

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No. 05-0239	Issue Date PERMIT ISSUED APR 9 2005 051 EQ21001
Owner Name: Granite Street Llc	Owner Address: Po Box 7626
Business Name:	Contractor Name: Scott Lindsay & Associates
Contractor Address: 92 Exchange Street Portland	Phone: 207 788422
Lessee/Buyer's Name	Phone:
Permit Type: Alterations - Dwellings	Zone: R-5

Location of Construction: 13 Granite St	Owner Name: Granite Street Llc	Owner Address: Po Box 7626
Business Name:	Contractor Name: Scott Lindsay & Associates	Contractor Address: 92 Exchange Street Portland
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings
Past Use: 12 unit apartment	Proposed Use: 12 unit apartment/ renovations, new decks, windows, enclose stairs	Permit Fee: Cost of Work: CEO District:

legal use: 12 residential D.U

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: 50 4/6/05 Signature: <i>[Signature]</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Proposed Project Description:
renovations, new decks, windows, enclose stairs

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By:
Idobson

Date Applied For:
03/10/2005

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>using 1A-43b 50% max allowed</i> <input checked="" type="checkbox"/> Wetland <i>using 31% with this expansion</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan - requires 31% - same would allow an exemption <input type="checkbox"/> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>3/17/05</i>	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

-
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Form# P04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 050239
APR - 8 2005
CITY OF PORTLAND

This is to certify that Granite Street Llc /Scott Lindzey & Associates
has permission to renovations, new decks, windows, enclosures, stairs
AT 13 Granite St 051 E021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

[Signature] 4/6/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0239	Date Applied For: 03/10/2005	CBL: 051 E021001
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Location of Construction: 13 Granite St	Owner Name: Granite Street Llc	Owner Address: Po Box 7626	Phone:
Business Name:	Contractor Name: Scott Lindsay & Associates	Contractor Address: 92 Exchange Street Portland	Phone (207) 773-8422
Tenant/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: 12 unit apartment/ renovations, new decks, windows, enclose stairs	Proposed Project Description: renovations, new decks, windows, enclose stairs
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Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 04/06/2005

Note: **Ok to Issue:**

1) Specific guard product with loads must be reviewed and approved prior to installation.

Final structural details for the roof deck framing must be reviewed and approved prior to commencement of framing.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 03/21/2005

Note: **Ok to Issue:**

1) Fire alarm system shall be tested in accordance to NFPA 72 and results forwarded to the Portland Fire Dept.

2) Exit signage shall be installed according to NFPA

3) Emergency lighting shall be installed according to NFPA

4) Fire alarm system shall be installed according with NFPA 72

Comments:

3/24/2005-mjn: Plans Lacked Structural Detail, Advised owner and Architect

Also:

1) A cross section of the Fire Separation Assembly (UL314 is not coming up on their web site) showing fire rating and STC.

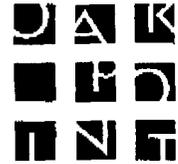
2) Complete structurals for all elements of construction.

3) Certification of the ability of the building to hold the additional loads imposed by the deck or a modification plan.

4) Guard rail spec w/ loading info.

Location of Construction: 13 Granite St	Owner Name: Granite Street Llc	Owner Address: Po Box 7626	Phone:
Business Name:	Contractor Name: Scott Lindsay & Associates	Contractor Address: 92 Exchange Street Portland	Phone (207) 773-8422
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

OAK POINT ■ ASSOCIATES



FAX TRANSMITTAL SHEET

To: MIKE HUGENT
INSPECTIONS

From: GUENN HARMON

Company: CITY OF PORTLAND

Date: 5 APR 05

Fax Number: 874-8716

Total # of Pages (incl. cover) 6

Phone Number:

RE: 13 GRANITE ST

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

Notes / Comments

HI MIKE
PER THE ENGINEER, THESE ARE THE CONNECTIONS
SPECIFIED - FASTENING TO BE PER MANUFACTURER'S
WRITTEN INSTRUCTIONS

LET ME KNOW IF YOU NEED ANYTHING ELSE

THANKS
GUENN

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CS/CMST Coiled Straps

>> Home > All Products - Alphabetical List

The new CS14 offers another option, with greater loads, in 1 1/4" width. CMSTC provides nail slots for easy installation and coined edges for safe handling; it can be cut to length. CS are continuous utility straps which can be cut to length on the job site.

