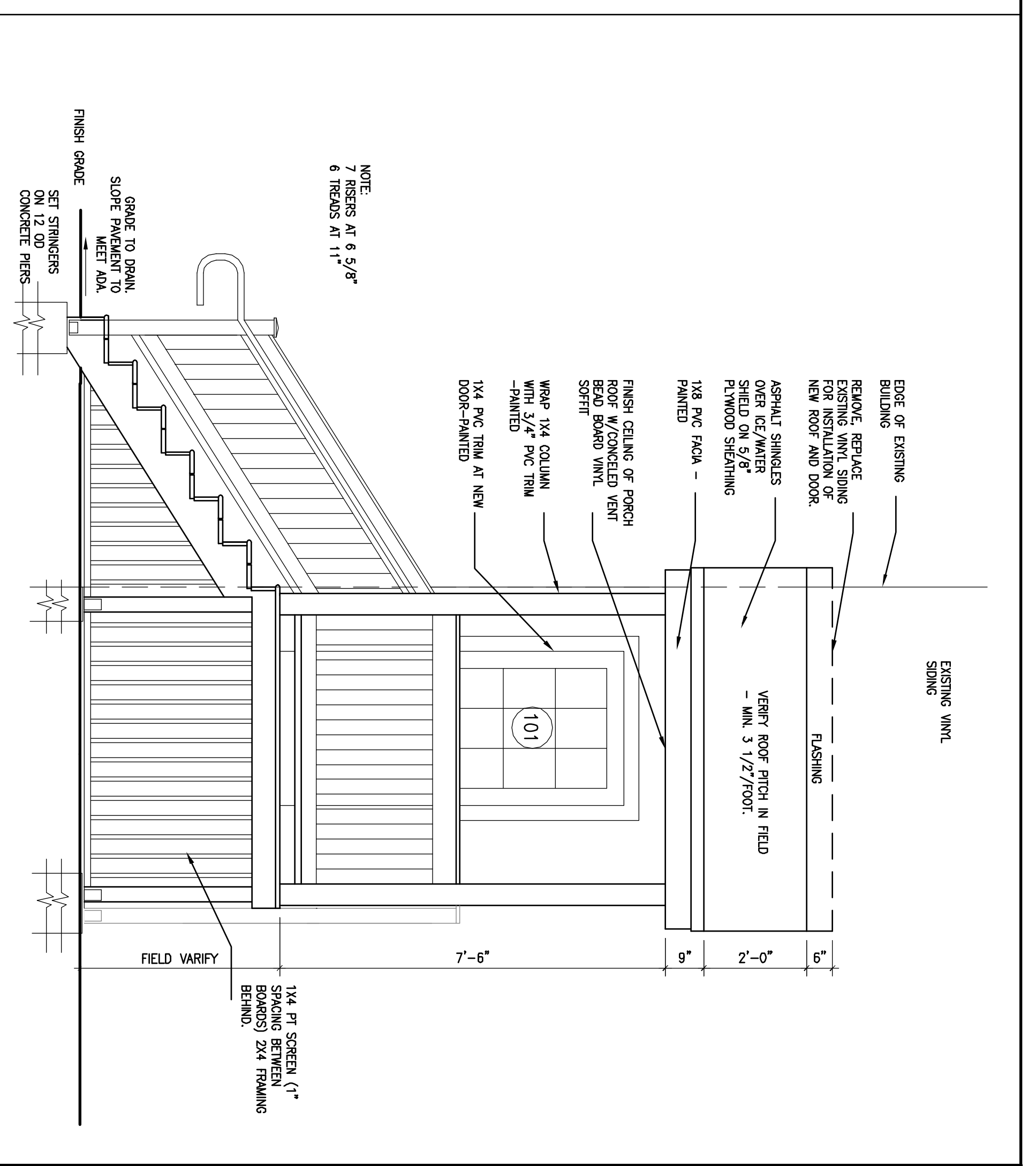
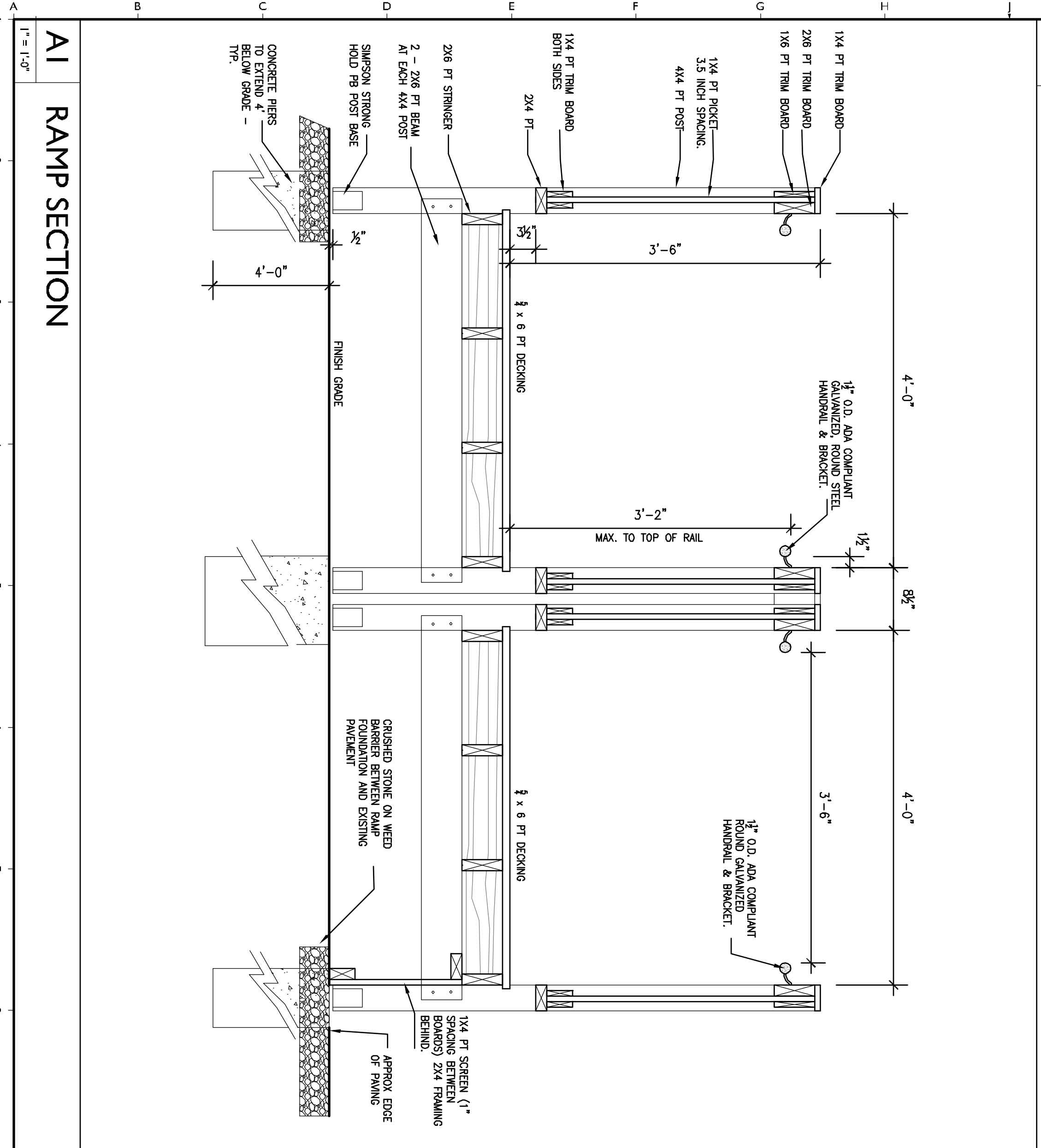


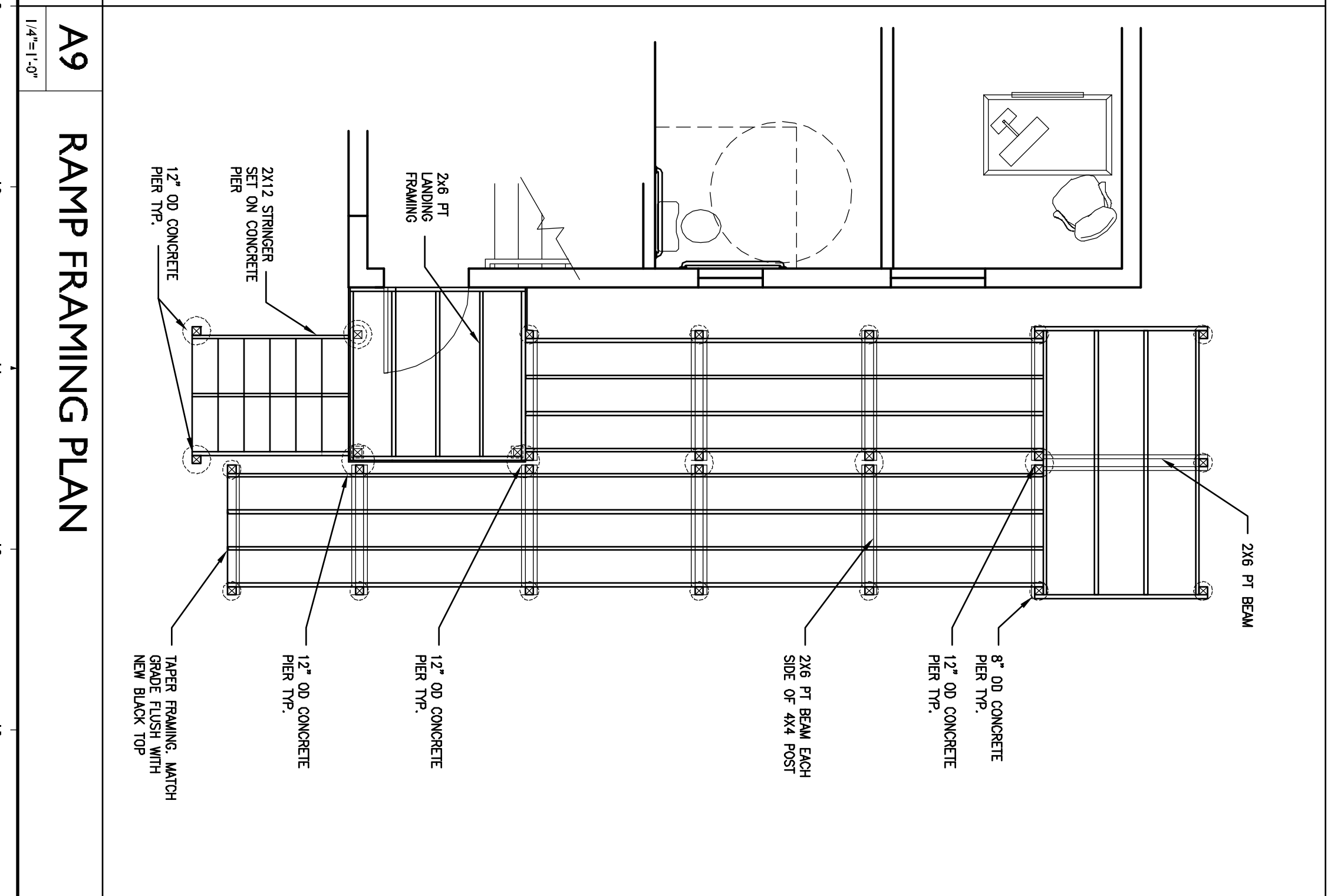
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1/2" = 1'-0"



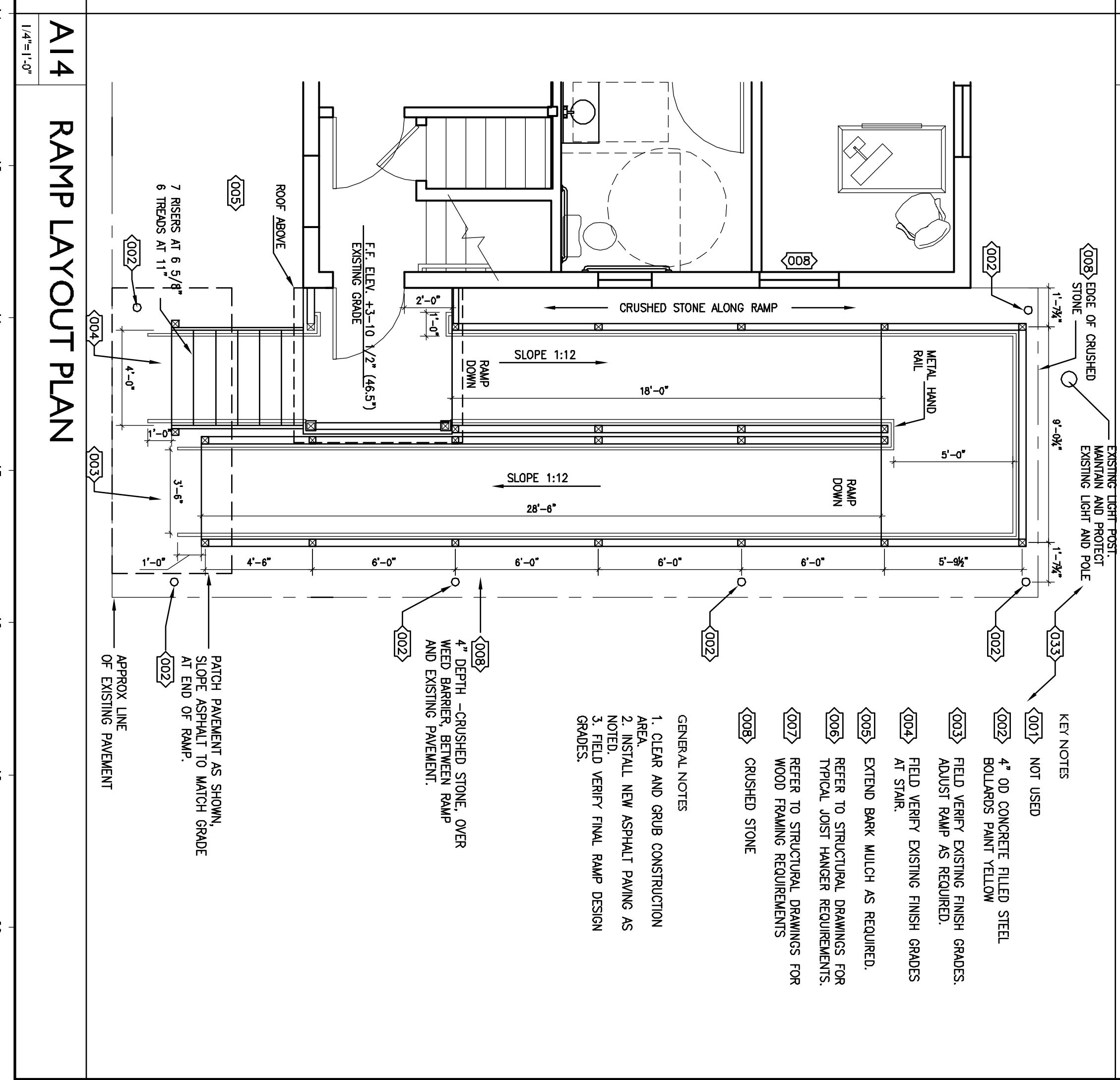
J14 STAIR AND COVERED ENTRANCE ELEVATION
1/2" = 1'-0"



A1 RAMP SECTION
1/4" = 1'-0"

