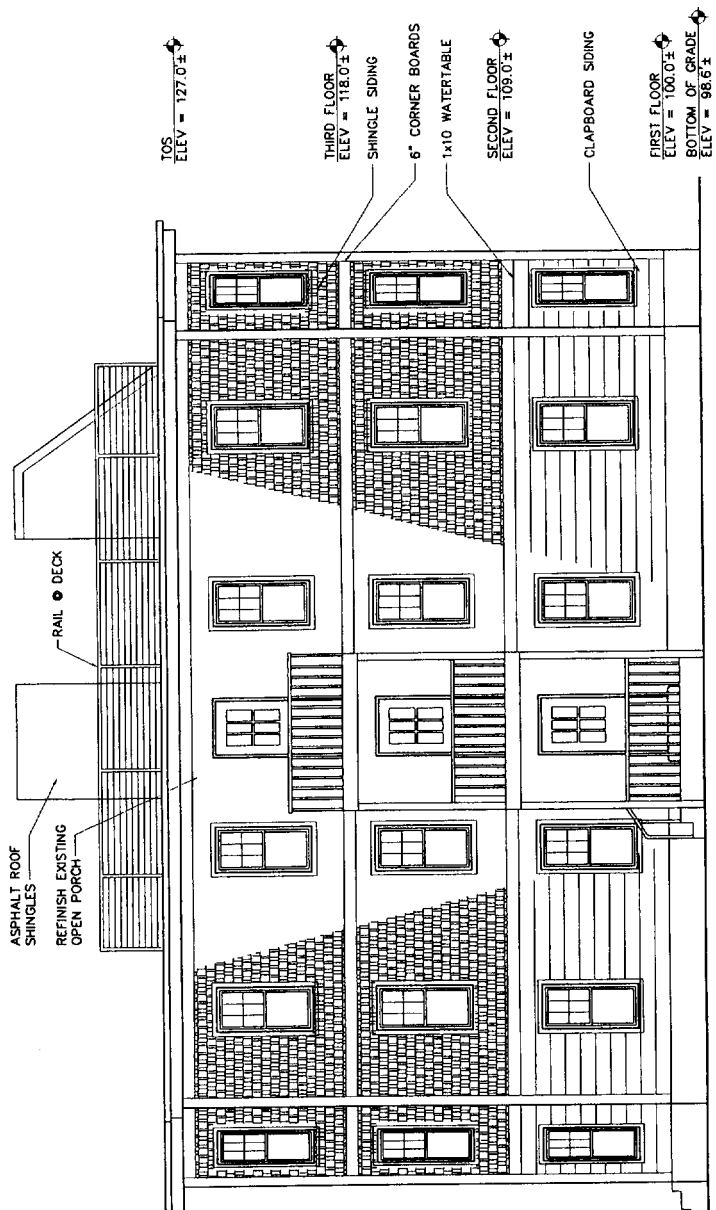


3 RAIL DETAIL AT DECK
AS/A5/SCALE: 1"=1'-0"

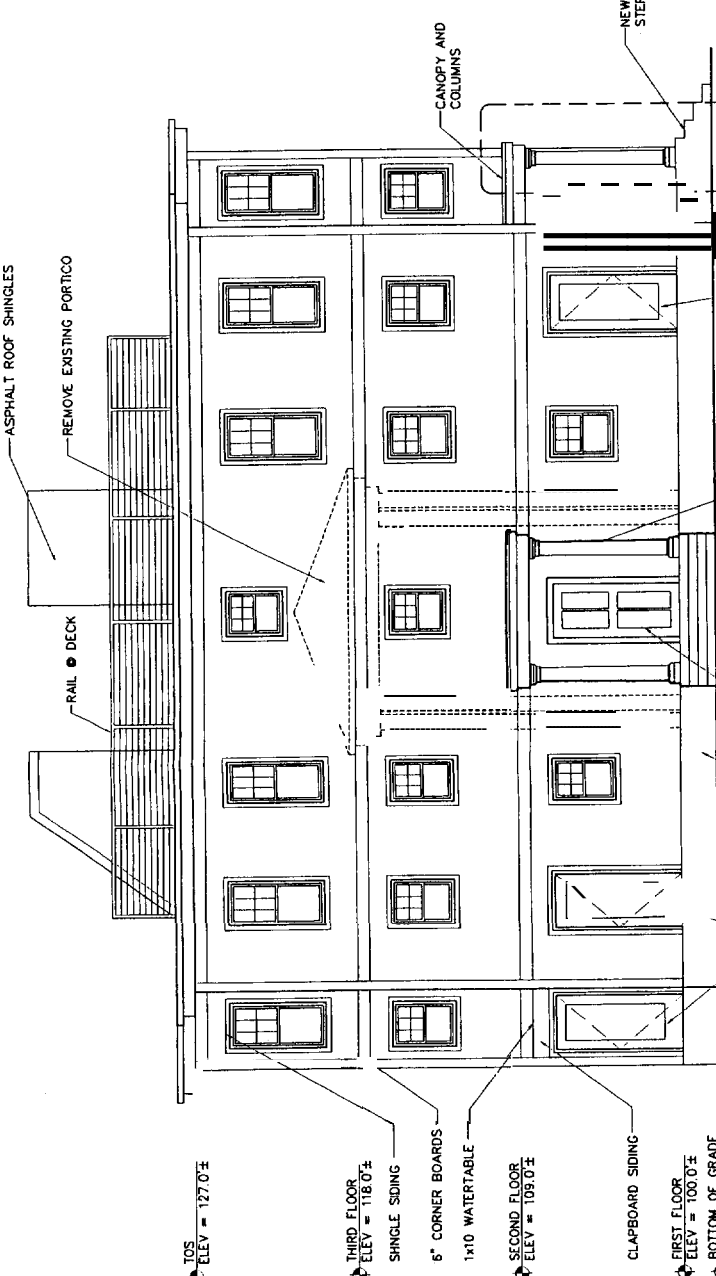


4 RAIL DETAIL AT INFILL DECK