Packaged in lightweight (about 40 pounds) cartons.

Finish: Galvanized. Some products available in ZMAX; see Corrosion-Resistance.

Installation:

- Use all specified fasteners. See General Notes.
- Wood shrinkage after strap installation across horizontal wood members may cause strap to buckle outward.
- Refer to the applicable code for minimum nail penetration and minimum wood edge and end distances.
- The table shows the maximum allowable loads and the nails required to obtain them. See footnote 2. Fewer nails may be used; reduce the allowable load by the code lateral load for each nail subtracted from each end.
- CMST only - Use every other triangle hole if the wood tends to split. Use round and triangle holes for comparable MST load providing wood does not tend to split.
- For lap splice information, See Technical Bulletin T-CMST.
- See nail replacement factors.

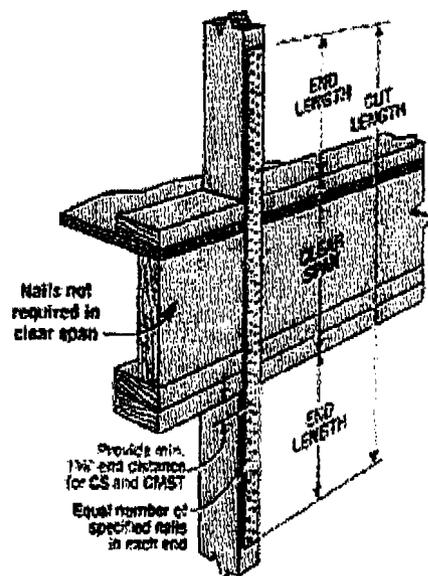
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Gauge stamped on part for easy identification

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Typical CS Installation as a Floor-to-Floor Tie (CMST requires minimum 2-2x studs)



CS16 Hole Pattern (all other CS straps similar)



CMST14 Hole Pattern (CMST12 similar)



CM Hole

Load Table:

Available with additional corrosion protection. Check with factory.

Model No.	Total L	Ga	DF/SP			SPF/HF			Allowable Tension Loads (133)
			End L	Clear Length	Fasteners	End L	Clear Length	Fasteners	
CMST12	40'	12	39"	Clear Span + 78"	86-16d	45"	Clear span + 90"	100-16d	9235
			45"	Clear Span + 90"	100-10d	51"	Clear span + 102"	114-10d	9235
			76"	Clear Span + 152"	86-16d	89"	Clear span + 178"	100-16d	9235
			89"	Clear Span + 178"	100-10d	101"	Clear span + 202"	114-10d	9235
CMST14	52 1/2'	14	30"	Clear Span + 60"	66-16d	35"	Clear span + 70"	76-16d	6490
			34"	Clear Span + 68"	76-10d	40"	Clear span + 80"	88-10d	6490
			59"	Clear Span + 118"	66-16d	68"	Clear span + 136"	76-16d	6490
			68"	Clear Span + 136"	76-10d	78"	Clear span + 156"	88-10d	6490
CMSTC16	54'	16	23"	Clear Span + 46"	56-16d sinkers	27"	Clear span + 54"	66-16d sinkers	4585
			45"	Clear Span + 90"	56-16d sinkers	52"	Clear span + 104"	66-16d sinkers	4585
CS14	100'	14	16"	Clear Span + 32"	30-10d	18"	Clear span + 36"	34-10d	2490
CS14-R	25'	14	16"	Clear Span + 32"	30-10d	18"	Clear span + 36"	34-10d	2490
CS16	150'	16	14"	Clear Span + 28"	26-8d	17"	Clear span + 34"	30-8d	1705
CS16-R	25'		12"	Clear Span + 24"	22-10d	15"	Clear span + 30"	26-10d	1705
CS18S	100'	18	12"	Clear Span + 24"	22-8d	15"	Clear span + 30"	26-8d	1370
CS18	200'		10"	Clear Span + 20"	18-10d	12"	Clear span + 24"	20-10d	1370
CS18-R	25'		10"	Clear Span + 20"	18-10d	12"	Clear span + 24"	20-10d	1370
CS20	250'	20	10"	Clear Span + 20"	18-8d	12"	Clear span + 24"	20-8d	1030
CS20-R	25'		8"	Clear Span + 16"	14-10d	10"	Clear span + 20"	16-10d	1030
CS22	300'	22	8"	Clear Span + 16"	14-8d	10"	Clear span + 20"	16-8d	845
CS22-R	25'		7"	Clear Span + 14"	12-10d	9"	Clear span + 18"	14-10d	845