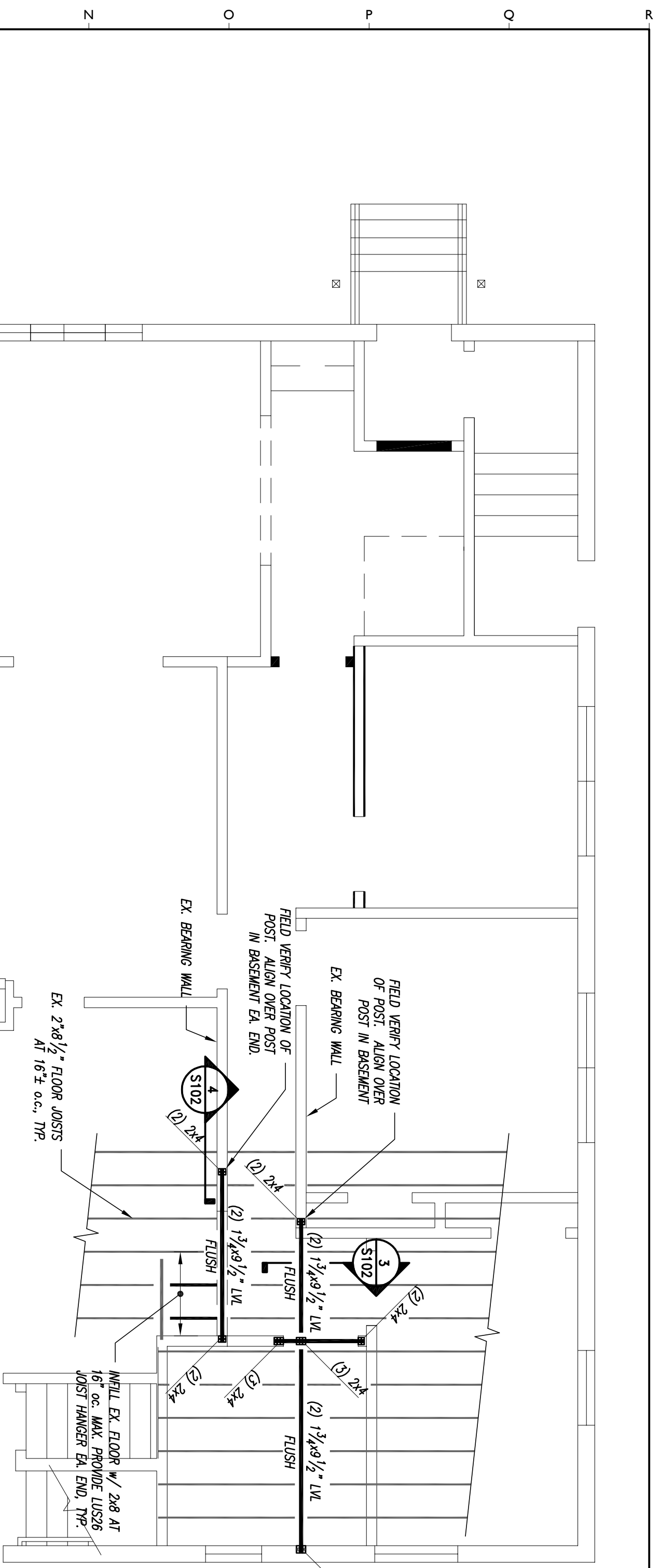


A9 RAMP FRAMING PLAN
1/4" = 1'-0"

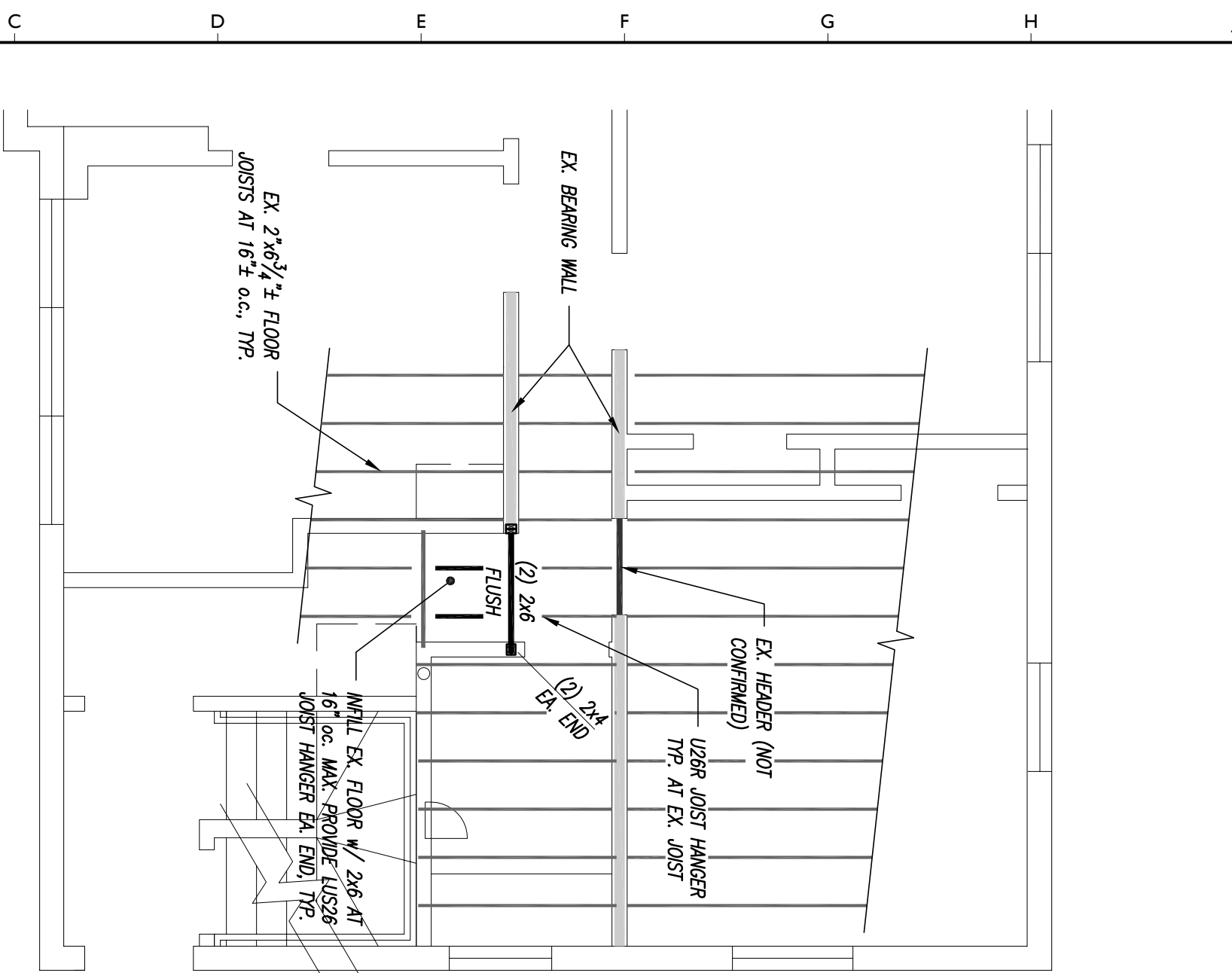


A14 RAMP LAYOUT PLAN
1/4" = 1'-0"

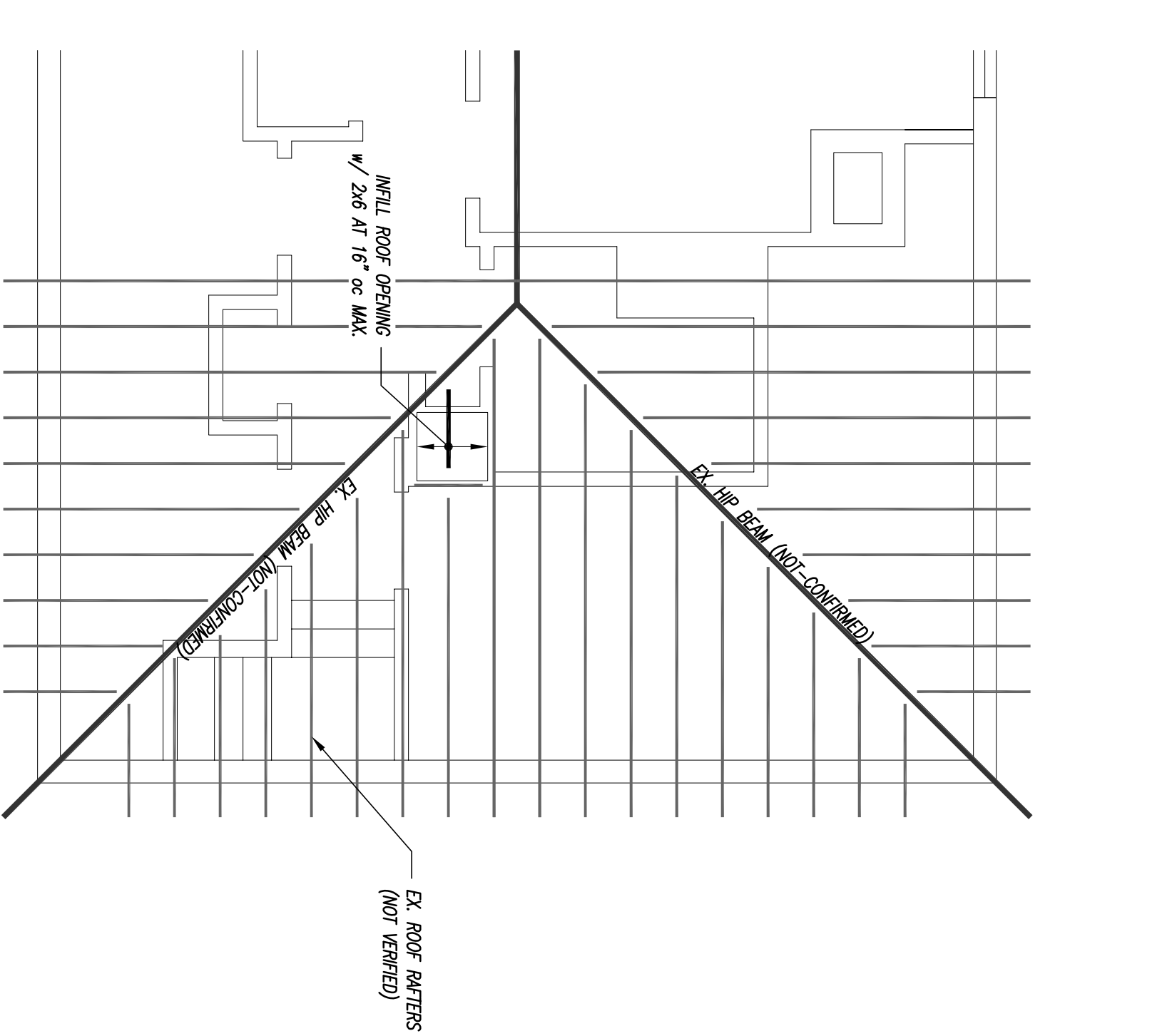
	<p>Gawron Turgeon ARCHITECTS 29 Black Point Road Scarborough, Maine 04074 www.gawronturgeon.com 207.552.5252</p>		<p>UNIVERSITY OF SOUTHERN MAINE 55 EXETER STREET PORTLAND, MAINE</p>									
<p>LI101</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>4.11.12</td> <td>ISSUE FOR PERMIT CONSTRUCTION</td> </tr> <tr> <td>4</td> <td>4.11.12</td> <td>ISSUE FOR CONSTRUCTION</td> </tr> </tbody> </table>	#	DATE	DESCRIPTION	1	4.11.12	ISSUE FOR PERMIT CONSTRUCTION	4	4.11.12	ISSUE FOR CONSTRUCTION		
#	DATE	DESCRIPTION										
1	4.11.12	ISSUE FOR PERMIT CONSTRUCTION										
4	4.11.12	ISSUE FOR CONSTRUCTION										
	<p>SHEET TITLE</p> <p>ADA RAMP PLAN AND DETAILS</p>											
	<p>DATE: 4.11.12 PROJECT #: 020412 DRAWN BY: RS CHECKED BY: KJV DRAWING SCALE: VARIOUS</p>											



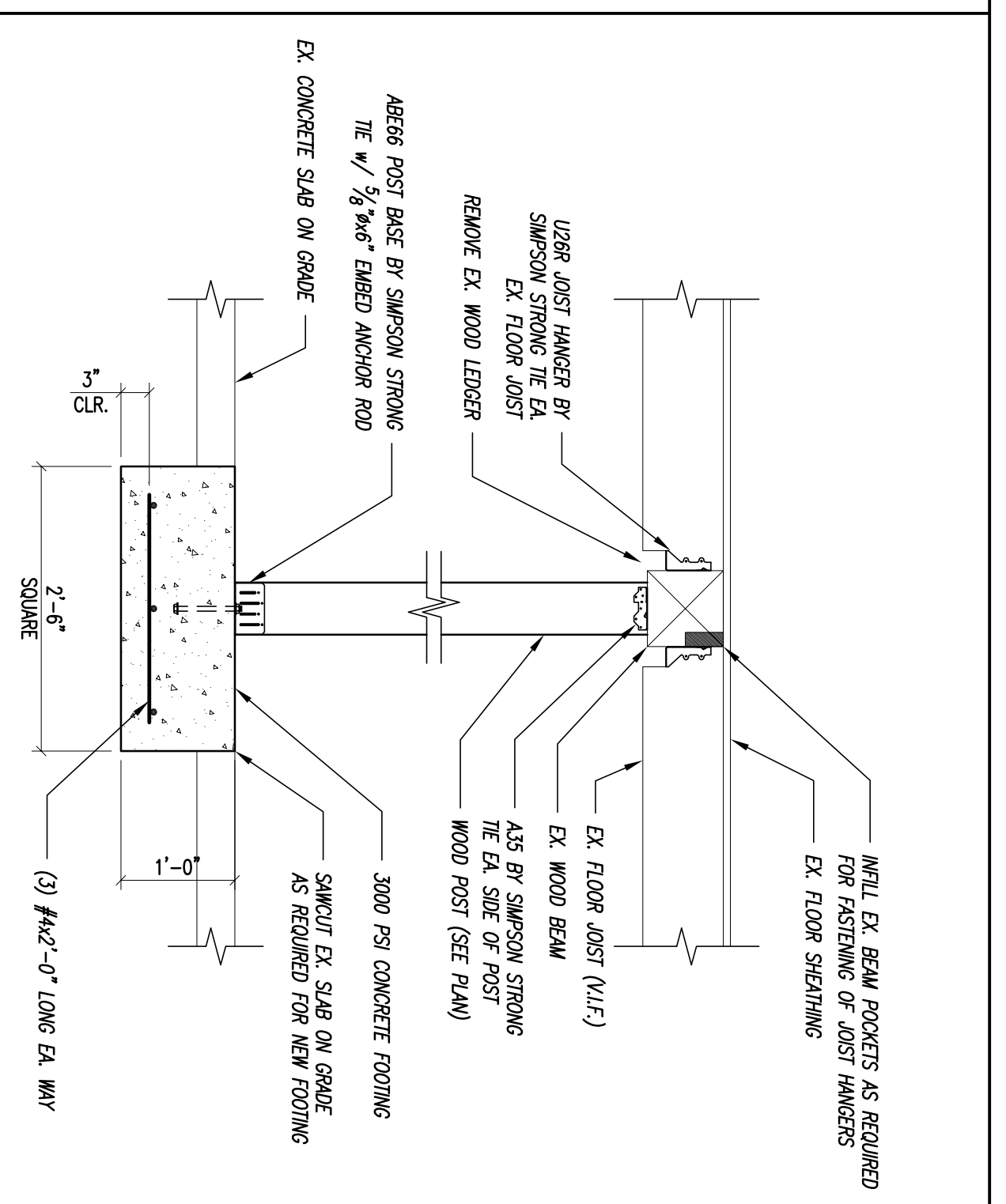
PARTIAL SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