AS/A5/SCALE: 1"=1'-0"

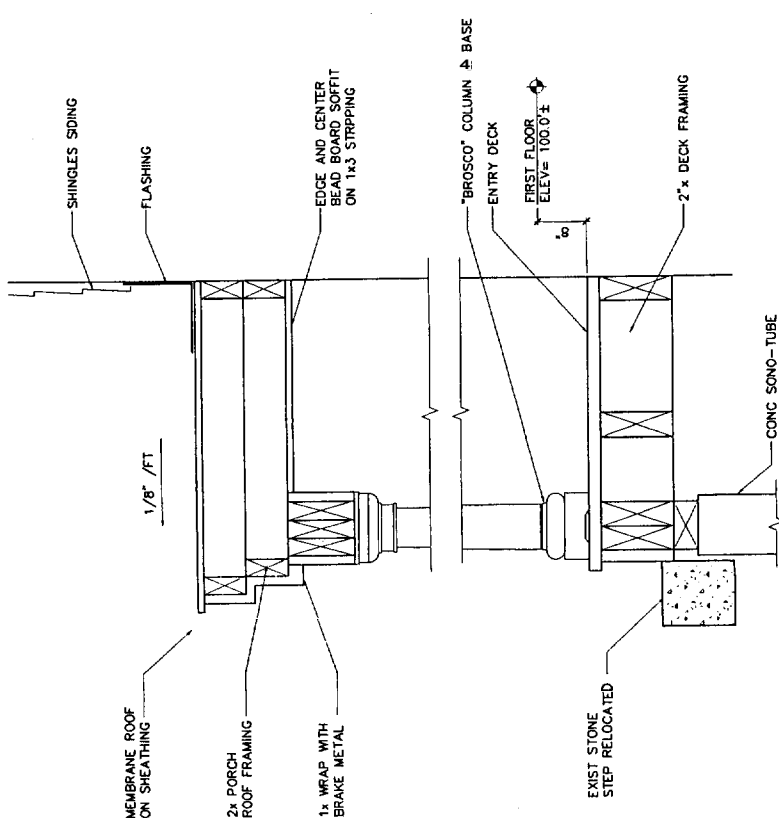




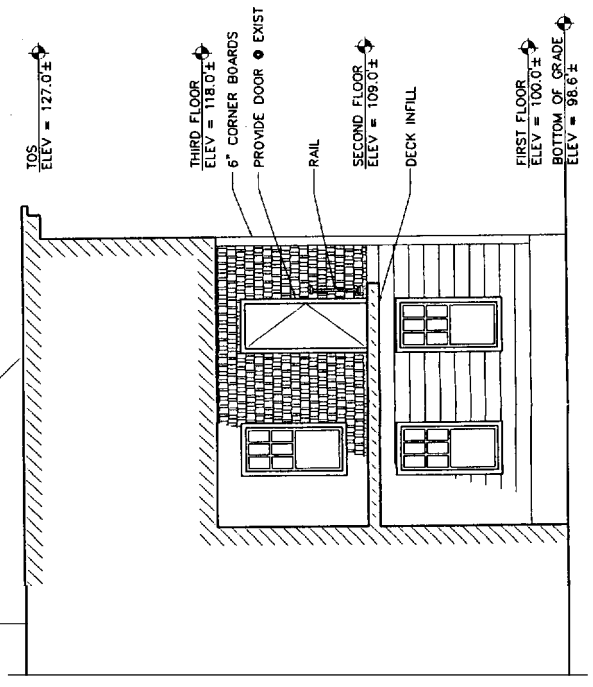
2 NORTH ELEVATION
A2/A2 SCALE: 1/4"=1'-0"



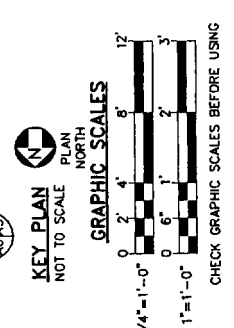
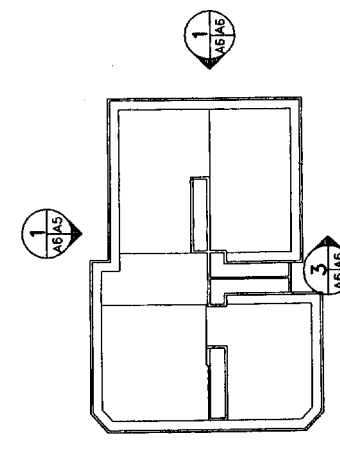
1 SOUTH ELEVATION
A2/A2 SCALE: 1/4"=1'-0"