1. Loads include a 33% or 60% load duration increase on the fasteners for seismic or wind loading, but DO NOT include a 33% stress increase on capacity. Refer to Steel Stress Increase for further explanation.
2. Use half of the nails in each member being connected to achieve the listed loads.
3. Calculate the connector value for a reduced number of nails as follows:

$$\text{Allowable Load} = \frac{\text{No. of Nails Used}}{\text{No. of Nails in Table}} \times T_a$$

Example: CMSTC16 in DF/SP with 48 nails total.
 (Half of the nails in each member being connected)

$$\text{Allowable Load} = \frac{48 \text{ Nails (Used)}}{56 \text{ Nails (Table)}} \times 4585 \text{ lb}$$

Code Reports (PDFs) See table above for specific product code references

Code Ref. 160: Submitted for listing

Please contact us for status and technical information.

ICC NER Reports (formerly NES Reports) about the ICC

Code Ref. 3: NER413 (907k)

A34/A35, A35F, DS, FC, HH, J/JP, L-30, L-50, L70 and L-90, NCA, NBA, SA and HSA, ST, FHA, MST, MSTJ, CMST and TB, TC, VB and VBP, THMA, LTS/MTS, CS16, 18, 20, 22, WB, HGUS26-2, HGUS28-2, HGUS210-2, HGUS46, HGUS4 HGUS410

Code Ref. 9: NER499 (330k)

ABE, U, H10, HRC, HCP, HFA, LUS, CS16, CS18, CS20, CS22, LSTI, CPAI, PBM, P8V10, HS24, MSTC26, MSTC40, MSTC52, MSTC66, MSTC78

ICC ER Reports (formerly ICBO Reports) about the ICC

Code Ref. 39: ER5672 (773k)

A34/A35/A35F, DS, FC, HH, J, JP44, L-30/L-50/L-70/L-90, NCA, NBA, SA, HSA, ST, FHA, MST, MSTI, CMST, HST, TB VBP, THMA, THMA-2, LTS, MTS, CS16/CS18/CS20/CS22, WB, HGUS,

Available with additional corrosion protection. Check with factory.

Model No.	Ga	Fasteners			Uplift Avg UH	DF/SP Allowable Loads				Uplift Load with 8dx1 1/2" Nails (133 & 160)	SPF/HF Allowable Loads			
		To Rafters/Truss	To Plates	To Studs		Uplift		Lateral (133/160)			Uplift		Lateral (133/160)	
						(133)	(160)	F ₁	F ₂		(133)	(160)	F ₁	F ₂
H1	18	6-8dx1 1/2	4-8d	—	1958	490	585	485	165	455	400	400	415	140
H2	18	5-8d	—	5-8d	1040	335	335	—	—	335	230	230	—	—
H2.5	18	5-8d	5-8d	—	1300	415	415	150	150	415	365	365	130	130
H2.5A	18	5-8d	5-8d	—	1793	600	600	110	110	480	520	535	110	110
H3	18	4-8d	4-8d	—	1433	455	455	125	160	415	320	320	105	140
H4	20	4-8d	4-8d	—	1144	360	360	165	160	360	295	295	140	130
H5	18	4-8d	4-8d	—	1485	455	485	115	200	455	265	265	100	170
H5A	18	3-8d	3-8d	—	1500	350	420	115	180	290	245	245	100	120
H6	16	—	8-8d	8-8d	3983	915	950	650	—	—	785	820	560	—
H7Z	16	4-8d	2-8d	8-8d	2091	930	985	400	—	—	800	845	345	—
H8	18	5-10dx1 1/2	5-10dx1 1/2	—	2422	620	745	—	—	—	530	565	—	—
H9KT	18	4-SDS 3/4 x 1 1/2	5-SDS 3/4 x 1 1/2	—	2812	875	875	680	125	—	755	755	680	120
H10	18	8-8dx1 1/2	8-8dx1 1/2	—	3135	905	990	585	525	—	780	850	505	450
H10R	18	8-8dx1 1/2	8-8dx1 1/2	—	3135	905	990	585	525	—	780	850	505	450
H10-2	18	6-10d	6-10d	—	2447	760	760	455	395	—	655	655	390	340
H11Z	18	6-16dx2 1/2	6-16dx2 1/2	—	5097	830	830	525	780	—	715	715	450	650
H14	18	1 12-8dx1 1/2	13-8d	—	4197	1350	1350	515	265	—	1050	1050	480	240
		2 12-8dx1 1/2	15-8d	—	4380	1350	1350	515	265	—	1050	1050	480	240