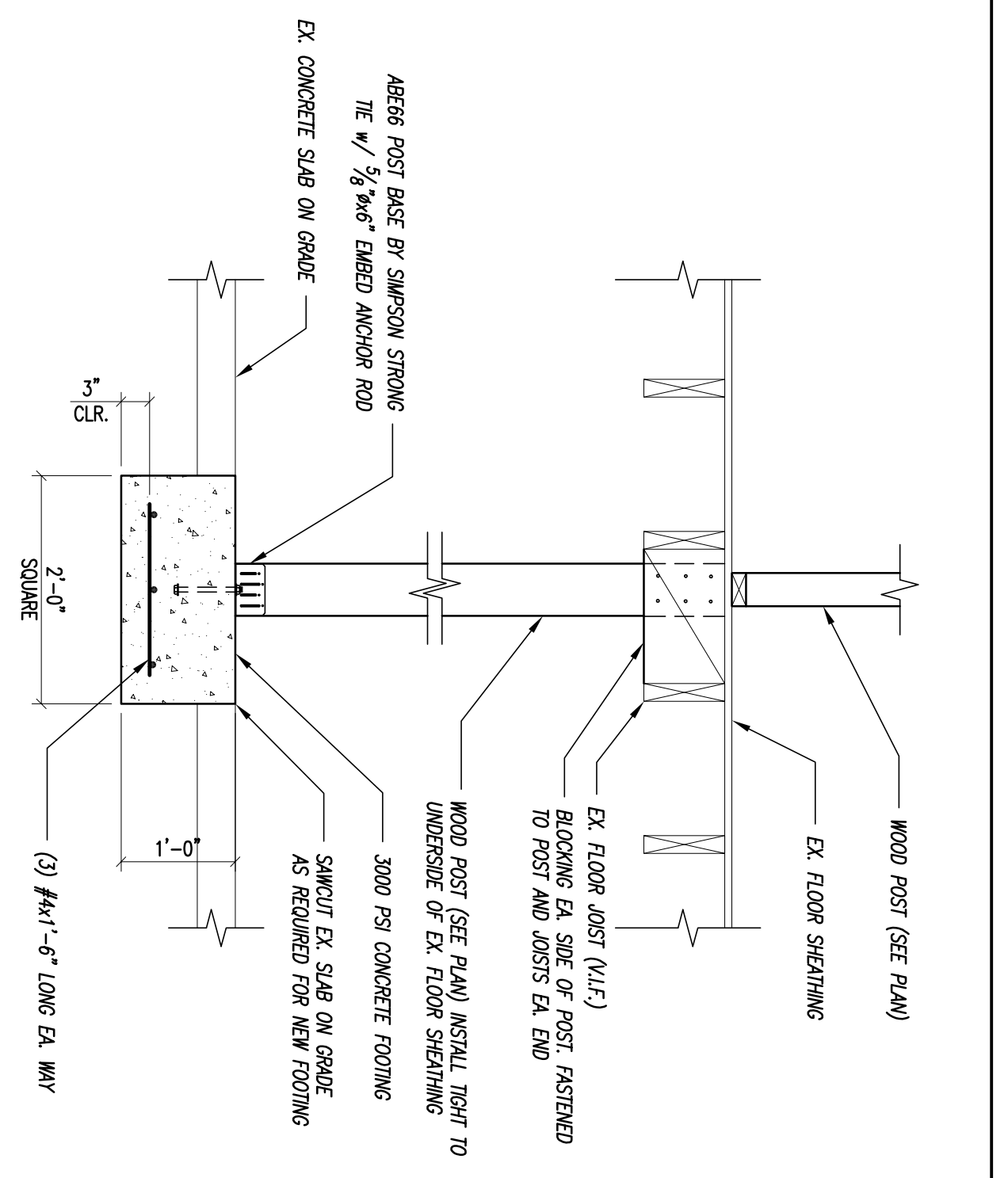
PARTIAL THIRD FLOOR FRAMING PLAN
1/4" = 1'-0"



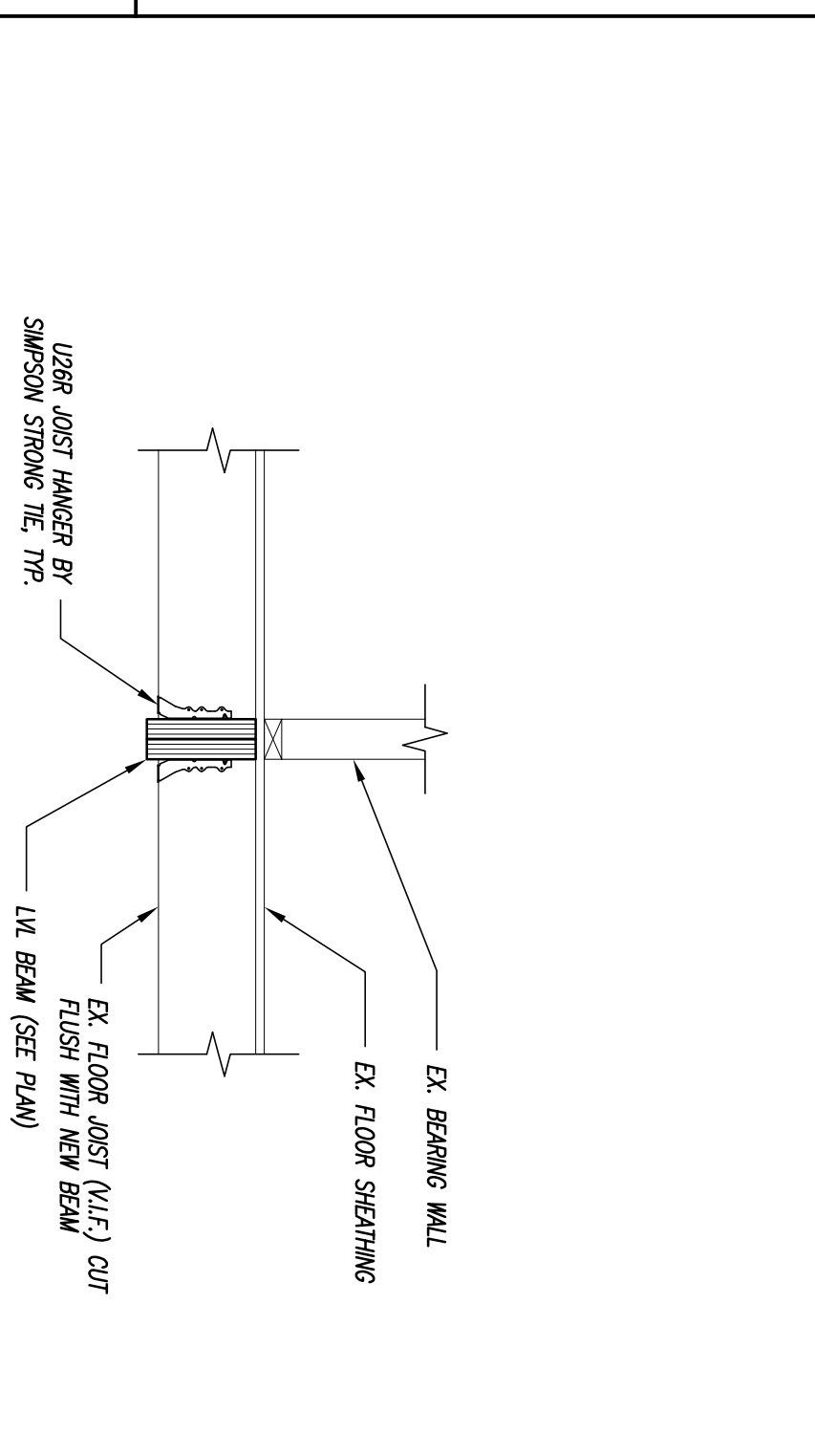
PARTIAL ROOF FRAMING PLAN
1/4" = 1'-0"



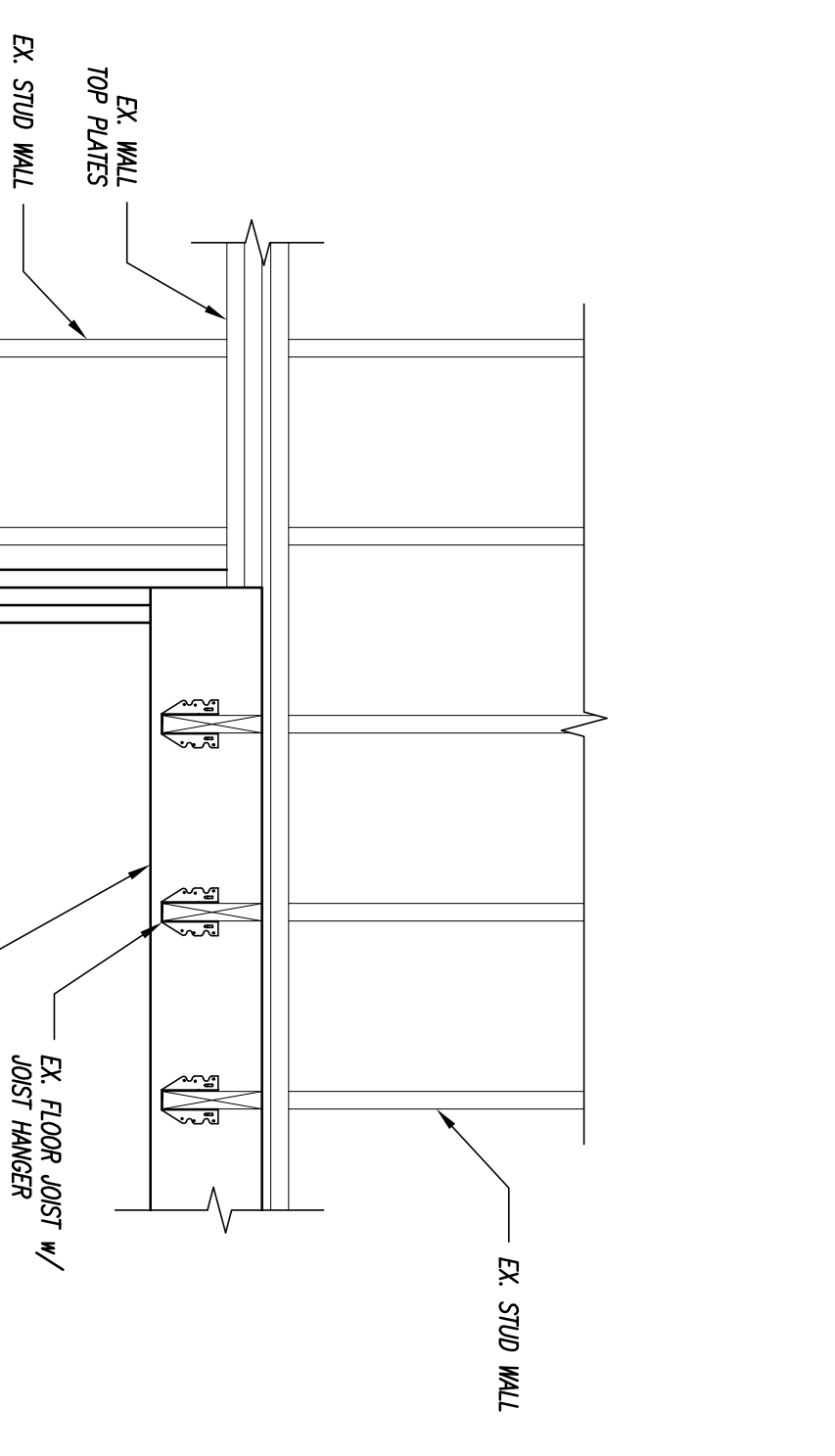
1 SECTION
3/4" = 1'-0"



2 SECTION
3/4" = 1'-0"



3 SECTION
3/4" = 1'-0"



4 SECTION
3/4" = 1'-0"



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PORTLAND, MAINE

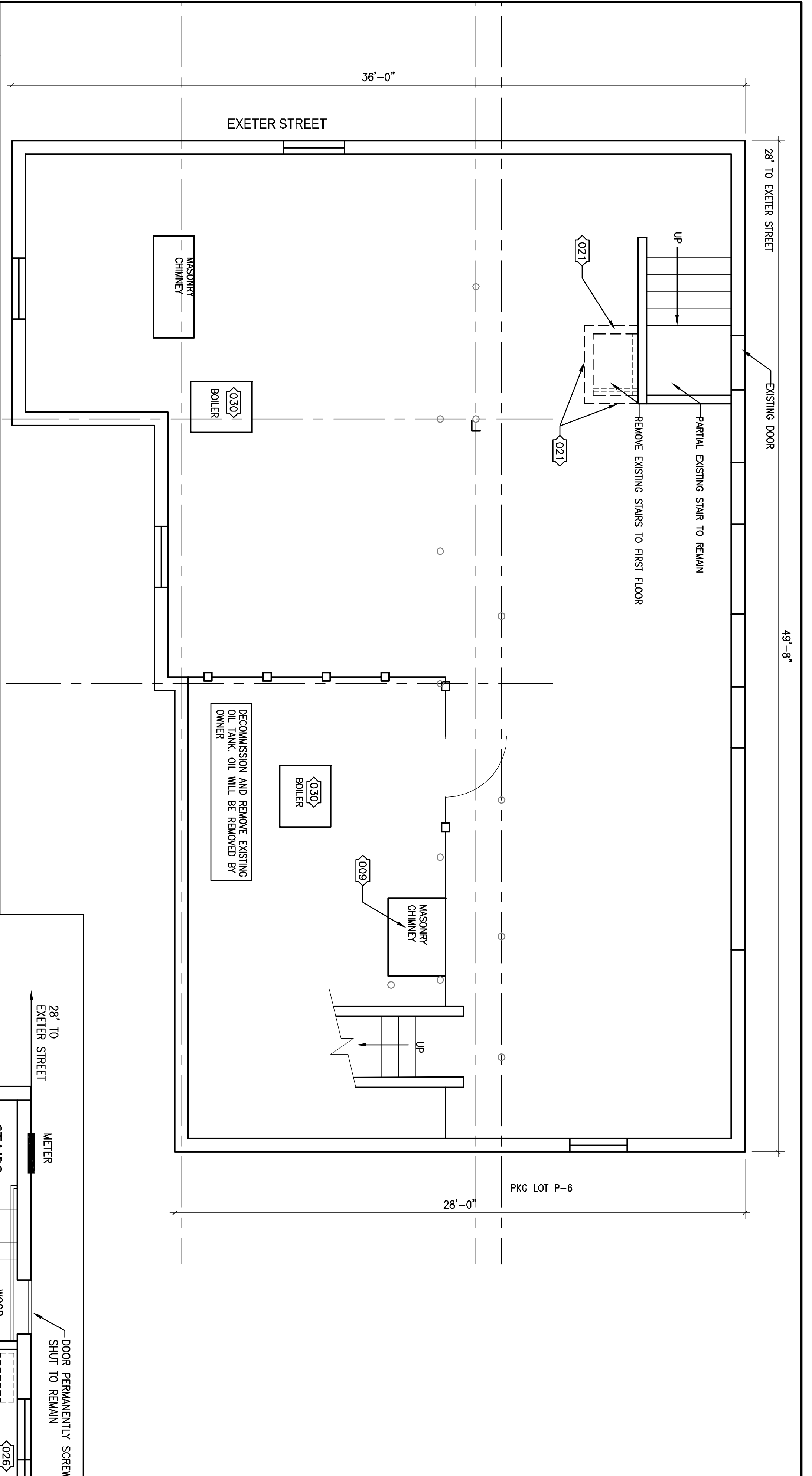
REVISIONS	
#	DATE DESCRIPTION

DATE	04/11/2012
PROJECT #	12024
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	AS NOTED