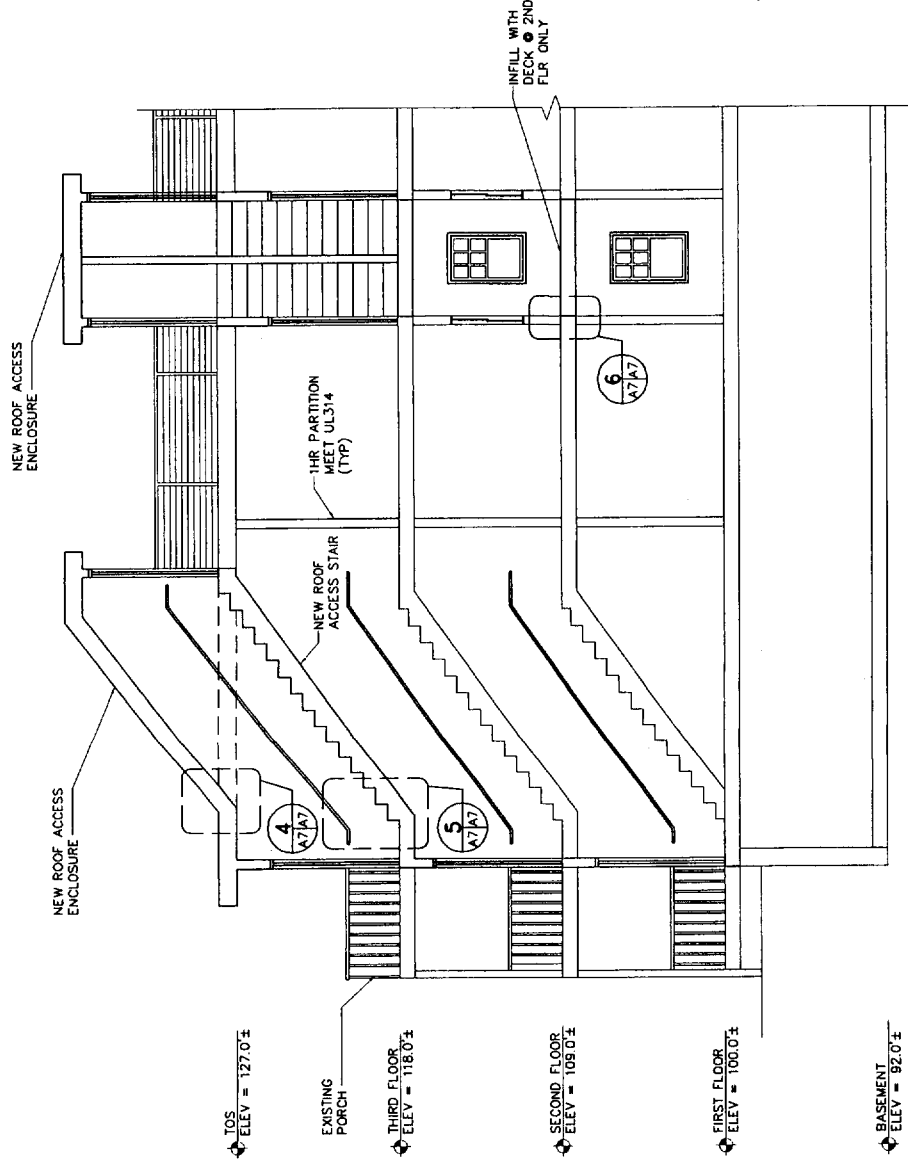
3 PORCH DETAIL
A2/A2 SCALE: 1"=1'-0"



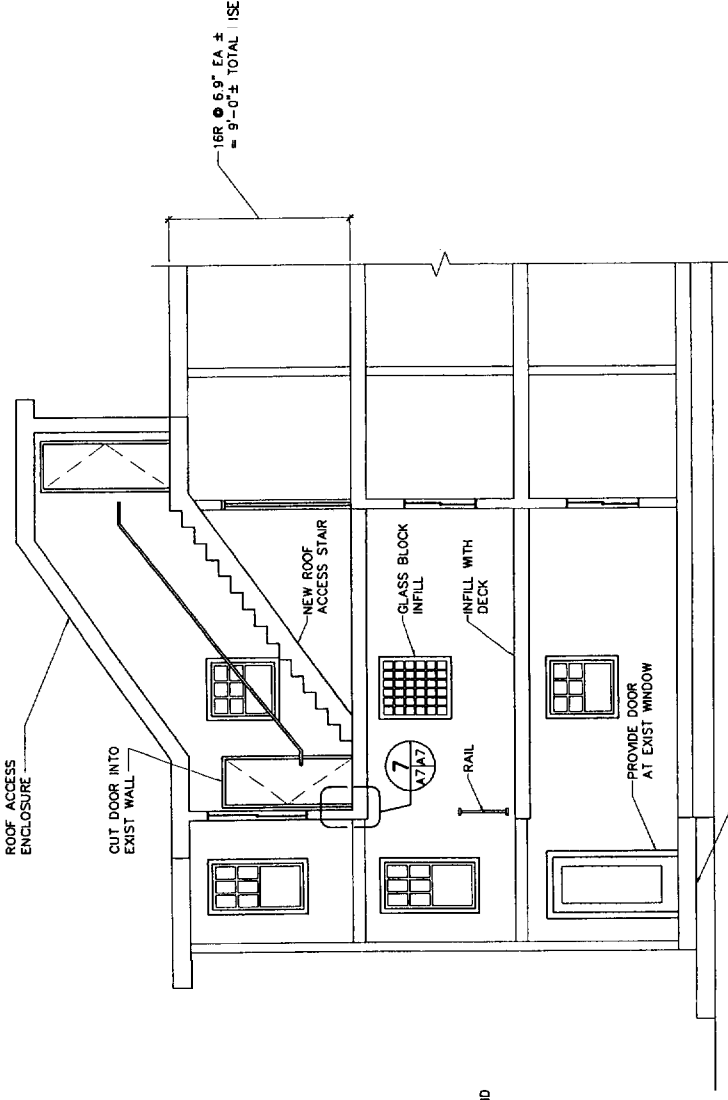
3 PARTIAL ELEVATION
A2/A2 SCALE: 1/4"=1'-0"