1. Loads have been increased 33% and 60% for earthquake or wind loading with no further increase allowed; reduce where other loads govern.
2. Allowable loads are for one anchor. A minimum rafter thickness of 2 1/2" must be used when framing anchors are installed on each side of the plate.
3. Allowable uplift load for stud to bottom plate installation is 400 lbs (H2.5); 390 lbs (H2.5A); 360 lbs (H4) and 310 lbs (H8).
4. When cross-grain bending or cross-grain tension cannot be avoided, mechanical reinforcement to resist such forces should be considered.
5. Hurricane Ties are shown installed on the outside of the wall for clarity. Installation on the inside of the wall is acceptable. For a Continuous Load must be on same side of the wall.
6. Southern Pine allowable loads for H14: 1465 lbs (133/160), 580 lbs (F1 Lateral 133/160) and 285 lbs (F2 Lateral 133/160).

The H16-2 series has a presloped seat of 5/12, for double trusses.

The H connector series provides wind and seismic ties for trusses and rafters.

The presloped 5/12 seat of the H16 provides for a tight fit and reduced deflection. The strap length provides for various truss height maximum of 13 1/2" (H16 series). Minimum heel height for H16 series is 4".

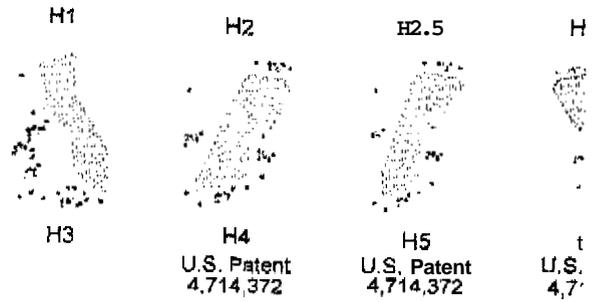
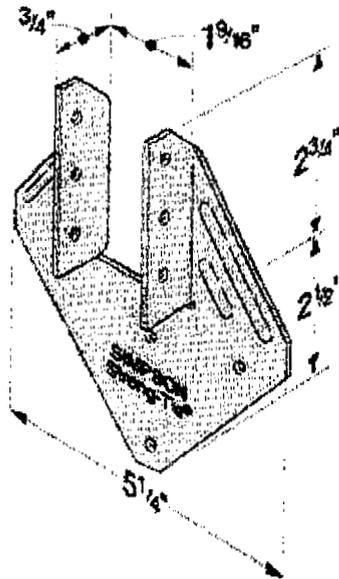
The HGA10 attaches to gable trusses and provides good lateral wind resistance. The HS24 attaches the bottom chord of a truss or pitches from 0:12 to 4:12 to double 2x4 top plates. Double shear nailing allows for higher lateral resistance.

Material: See table.

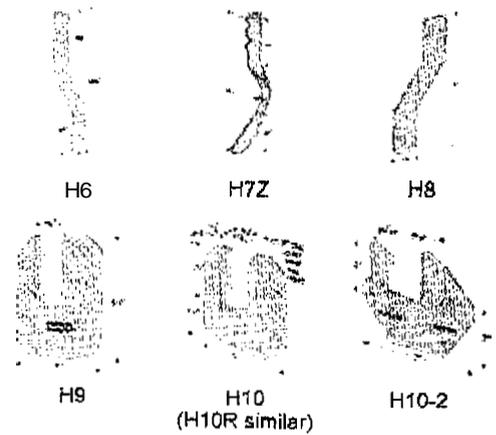
Finish: Galvanized. See Corrosion Resistance.

Installation:

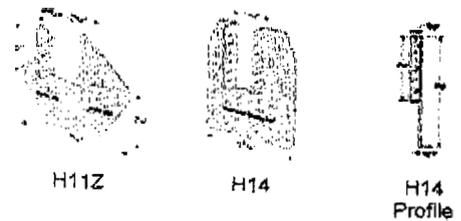
- Use all specified fasteners. See General Notes.
- The HGA10KT: screws are provided.
- HS24 requires slant nailing only when bottom chord of truss or rafter has no slope.
- Hurricane Ties do not replace solid blocking.