SHEET TITLE
PARTIAL SECOND FLOOR FRAMING SECTIONS AND DETAILS

S102

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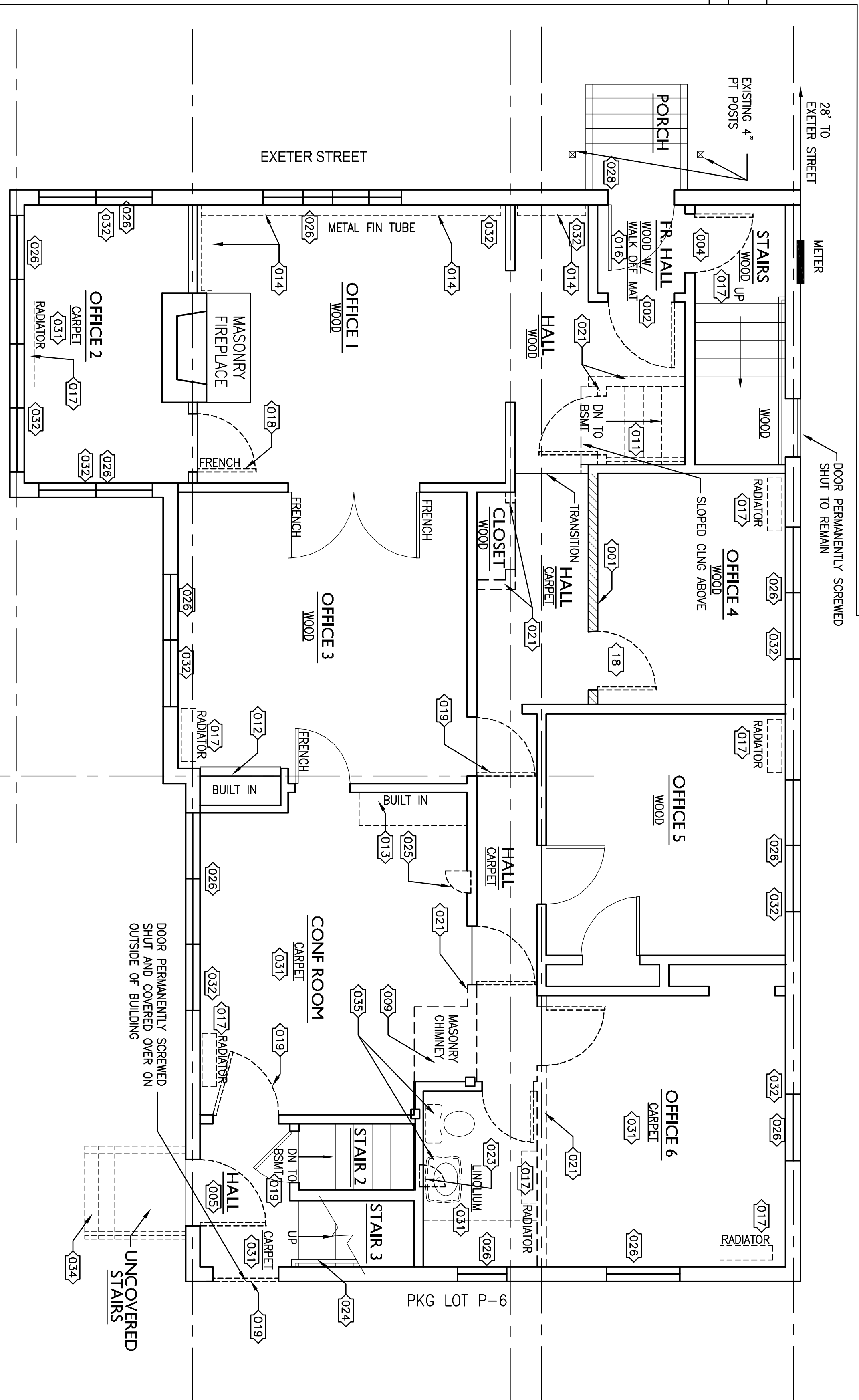
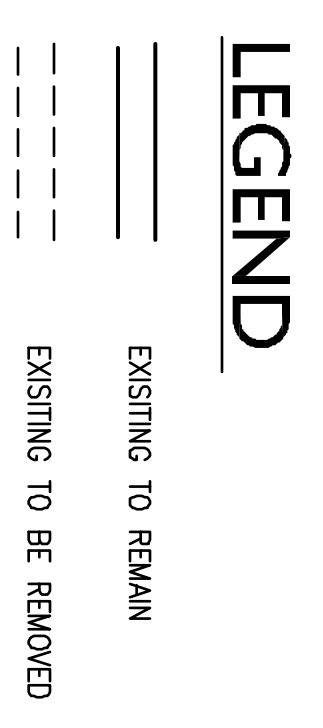


H1 EXISTING/DEMOLITION BASEMENT FLOOR PLAN

1/4"=1'-0"
 REMOVE WOOD PANELING AND REPLACE WITH GWB. PATCH AND PAINT SEAMS BETWEEN EXISTING AND NEW WALL. HATCH INDICATES WOOD PANELING EXTENT

002 REMOVE EXISTING DOOR AND TRIM. INFILL SPACE WITH 2X4 STUDS AND 5/8" TYPE "X" GWB. PATCH AND PAINT TO MATCH EXISTING.
 003 INFILL FIREPLACE WITH PAINTED PLYWOOD PANEL
 004 REMOVE EXISTING DOOR TO ALLOW FOR STRAIGHT PASSAGE TO EXIT
 005 REMOVE EXISTING DOOR, PATCH AND PAINT WALL TO MATCH EXISTING. INSULATE CAVITY ADD WALL SHEATHING, AIR INFILTRATION BARRIER, AND VINYL SIDING TO EXTERIOR
 006 NEW BOILER ROOM. SMOKE TIGHT WALLS AND CEILING.
 007 NEW WALL. 2X4 WOOD STUDS AT 16" O.C. WITH 5/8" GWB BOTH SIDES. CONNECT TO EXISTING WALLS. SOUND ATTENUATION BATT INSULATION IN NEW WALLS.
 008 NEW BASE AND UPPER CABINET MILLWORK. SEE ELEVATION N8/A101
 009 REMOVE EXISTING CHIMNEY TO BASEMENT LEVEL. PATCH FLOOR JOISTS AND FLOOR SHEATHING ON ALL FLOORS. PATCH ROOF, ROOF SHEATHING AND PATCH ASPHALT ROOF SHINGLES. ICE AND WATER SHIELD OVER ENTIRE PATCH ON ROOF PRIOR TO NEW SHINGLES. ASPHALT SHINGLES TO MATCH EXISTING.
 010 EXISTING STAIR FINISH TO REMAIN
 011 REMOVE DOOR AND STAIRS TO BASEMENT. PATCH FLOOR JOISTS AND FLOOR WITH PLYWOOD. PREP FOR CARPET. REPAIR AND PATCH WALLS AND CEILING TO MATCH EXISTING.
 012 REMOVE EXISTING DRAWERS AND FRONT PANEL ON LOWER HALF OF EXISTING MILLWORK
 013 REMOVE EXISTING MILLWORK. PATCH AND PAINT WALLS AND CEILING. ADD ONTO EXISTING ACOUSTICAL CEILING TILE GRID AND ADD NEW ACOUSTICAL CEILING TILES TO MATCH EXISTING.
 014 REMOVE EXISTING METAL FIN TUBE HEAT AND TRIM BOARDS. PATCH AND PAINT WALL TO RECEIVE NEW FIN TUBE RADIANT HEAT.
 015 4" ON CONCRETE FILLED STEEL BOLLS RADIANT HEAT. FIELD LOCATION TO PROTECT THE BOILER DIRECT VENT
 016 CLEAN AND REUSE WALK OFF MAT.
 017 REMOVE RADIATOR. PATCH WALLS AND FLOOR AROUND AREA TO RECEIVE NEW FINISHERS. SOME WALLS BEHIND RADIATORS HAVE MAJOR DAMAGE.

018 REMOVE EXISTING DOOR AND LEAVE FRAME
 019 REMOVE EXISTING DOOR AND FRAME. INSTALL NEW DOOR AND FRAME AS SHOWN ON PLANS.
 020 REMOVE DOOR AND FRAME. INFILL WALL. PATCH AND PAINT TO MATCH EXISTING.
 021 REMOVE WALL AND ANY DOORS AND FRAMES. SEE STRUCT DWGS FOR SHORING. PATCH AND PAINT WALLS, FLOORS AND CEILING.
 022 INSTALL CARPET OVER EXISTING WOOD STAIRS - REFER TO FINISH SCHEDULE
 023 EXISTING MEDICINE CABINETS TO BE REMOVED. PATCH EXISTING WALL
 024 EXISTING HANDRAIL TO REMAIN
 025 REMOVE EXISTING BUILT IN CABINET. PATCH AND PAINT WALL
 026 EXISTING WOOD WINDOWS WILL BE REPLACED BY A CONTRACTOR HIRED DIRECTLY BY THE OWNER OUTSIDE OF THIS CONTRACT. EXISTING WOOD WINDOW STOPS WILL BE REUSED WHENEVER POSSIBLE. PREP & PAINT ALL WOOD WINDOW STOPS, WOOD SILLS & WOOD TRIM AFTER INSTALLATION OF NEW WINDOWS. COORDINATE WORK WITH WINDOW REPLACEMENT CONTRACTOR. PROVIDE NEW LEVEL/OVER RIVERA 1" METAL MINI BLINDS (WHITE) AT EVERY WINDOW.
 027 EXISTING DOOR COVERED OVER TO REMAIN
 028 NOT REQUIRED
 029 NEW BOILER VENTS-DIRECT VENT. SEE MECH DWGS
 030 EXISTING BOILER TO BE DECOMMISSIONED AND REMOVED
 031 REMOVE EXISTING CARPET AND CARPET TACK STRIPS AND LINOLUM. PREP FLOOR TO RECEIVE NEW FINISH.
 032 REMOVE EXISTING BASEBOARD. ADD NEW FIN TUBE HEAT (SEE MEP DWGS) WITH PAINTED, 4" FLAT STOCK TRIM BOARD BELOW. SEE MECH. DRAWINGS
 033 REMOVE EXISTING TREES AND LEVEL GROUND
 034 REMOVE EXISTING CONCRETE STAIRWAY.
 035 REMOVE EXISTING PLUMBING FIXTURES AS REQUIRED FOR NEW CONSTRUCTION.
 036 NOT USED
 037 REMOVE VINYL SIDING AS REQUIRED FOR NEW ROOF CONSTRUCTION



A1 KEY NOTES

A9 EXISTING/DEMOLITION FIRST FLOOR PLAN

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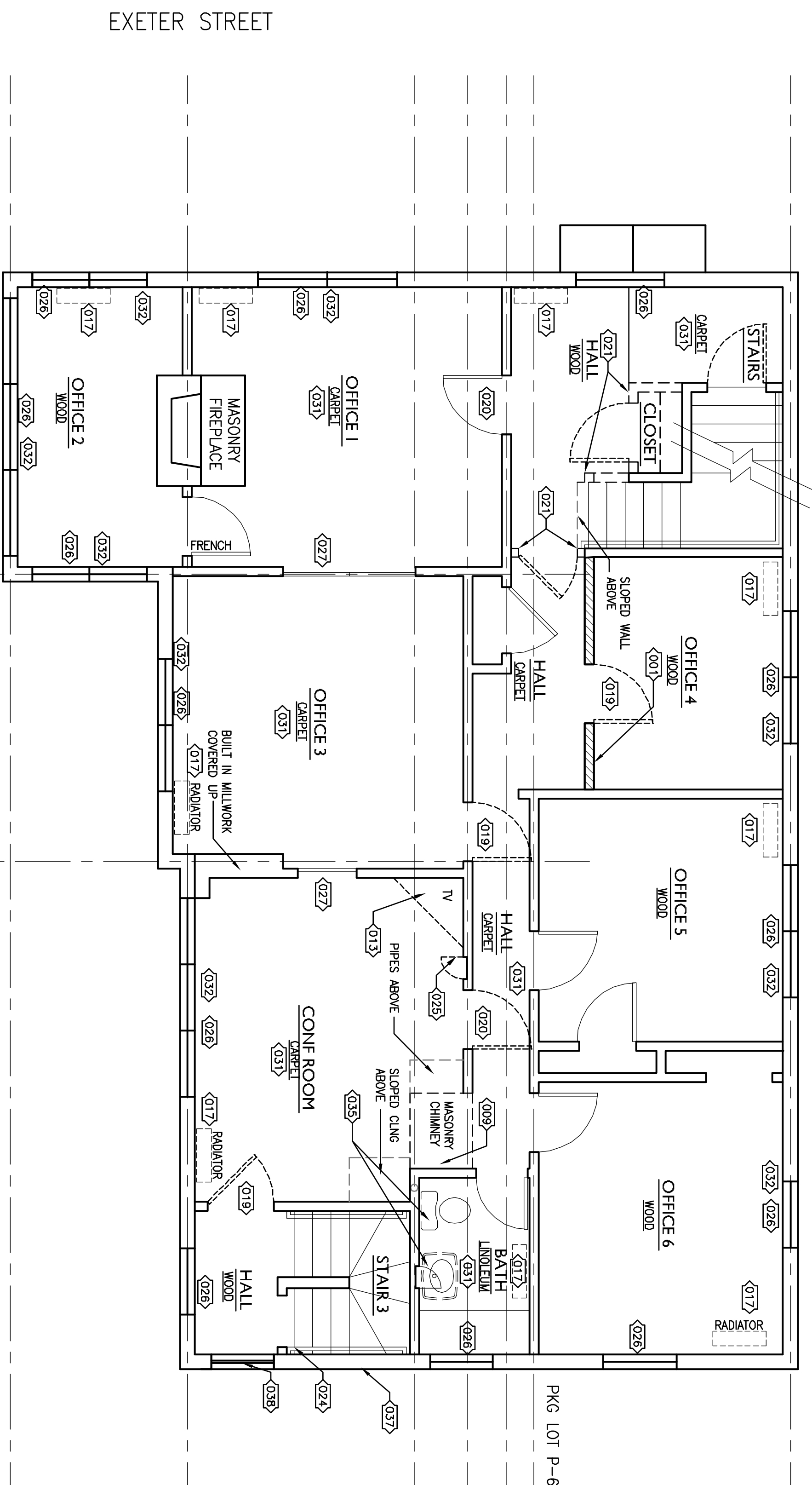
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1	4.11.12	CONSTRUCTION

DATE:	4.11.12
PROJECT #:	020412
DRAWN BY:	KW
CHECKED BY:	KW
DRAWING SCALE:	1/4"=1'-0"