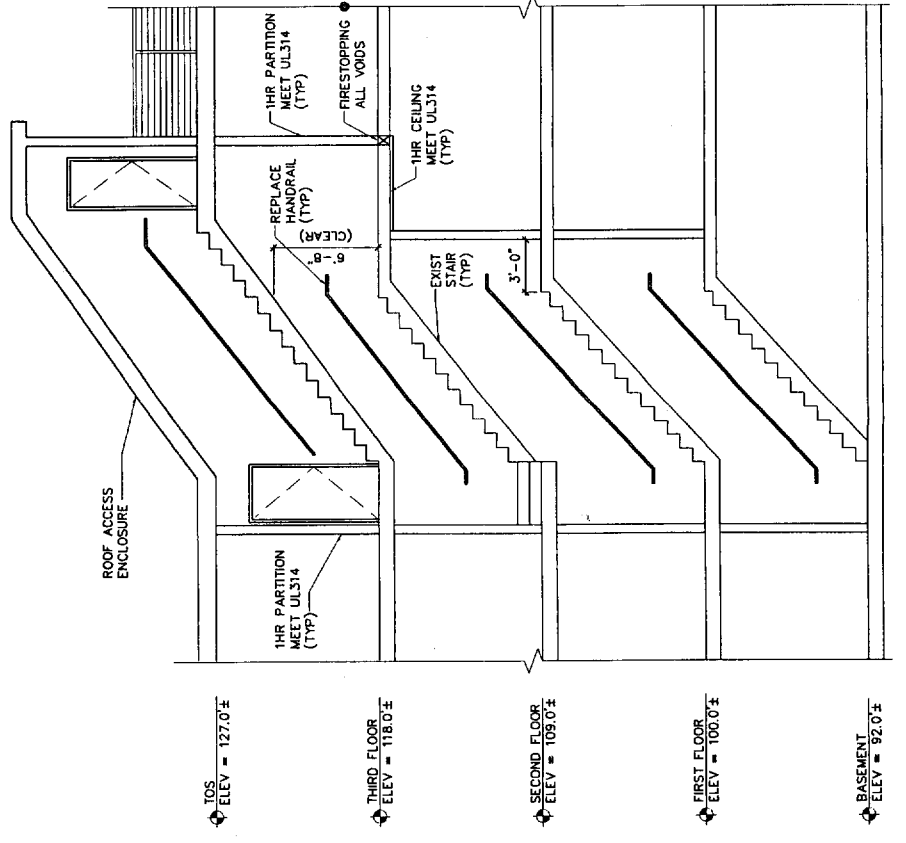
CHECK GRAPHIC SCALES BEFORE USING



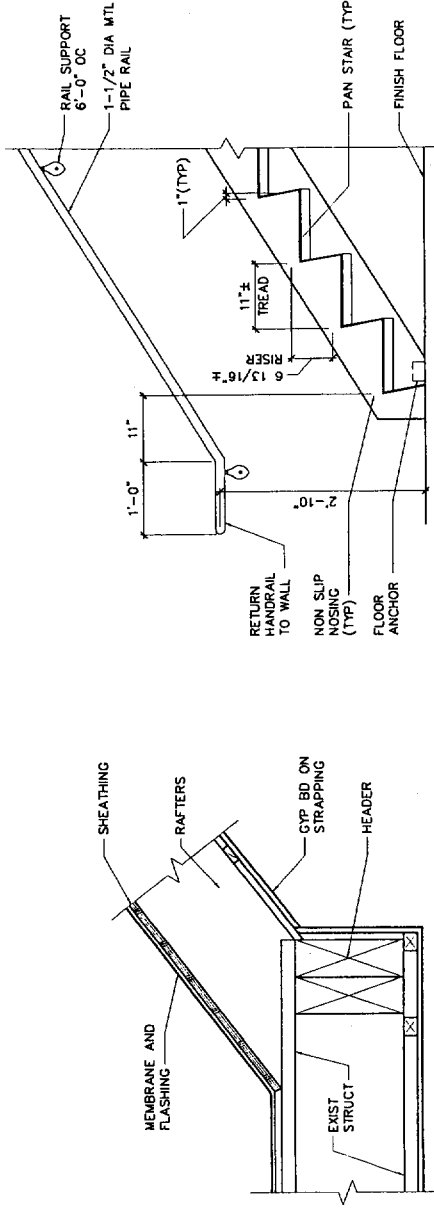
1 PARTIAL BUILDING SECTION - EAST
 SCALE: 1/4"=1'-0"



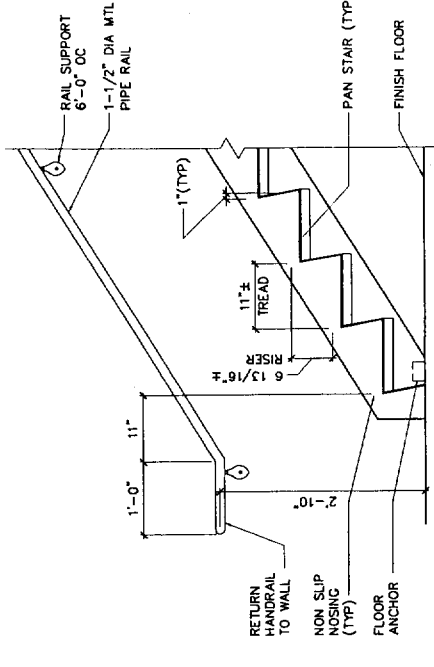
2 PARTIAL BUILDING SECTION - NORTH
 SCALE: 1/4"=1'-0"



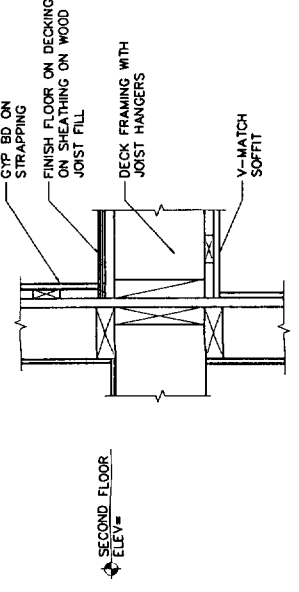
3 PARTIAL BUILDING SECTION - SOUTH
 SCALE: 1/4"=1'-0"



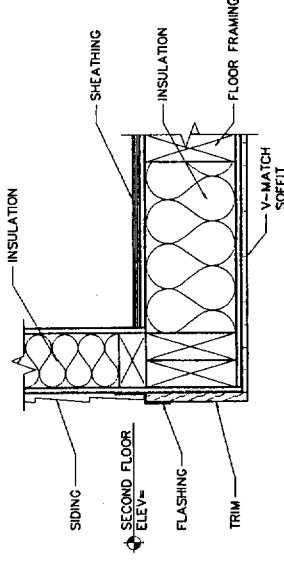
4 ROOF STAIR ENCLOSURE DETAIL
 SCALE: 1-1/2"=1'-0"



5 ROOF STAIR DETAIL
 SCALE: 1"=1'-0"



6 DECK INFILL DETAIL
 SCALE: 1-1/2"=1'-0"



7 ROOF ACCESS STAIR DETAIL
 SCALE: 1-1/2"=1'-0"