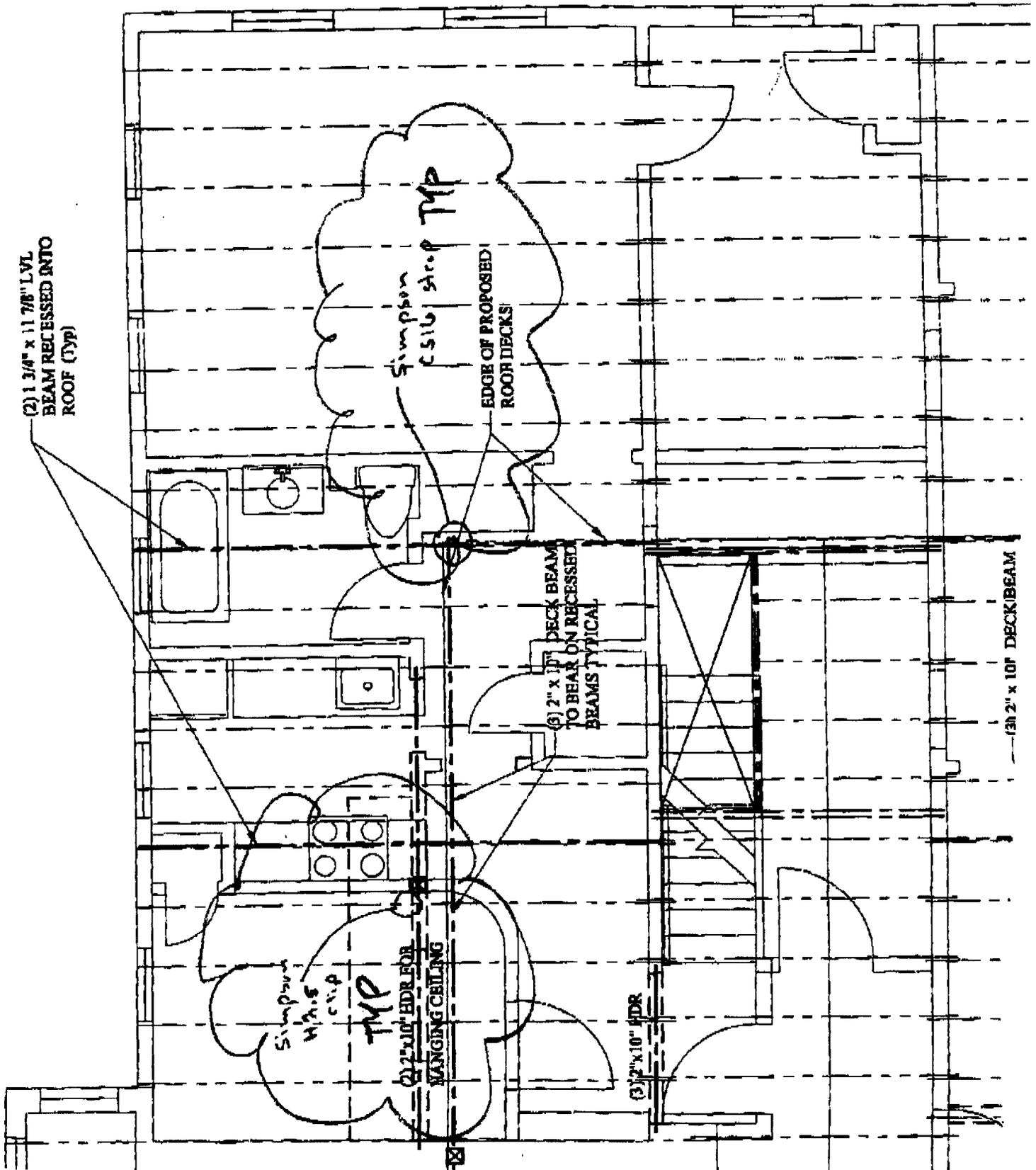


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All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>13-25 Granite Street</u>		
Total Square Footage of Proposed Structure <u>13,000 sq. ft. existing</u>	Square Footage of Lot <u>12,732 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>51</u> Block# <u>E</u> Lot# <u>21</u> <u>Book 21692 Page 141</u>	Owner: <u>Granite Street L.L.C</u> Telephone: <u>773-8-122</u>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Scott A. Lindsay</u> <u>92 Exchange Street</u> <u>P.O. Box 7626</u> <u>Portland, ME 04112</u>	Cost Of Work: <u>\$ 80,000.00</u>
Current use: <u>12 unit Apartments</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>12 unit Apartment</u>	Project description: <u>see attached</u>	
Contractor's name, address & telephone:	<u>Scott A. Lindsay + Associates.</u> <u>P.O. Box 7626, Portland, ME 04112</u>	
Who should we contact when the permit is ready:	<u>Scott A. Lindsay</u>	
Mailing address:	<u>92 Exchange Street</u> <u>P.O. Box 7626 Portland, ME 04112</u>	
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: off. 773-8-122 cell 329-7281</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>3/6/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

13-25 Granite Street Renovation

Description of Work

The project consists of life safety upgrades, cosmetics, remedial maintenance and new roof decks. The existing building is a 3 storey wood framed 12 unit structure with shingle siding and membrane roofing. As part of the life safety improvements the existing stairs will be enclosed and rated to afford separate exiting. Additionally, the windows and siding will be replaced, and 4 roof decks built for the top floor units. Miscellaneous site improvements (landscaping and patios) are also planned.

FROM DESIGNER: Oak Point Associates
 DATE: 8 March 05
 Job Name: 1325 Granite Street Renovation
 Address of Construction: u

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IRC Use Group Classification(s) R-2
 Type of Construction IB
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No if yes, separated or non separated (see Section 302.3)
 Supervisory alarm system? No Geotechnical/Soils report required? (See Section 1802.2) N/A

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members (102.1, 102.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Floor Area Use	Loads Shown
<u>Living</u>	<u>100</u>
<u>Unps</u>	<u>40</u>
<u>Stairs</u>	<u>100</u>

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.5)
 Basic wind speed (1609.5)
 Building category and wind importance factor, I_w (Table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.5.2)
 Main force wind pressures (1609.1.1, 1609.5.2.1)