SHEET TITLE
 DEMOLITION BASEMENT AND FIRST FLOOR PLAN

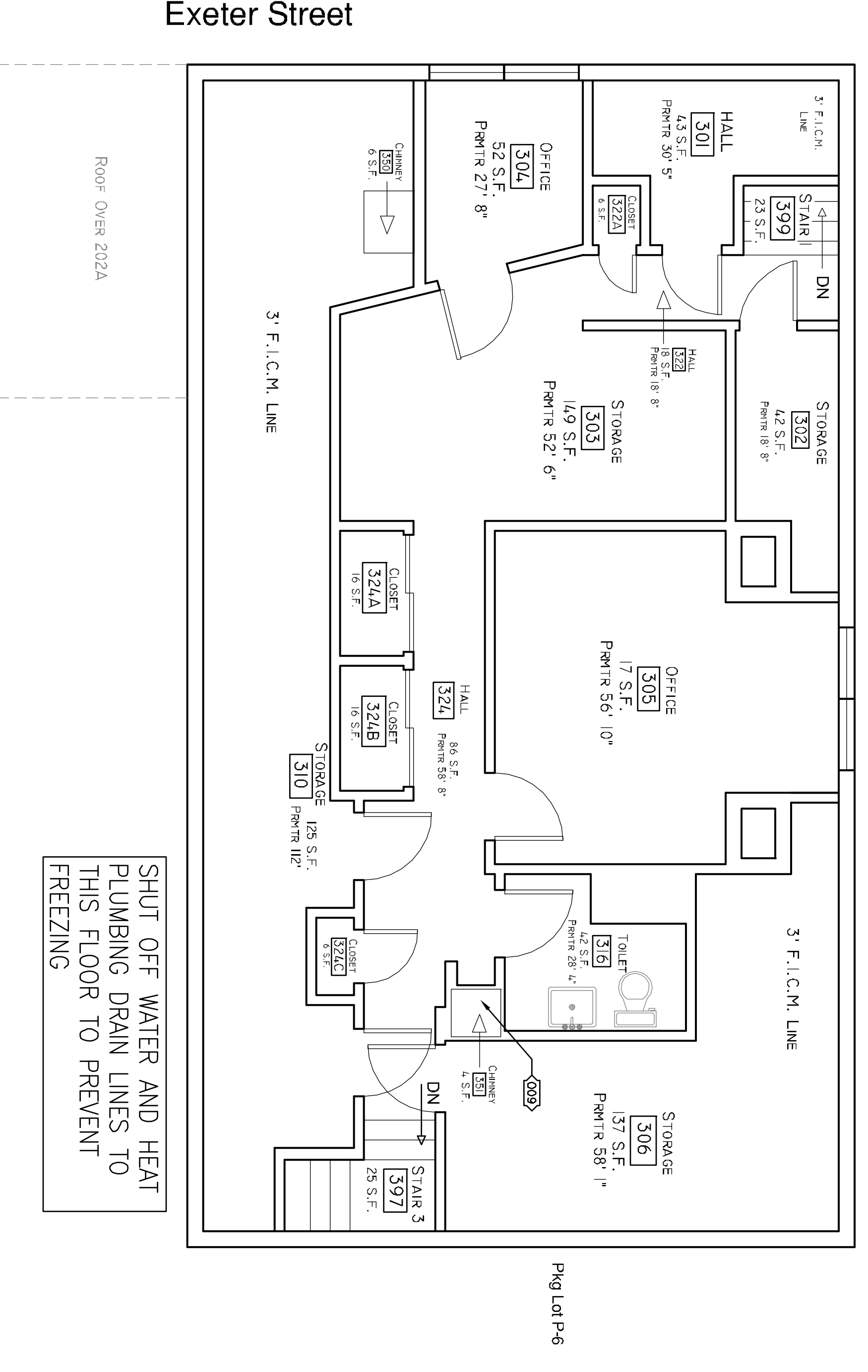
D101

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 ARCHITECTURAL SERVICES DIVISION
 ARCHITECTURAL SERVICES



J1 EXISTING/DEMOLITION SECOND FLOOR PLAN

55 EXETER STREET - THIRD FLOOR



A1 EXISTING/DEMOLITION ATTIC PLAN

SHUT OFF WATER AND HEAT PLUMBING DRAIN LINES TO THIS FLOOR TO PREVENT FREEZING

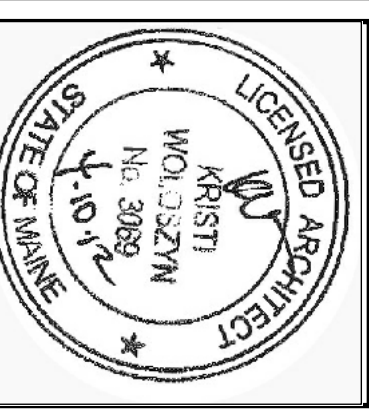
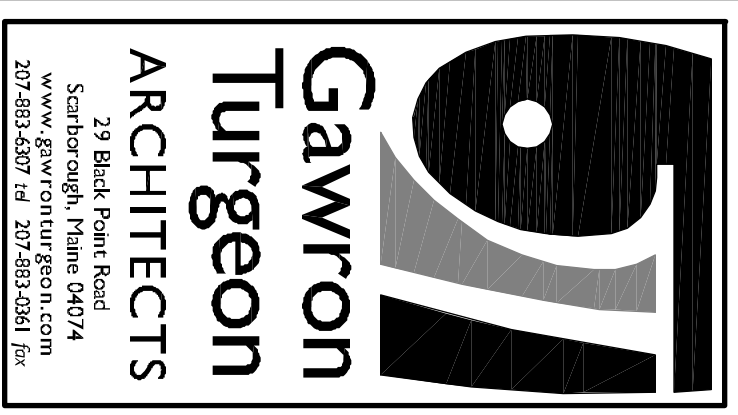
- 000 REMOVE WOOD PANELING AND REPLACE WITH GWB. PATCH AND PAINT SEAMS BETWEEN EXISTING AND NEW WALL. HATCH INDICATES WOOD PANELING EXIST
- 002 REMOVE EXISTING DOOR AND TRIM. INFILL SPACE WITH 2X4 STUDS AND 5/8" TYPE "X" GWB. PATCH AND PAINT TO MATCH EXISTING.
- 003 INFILL FIREPLACE WITH PAINTED PLYWOOD PANEL.
- 004 REMOVE EXISTING DOOR TO ALLOW FOR STRAIGHT PASSAGE TO EXIT
- 005 REMOVE EXISTING DOOR, PATCH AND PAINT WALL TO MATCH EXISTING. INSULATE SPACED FLOOR JOISTS WITH FIBERGLASS BATT INSULATION. ADD WOOD SHIMS TO EXTERIOR
- 006 NEW BOILER ROOM. SMOKE TIGHT WALLS AND CEILING.
- 007 NEW WALL. 2X4 WOOD STUDS AT 16" O.C. WITH 5/8" GWB BOTH SIDES. CONNECTED TO EXISTING WALLS. SOUND ATTENUATION BATT INSULATION IN NEW WALLS.
- 008 NEW BASE AND UPPER CABINET MILLWORK. SEE ELEVATION N8/A101
- 009 REMOVE EXISTING CHIMNEY TO BASEMENT LEVEL. PATCH FLOOR JOISTS AND FLOOR SHEATHING ON ALL FLOORS. PATCH ROOF. ROOF SHEATHING DIRECT PATCH ON ROOF PRIOR TO NEW SHINGLES. ASPHALT SHINGLES TO MATCH EXISTING.
- 010 EXISTING STAIR FINISH TO REMAIN
- 011 REMOVE DOOR AND STAIRS TO BASEMENT. PATCH FLOOR JOISTS AND FLOOR WITH 2X4 WOOD. PATCH CARPET. REPAIR AND PATCH WALLS AND CEILING TO MATCH EXISTING.
- 012 REMOVE EXISTING DRAWERS AND FRONT PANEL ON LOWER HALF OF THE BUILT IN MILLWORK. INFILL WITH PAINTED PLYWOOD TO MATCH EXISTING MILLWORK.
- 013 ADD ONTO EXISTING ACOUSTICAL CEILING TILE GRID AND ADD NEW ACOUSTICAL CEILING TILES TO MATCH EXISTING.
- 014 REMOVE EXISTING METAL FIN TUBE HEAT AND TRIM BOARDS. PATCH AND PAINT WALL TO RECEIVE NEW FIN TUBE RADIANT HEAT.
- 015 4" OD CONCRETE FILLED STEEL BOLLARDS PAINT YELLOW. FIELD LOCATION TO PROTECT THE BOILER DIRECT VENT
- 016 CLEAN AND REUSE WALK OFF MAT.
- 017 REMOVE RADIATOR. PATCH WALLS AND FLOOR AROUND AREA TO RECEIVE NEW FINISHES. SOME WALLS BEHIND RADIATORS HAVE MAJOR DAMAGE
- 018 REMOVE EXISTING DOOR AND LEAVE FRAME
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- 024 EXISTING HANDRAIL TO REMAIN
- 025 REMOVE EXISTING BUILT IN CABINET. PATCH AND PAINT WALL
- 026 EXISTING WOOD WINDOWS WILL BE REPLACED BY A CONTRACTOR HIRSD DIRECTLY BY THE OWNER OUTSIDE OF THIS CONTRACT. EXISTING WOOD WINDOW STOPS WILL BE REUSED WHENEVER POSSIBLE. PREP & PAINT EXISTING WINDOW SILL AND FINISH WITH NEW FINISHES. PROVIDE NEW WINDOW INSTALLATION OF NEW WINDOWS. COORDINATE WORK WITH WINDOW REPLACEMENT CONTRACTOR. PROVIDE NEW LEVELER RIVERA 1" METAL MINI BLINDS (WHITE) AT EVERY WINDOW.
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- 033 REMOVE EXISTING TREES AND LEVEL GROUND
- 034 REMOVE EXISTING CONCRETE STAIRWAY.
- 035 REMOVE EXISTING PLUMBING EXPOSURES AS REQUIRED FOR NEW CONSTRUCTION.
- 036 NOT USED
- 037 REMOVE VINYL SIDING AS REQUIRED FOR NEW ROOF CONSTRUCTION
- 038 FRAMED OVER DOOR OPENING. ADD BLOCK FOR NEW STAIR ROOF FRAMING.

LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

A13 KEY NOTES

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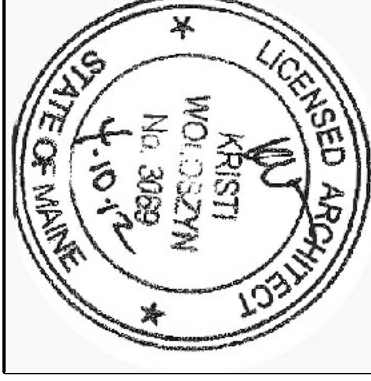
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1	4-11-12	RESUBMITTED FOR CONSTRUCTION

DATE	4-11-12
PROJECT #	020412
DRAWN BY	KW
CHECKED BY	KW
DRAWING SCALE	1/4"=1'-0"

SHEET TITLE
DEMOLITION SECOND AND THIRD FLOOR PLANS

D102

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Gawron Turgeon
ARCHITECTS

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207.884.5212 • 207.884.5213

UNIVERSITY OF SOUTHERN MAINE

55 EXETER STREET
PORTLAND, MAINE

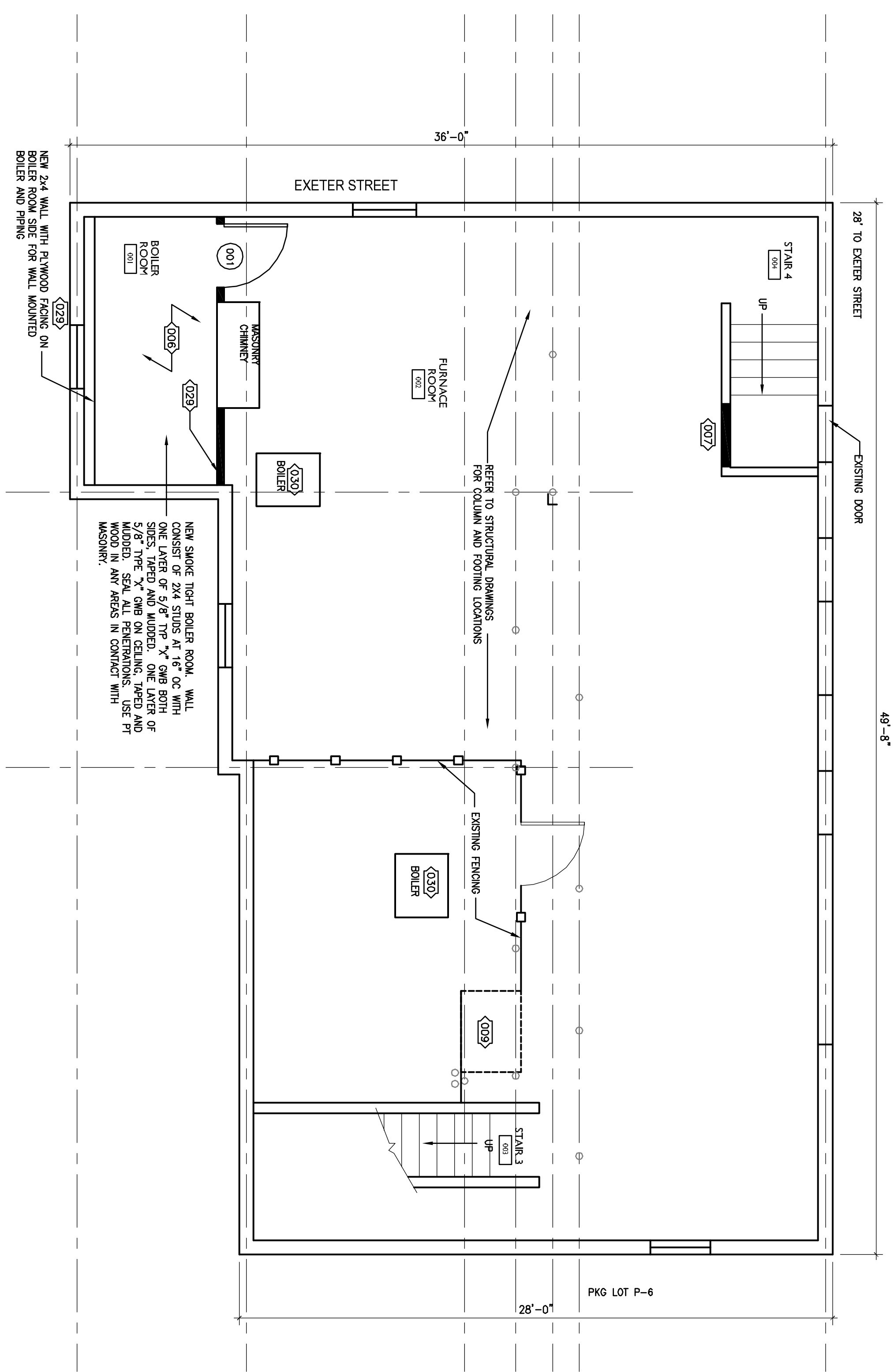
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#	DATE	DESCRIPTION
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1	4/11/2	ISSUE FOR CONSTRUCTION

DATE	4.11.12
PROJECT #	020412
DRAWN BY	KW
CHECKED BY	KW
DRAWING SCALE	1/4"=1'-0"