Earthquake design data (1603.1.5, 1614 - 1623)

N/A Design option utilized (1614.1)
 Seismic use group (Category) (Table 1604.5, 1616.2)
 Spectral response coefficients, S_p &

Live load reduction (1608.1.1, 1607.8, 1607.10)
 Roof live loads (1608.1.2, 1607.11)
 Roof snow loads (1603.1.3, 1608)
N/A Ground snow load, P_g (1608.2)
 If $P_g > 10$ psf, flat-roof snow load, P_f (1608.8)
 If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
 If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
 Roof thermal factor, C_t (Table 1608.3.2)
 Sloped roof snowload, P_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic-force-resisting system (Table 1617.6.2)
 Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.6, 1612)

N/A Flood hazard area (1612.3)
 Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
 Partition loads (1607.5)
 Impact loads (1607.8)
 Misc. loads (Table 1607.6, 1607.8.1, 1607.7, 1607.12, 1607.15, 1610, 1607.16)



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Oak Point Associates

RE: Certificate of Design

DATE: 8 March 05

These plans and / or specifications covering construction work on:

13-25 Granite Street Renovation

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: Glenn Jaffee, Jr.

Title: Architect

Firm: Oak Point Associates

Address: Biddeford

**ENGINEERING DESIGN PROFESSIONALS**

Consulting Engineers

P.O. BOX 575, FREEPORT, MAINE 04032 • (207) 865-9505

Date: March 8, 2005

Mr. Scott Lindsay
Lindsay Associates
92 Exchange Street
Portland, Maine 04101

RE: 13-25 Granite Street
Portland, Maine
EDP Project No. 00505

Dear Mr. Lindsay:

As you requested, I have reviewed the architectural drawings you provided and visited the above referenced site. The purpose of this visit was to determine the existing structural framing layout and any additional information needed for providing framing plans and details for supporting the proposed exterior roof decks as well as any proposed openings in the existing bearing walls.

With the exception of the first floor framing, all existing framing is hidden by the interior and exterior finishes. To gather the required framing information to support the proposed roof decks, you will need to remove the top floor ceiling finishes at the four locations I indicated during our site visit. When this is done, I will visit the site to inspect the exposed existing roof framing system and prepare the proper structural drawings. All proposed framing will meet or exceed the loading requirements of the IBC as required by the City of Portland.

Thank you for this opportunity to be of assistance. Please do not hesitate to call if you have any questions concerning this letter.

Sincerely,

Larry A. Wichroski