SHEET TITLE	
BASEMENT FLOOR PLAN	

A100

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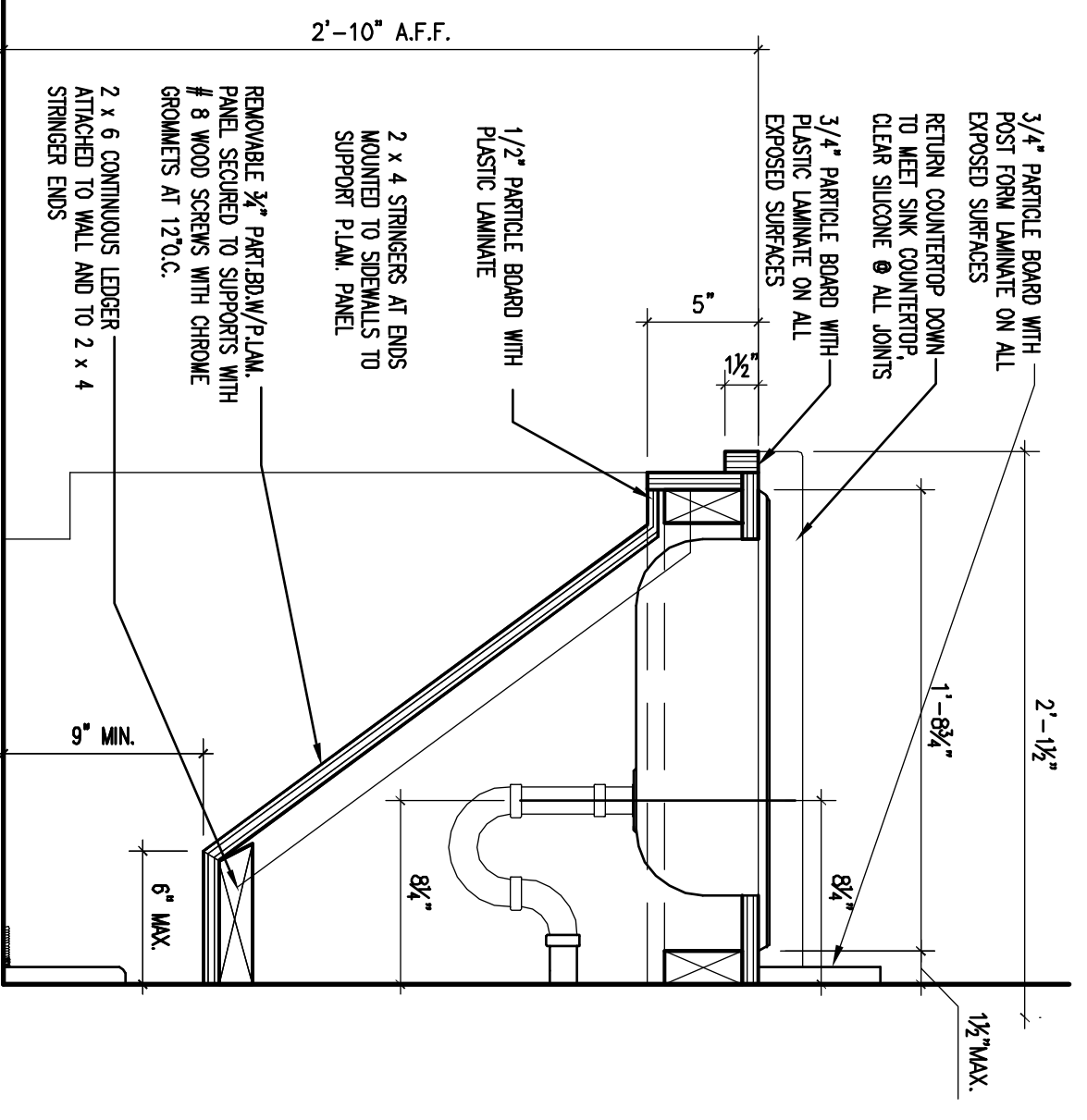
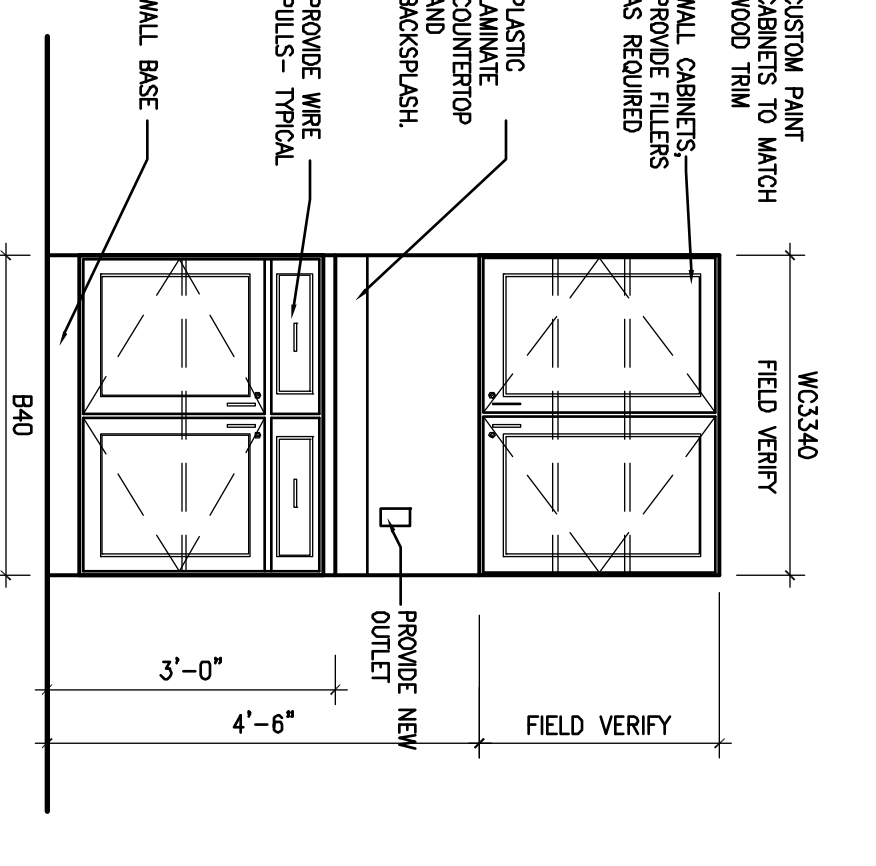
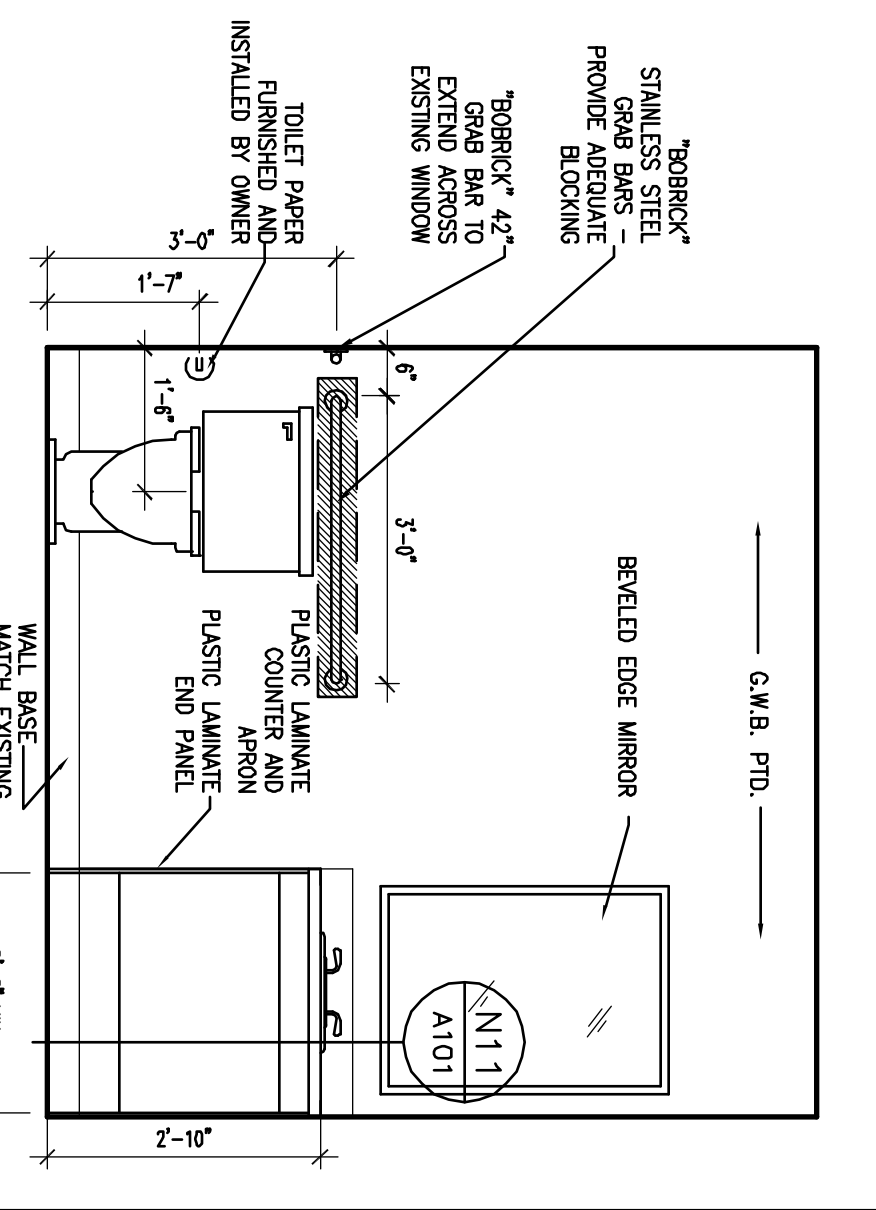


- 0201 REMOVE WOOD PANELING AND REPLACE WITH GNB. PATCH AND PAINT SEAMS BETWEEN EXISTING AND NEW WALL. HATCH INDICATES WOOD PANELING EXTENT
- 0202 REMOVE EXISTING DOOR AND TRIM. INFILL SPACE WITH 2X4 STUDS AND 5/8" TYPE "X" GNB. PATCH AND PAINT TO MATCH EXISTING.
- 0203 INFILL FIREPLACE WITH PAINTED PLYWOOD PANEL.
- 0204 REMOVE EXISTING DOOR TO ALLOW FOR STRAIGHT PASSAGE TO EXIT
- 0205 REMOVE EXISTING DOOR. PATCH AND PAINT WALL TO MATCH EXISTING. INSULATE CAVITY AND WALL SHEATHING. AIR INTRUSION BARRIER, AND VINYL SIDING TO EXTERIOR.
- 0206 NEW BOILER ROOM. SMOKE TIGHT WALLS AND CEILING.
- 0207 NEW WALL. 2X4 WOOD STUDS AT 16" O.C. WITH 5/8" GNB BOTH SIDES. CONNECT TO EXISTING WALLS. SOUND ATTENUATION BATT INSULATION IN NEW WALLS.
- 0208 NEW BASE AND UPPER CABINET MILLWORK. SEE ELEVATION NB/A101
- 0209 REMOVE EXISTING CHIMNEY TO BASEMENT LEVEL. PATCH FLOOR JOISTS WITH 2X4 STUDS AT 16" O.C. WITH 5/8" GNB. PATCH AND PAINT TO MATCH EXISTING. SHEATHING AND PATCH ASPHALT ROOF SHINGLES. SHIELD OVER ENTIRE PATCH ON ROOF PRIOR TO NEW SHINGLES. ASPHALT SHINGLES TO MATCH EXISTING.
- 0210 EXISTING STAIR FINISH TO REMAIN
- 0211 REMOVE DOOR AND STAIRS TO BASEMENT. PATCH FLOOR JOISTS AND FLOOR WITH PLYWOOD. PREP FOR CARPET. REPAIR AND PATCH WALLS AND CEILING TO MATCH EXISTING.
- 0212 REMOVE EXISTING DRAWERS AND FRONT PANEL ON LOWER HALF OF EXISTING MILLWORK. INFILL WITH PAINTED PLYWOOD TO MATCH EXISTING MILLWORK.
- 0213 REMOVE EXISTING MILLWORK. PATCH AND PAINT WALLS AND CEILING. ADD ONTO EXISTING ACOUSTICAL CEILING TILE GRID AND ADD NEW ACOUSTICAL CEILING TILES TO MATCH EXISTING.
- 0214 REMOVE EXISTING METAL FIN TUBE HEAT AND TRIM BARRIOS. PATCH AND PAINT WALL TO RECEIVE NEW FIN TUBE RADIANT HEAT.
- 0215 4" O.D CONCRETE FILLED STEEL BOLARDS PAINT YELLOW. FIELD LOCATION TO PROTECT THE BOILER DIRECT VENT
- 0216 CLEAN AND REUSE WALK OFF MAT.
- 0217 REMOVE RADIATOR. PATCH WALLS AND FLOOR AROUND AREA TO RECEIVE NEW FINISHES. SOME WALLS BEHIND RADIATORS HAVE MAJOR DAMAGE.
- 0218 REMOVE EXISTING DOOR AND LEAVE FRAME
- 0219 REMOVE EXISTING DOOR AND FRAME. INSTALL NEW DOOR AND FRAME AS SHOWN ON PLANS.
- 0220 REMOVE DOOR AND FRAME. INFILL WALL. PATCH AND PAINT TO MATCH EXISTING.
- 0221 REMOVE WALL AND ANY DOORS AND FRAMES. SEE STRUCT DWGS FOR SHORING, PATCH AND PAINT WALLS, FLOORS AND CEILING.
- 0222 INSTALL CARPET OVER EXISTING WOOD STAIRS - REFER TO FINISH SCHEDULE
- 0223 EXISTING MEDICINE CABINETS TO BE REMOVED. PATCH EXISTING WALL
- 0224 EXISTING HANDRAIL TO REMAIN
- 0225 REMOVE EXISTING BUILT IN CABINET. PATCH AND PAINT WALL
- 0226 EXISTING WOOD WINDOWS WILL BE REPLACED BY A CONTRACTOR HIRSD DIRECTLY BY THE OWNER OUTSIDE OF THIS CONTRACT. EXISTING WOOD WINDOW STOPS WILL BE REUSED. WOOD SILLS & WOOD TRIM AFTER INSTALLATION OF NEW WINDOWS. COORDINATE WORK WITH WINDOW REPLACEMENT CONTRACTOR. PROVIDE NEW LEVELOR RIVERA 1" METAL MINI BLINDS (WHITE) AT EVERY WINDOW.
- 0227 EXISTING DOOR COVERED OVER TO REMAIN
- 0228 NOT REQUIRED
- 0229 NEW BOILER VENTS-DIRECT VENT. SEE MECH DWGS
- 0230 EXISTING BOILER TO BE DECOMMISSIONED AND REMOVED
- 0231 REMOVE EXISTING CARPET AND CARPET TACK STRIPS AND UNDERL. PREP FLOOR TO RECEIVE NEW FINISH.
- 0232 REMOVE EXISTING BASEBOARD. ADD NEW FIN TUBE HEAT (SEE MEP DWGS) WITH PAINTED, 4" FLAT STOCK TRIM BOARD BELOW. SEE MECH. DRAWINGS
- 0233 REMOVE EXISTING TREES AND LEVEL GROUND
- 0234 REMOVE EXISTING CONCRETE STAIRWAY.
- 0235 REMOVE EXISTING PLUMBING FIXTURES AS REQUIRED FOR NEW CONSTRUCTION.
- 0236 NOT USED
- 0237 REMOVE VINYL SIDING AS REQUIRED FOR NEW ROOF CONSTRUCTION
- 0238 FRAMED OVER DOOR OPENING. ADD BLOCK FOR NEW STAIR ROOF FRAMING.

A1 PROPOSED BASEMENT FLOOR PLAN

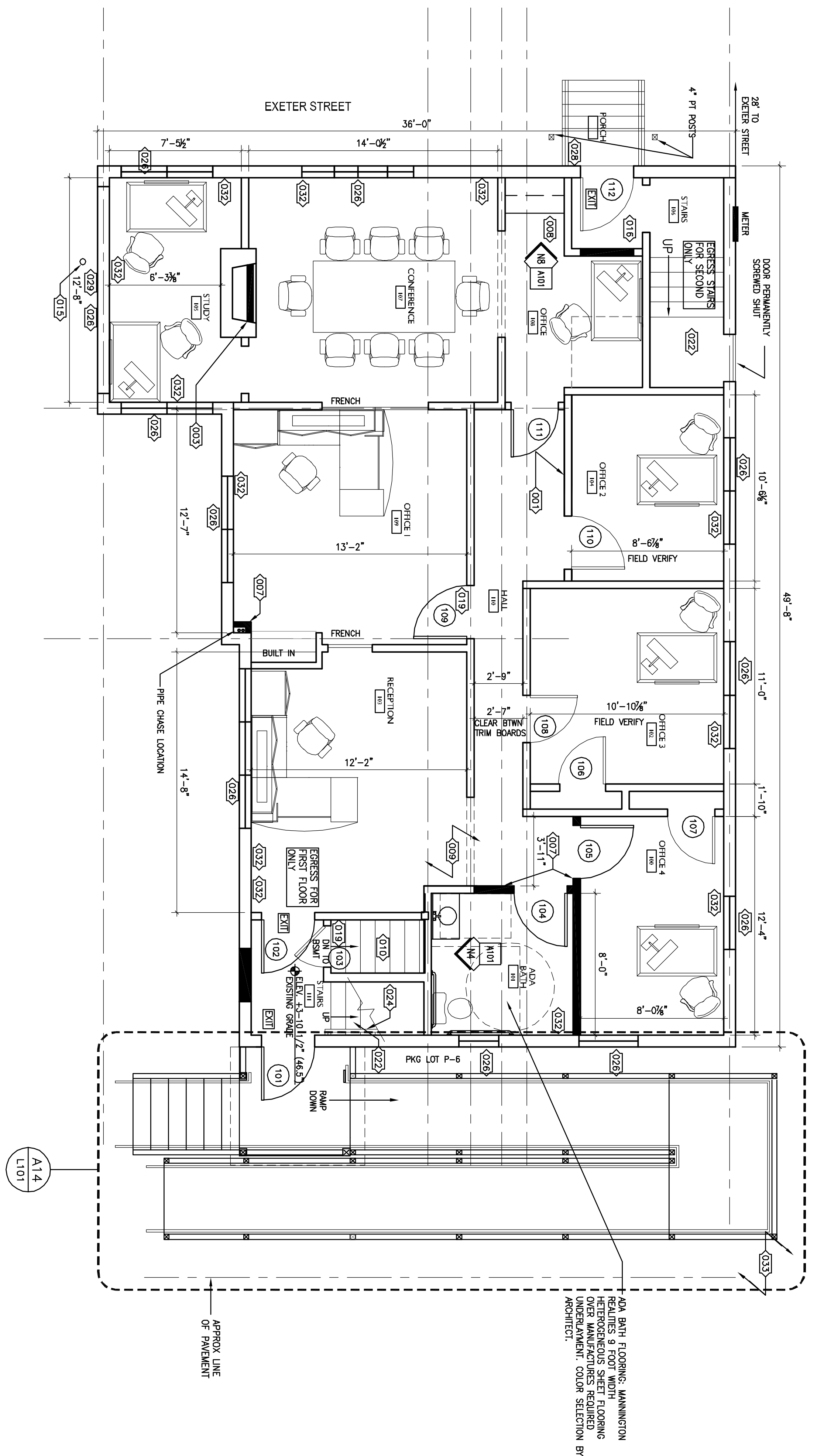
1/4"=1'-0"

CODE STUDY:	IBC, 2009
Existing Building Occupancy -	B ¹ Business
Building Date:	1516 SF
Unfinished Basement:	1516 SF
First Floor:	1516 SF
Second Floor:	1080 SF
Attic:	5638 SF
Total SF:	
Finished Occupied SF:	1628 SF
First Floor:	1516 SF
Second Floor:	2519 SF
Total:	
Occupancy/Business (100/SF):	13 occupants by SF
First Floor:	21 occupants by SF
Second Floor:	13 occupants by SF
Exit Access Travel Distance:	200 Feet
Common Path of Travel:	75 Feet
Proposed Common Path of Travel from Furthest Area:	95 Feet



NI	CODE REVIEW	N4	TOILET ELEVATION	N8	CABINET ELEVATION
1/4"=1'-0"		1/2"=1'-0"		NTS	

M11 HANDICAP ACCESSIBLE SINK DTL
1/12"=1'-0"
PLASTIC LAMINATE COUNTER



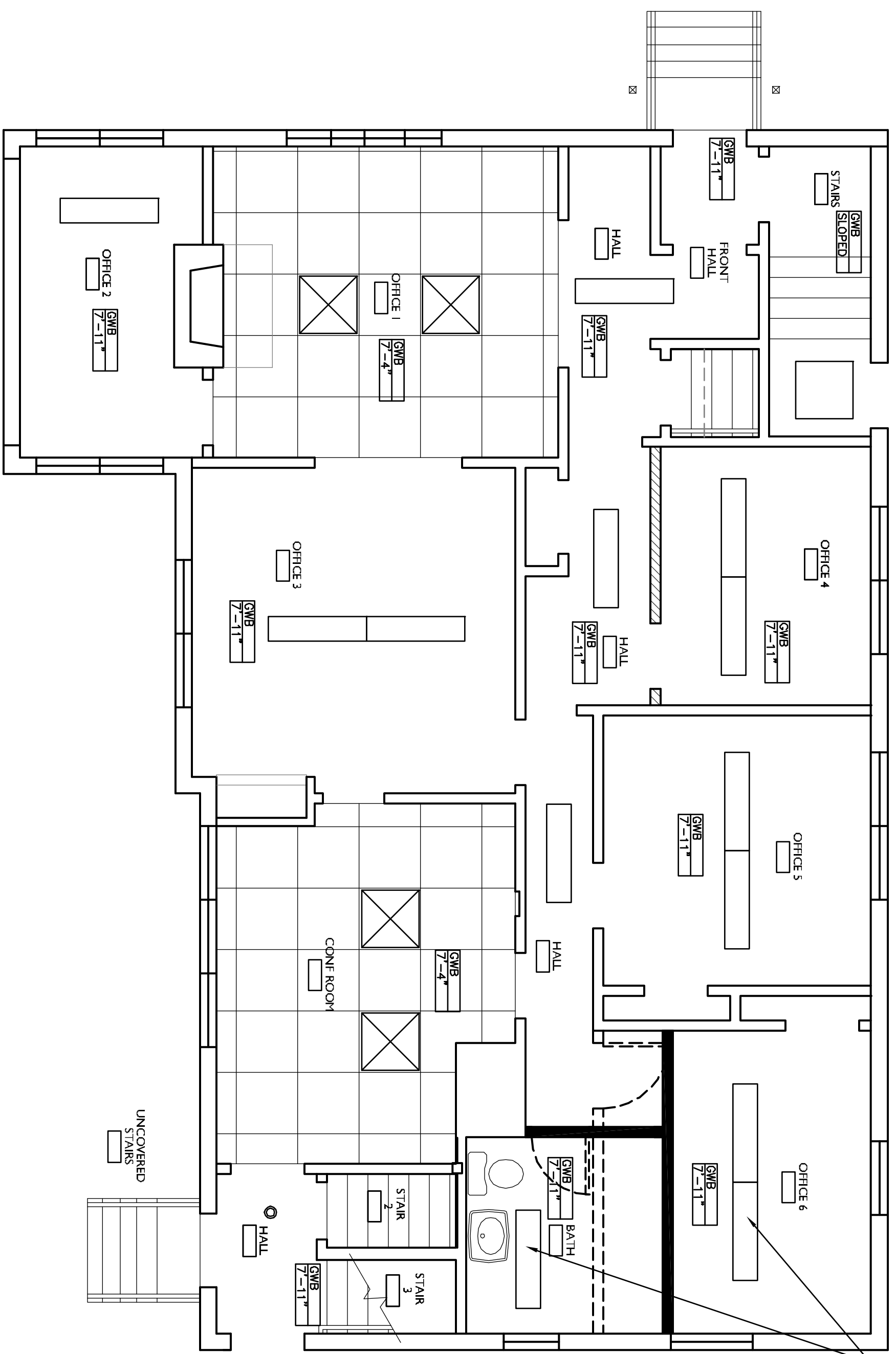
- KEY NOTES**
- 0201 REMOVE WOOD PANELING AND REPLACE WITH GWB. PATCH AND PAINT SPACES BETWEEN EXISTING AND NEW WALL. PATCH INDICATES WOOD PANELING EXIST.
 - 0202 REMOVE EXISTING DOOR AND TRIM. INFILL SPACE WITH 2X4 STUDS AND 5/8" TYPE "X" GWB. PATCH AND PAINT TO MATCH EXISTING.
 - 0203 INFILL FIREPLACE WITH PAINTED PLYWOOD PANEL.
 - 0204 REMOVE EXISTING DOOR TO ALLOW FOR STRAIGHT PASSAGE TO EXIT.
 - 0205 REMOVE EXISTING DOOR, PATCH AND PAINT WALL TO MATCH EXISTING. INSULATE CAVITY AND ADD WALL SHEATHING, AIR INTRUSION BARRIER, AND VENTIL SINGING TO EXTERIOR.
 - 0206 NEW BOLTER ROOM. SNACK TIGHT WALLS AND CEILING.
 - 0207 NEW WALL. 2X4 WOOD STUDS AT 16" O.C. WITH 5/8" GWB BOTH SIDES. CONNECT TO EXISTING WALLS. SOUND ATTENUATION BATT INSULATION IN NEW WALLS.
 - 0208 NEW BASE AND UPPER CABINET MILLWORK. SEE ELEVATION NB/A101
 - 0209 REMOVE EXISTING CHIMNEY TO BASEMENT LEVEL. PATCH FLOOR JOISTS AND FLOOR SHEATHING ON ALL FLOORS. PATCH ROOF, ROOF SHEATHING AND PATCH ASPHALT ROOF SHINGLES. ICE AND WATER SHEILD OVER ENTIRE PATCH ON ROOF PRIOR TO NEW SHINGLES. ASPHALT SHINGLES TO MATCH EXISTING.
 - 0210 EXISTING STAIR FINISH TO REMAIN
 - 0211 REMOVE DOOR AND STAIRS TO BASEMENT. PATCH FLOOR JOISTS AND FLOOR WITH PLYWOOD. PREP FOR CARPET. REPAIR AND PATCH WALLS AND CEILING TO MATCH EXISTING.
 - 0212 REMOVE EXISTING DRAWERS AND FRONT PANEL ON LOWER HALF OF THE BUILT IN MILLWORK. INFILL WITH PAINTED PLYWOOD TO MATCH EXISTING MILLWORK.
 - 0213 REMOVE EXISTING MILLWORK. PATCH AND PAINT WALLS AND CEILING. ADD ONTO EXISTING ACOUSTICAL CEILING. THE GWB AND ADD NEW ACOUSTICAL CEILING TILES TO MATCH EXISTING.
 - 0214 REMOVE EXISTING METAL FIN TUBE HEAT AND TRIM BOARDS. PATCH AND PAINT WALL TO RECEIVE NEW FIN TUBE RADIANT HEAT.
 - 0215 4" DO CONCRETE FLEED STEEL BOLGERS PAINT YELLOW. FIELD LOCATION TO PROJECT THE BOLTER DIRECT VENT.
 - 0216 CLEAN AND REUSE WALK OFF MAT.
 - 0217 REMOVE RADONKIT. PATCH WALLS AND FLOOR AROUND AREA TO RECEIVE NEW FINISHES. SOME WALLS BEHIND RADONKIT HAVE MAJOR DAMAGE.
 - 0218 REMOVE EXISTING DOOR AND LEAVE FRAME
 - 0219 REMOVE EXISTING DOOR AND FRAME. INSTALL NEW DOOR AND FRAME AS SHOWN ON PLANS.
 - 0220 REMOVE DOOR AND FRAME. INFILL WALL. PATCH AND PAINT TO MATCH EXISTING.
 - 0221 REMOVE WALL AND ANY DOORS AND FRAMES. SEE STRUCT DIMS FOR SHORING, PATCH AND PAINT WALLS, FLOORS AND CEILING.
 - 0222 INSTALL CARPET OVER EXISTING WOOD STAIRS - REFER TO FINISH SCHEDULE
 - 0223 EXISTING MEDICINE CABINETS TO BE REMOVED. PATCH EXISTING WALL EXISTING HANDRILL TO REMAIN
 - 0224 REMOVE EXISTING BUILT IN CABINET. PATCH AND PAINT WALL
 - 0225 EXISTING WOOD WINDOWS WILL BE REPLACED BY A CONTRACTOR HIRRD DIRECTLY BY THE OWNER OUTSIDE OF THIS CONTRACT. EXISTING WOOD WINDOW STOPS WILL BE REUSED WHENEVER POSSIBLE. PREP & PAINT ALL WOOD WINDOW STOPS, WOOD SILLS & WOOD TRIM AFTER INSTALLATION OF NEW WINDOWS. COORDINATE WORK WITH WINDOW REPLACEMENT CONTRACTOR. PROVIDE NEW LEVELON REVERA 1" METAL MINI BLINDS (WHITE) AT EVERY WINDOW.
 - 0226 EXISTING DOOR COVERED OVER TO REMAIN
 - 0227 NOT REQUIRED
 - 0228 NEW BOLTER VENTS-DIRECT VENT. SEE MECH DIMS
 - 0229 EXISTING BOLTER TO BE DECOMMISSIONED AND REMOVED
 - 0230 REMOVE EXISTING CARPET AND CARPET TACK STRIPS AND UNDERLUM. PATCH FLOOR TO RECEIVE NEW FINISH.
 - 0231 REMOVE EXISTING BASEBOARD. ADD NEW FIN TUBE HEAT (SEE MECH DIMS) WITH PAINTED, 4" FLAT STOOD TRIM BOARD BELOW. SEE MECH DRAWINGS
 - 0232 REMOVE EXISTING TREES AND LEVEL GROUND
 - 0233 REMOVE EXISTING CONCRETE STAIRWAY
 - 0234 REMOVE EXISTING PLUMBING FIXTURES AS REQUIRED FOR NEW CONSTRUCTION.
 - 0235 NOT USED
 - 0236 REMOVE VENTL SING AS REQUIRED FOR NEW ROOF CONSTRUCTION
 - 0237 FRAMED OVER DOOR OPENING. ADD BLOCK FOR NEW STAIR ROOF FRAMING.

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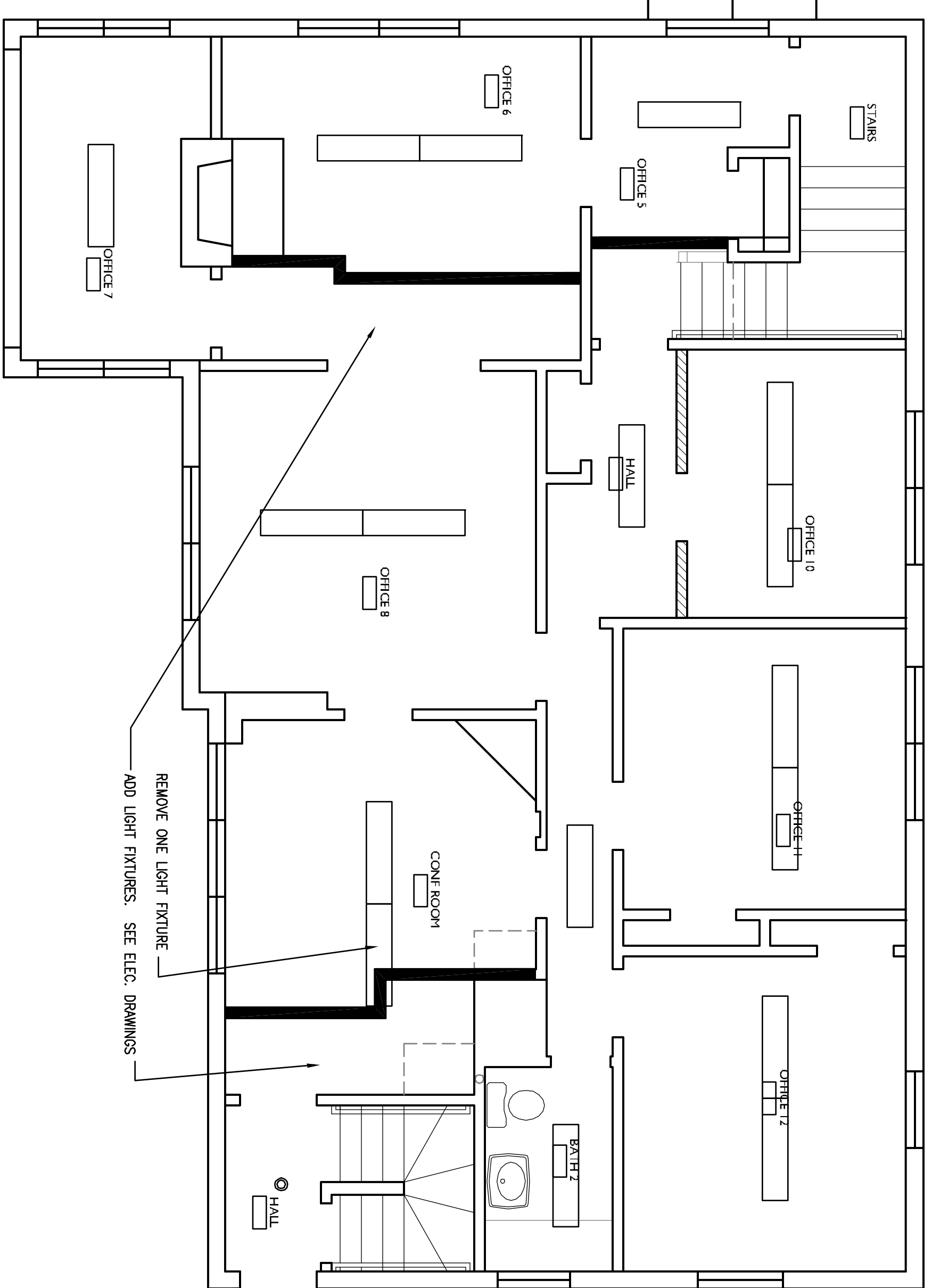
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1	4/11/2	ISSUED FOR CONSTRUCTION

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CHECKED BY:	KW
DRAWING SCALE:	1/4"=1'-0"
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FIRST FLOOR PLAN	

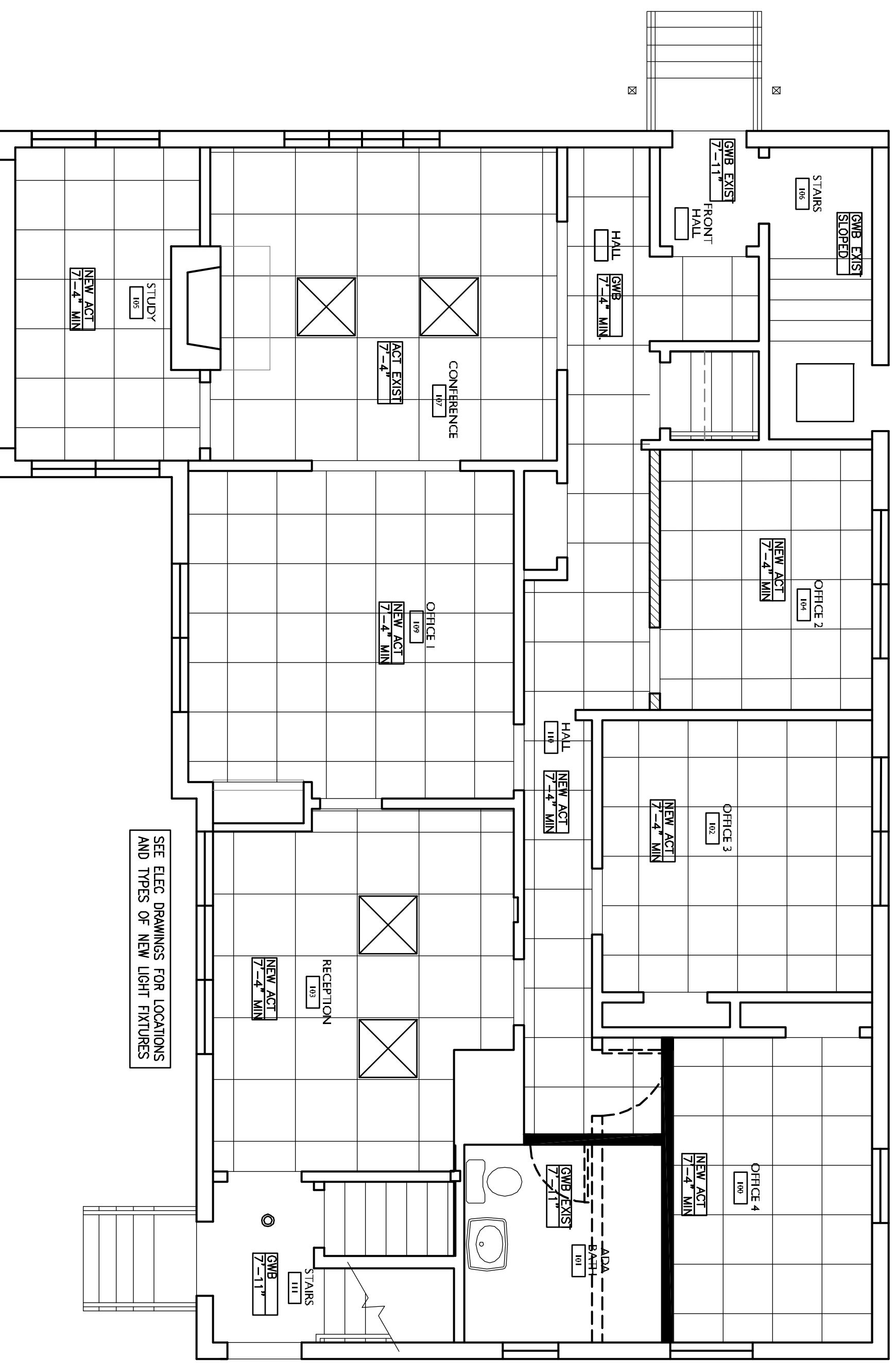


RELOCATE LIGHT FIXTURES AND THE OFFICE PARTITION FROM SEE ELEC DRAWINGS FOR FIXTURE DETAILS

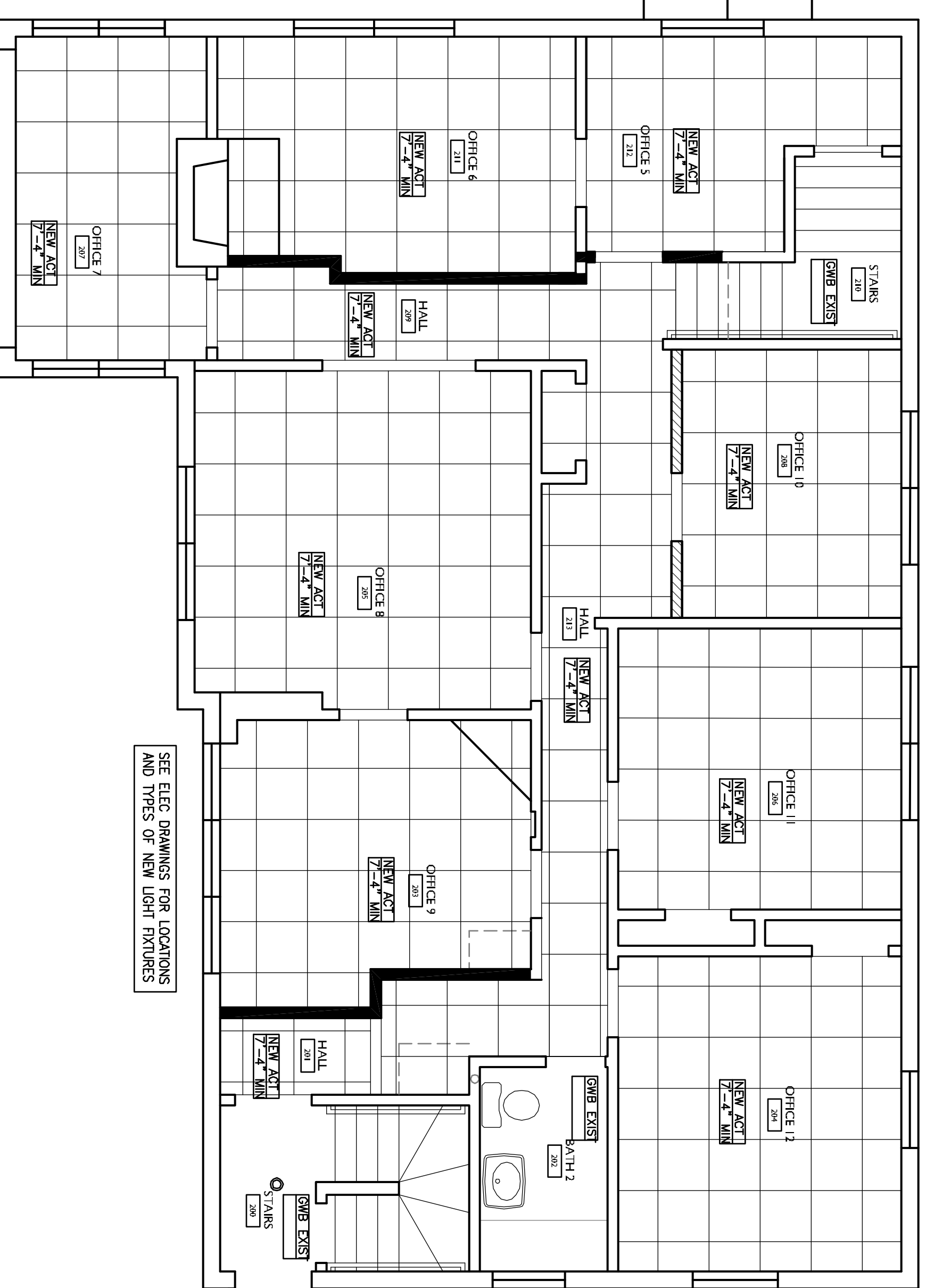
J1 EXISTING FIRST FLOOR REFLECTED CLNG PLAN



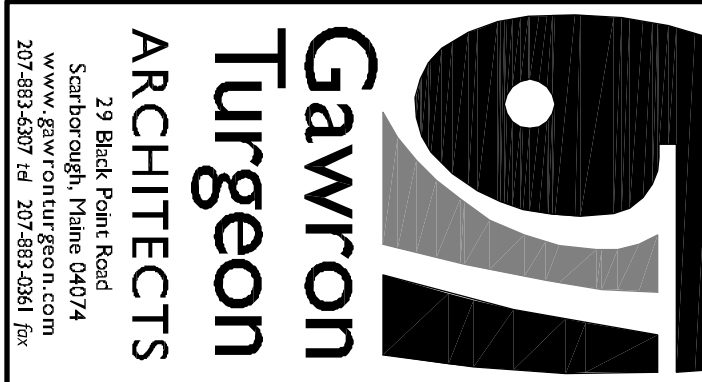
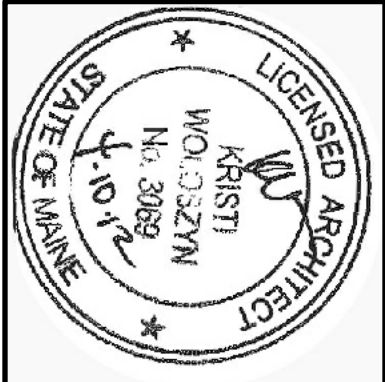
J11 EXISTING SECOND FLOOR REFLECTED CLNG PLAN



A1 PROPOSED ALT. FIRST FLOOR REFLECTED CLNG PLAN



A11 PROPOSED ALT. SECOND FLOOR REFLECTED CLNG PLAN



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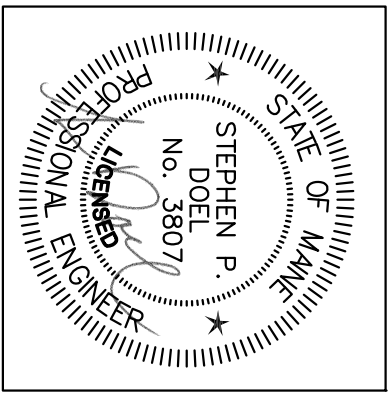
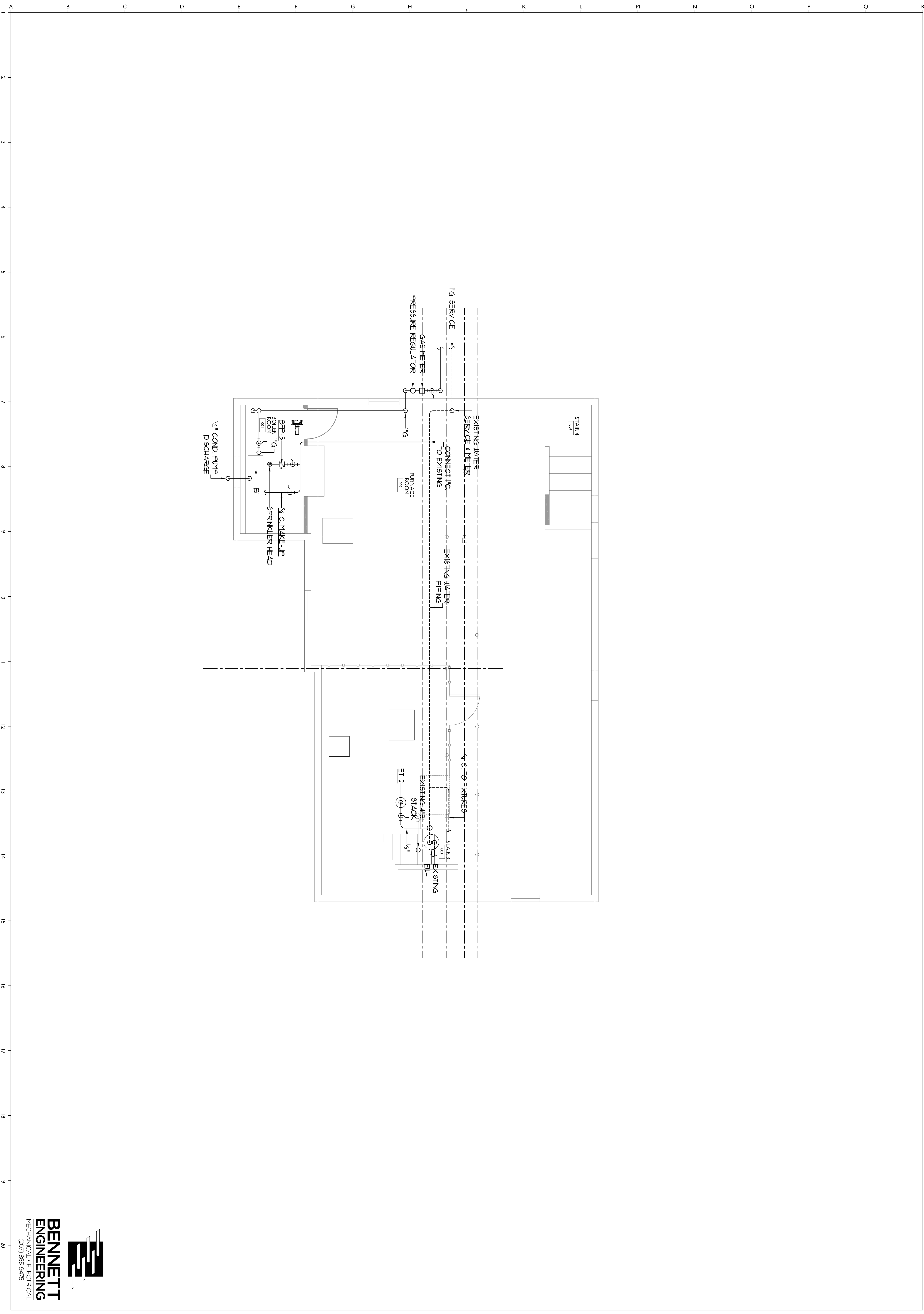
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#	DATE
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DATE	4.11.12
PROJECT #	020412
DRAWN BY	KW
CHECKED BY	KW
DRAWING SCALE	1/4"=1'-0"

SHEET TITLE
FIRST AND SECOND FLOOR REFLECTED CLNG PLANS

A301

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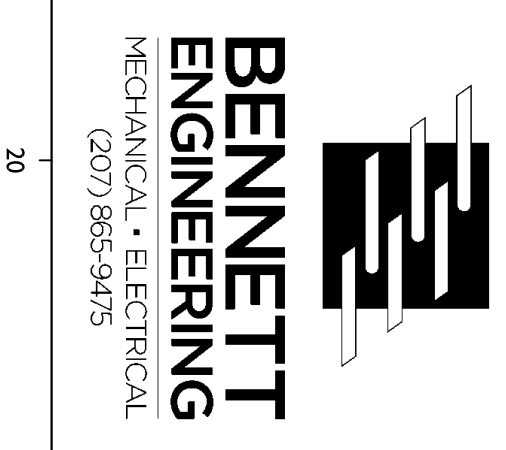
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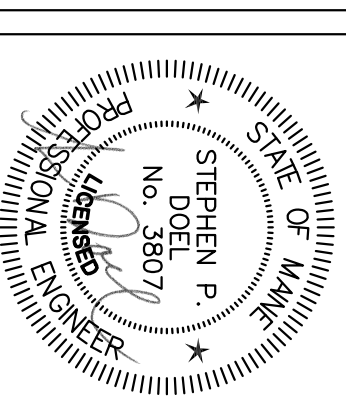
DATE	4-11-12
PROJECT #	020412
DRAWN BY:	SP Doel
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SHEET TITLE
 PLUMBING
 BASEMENT PLAN

P001



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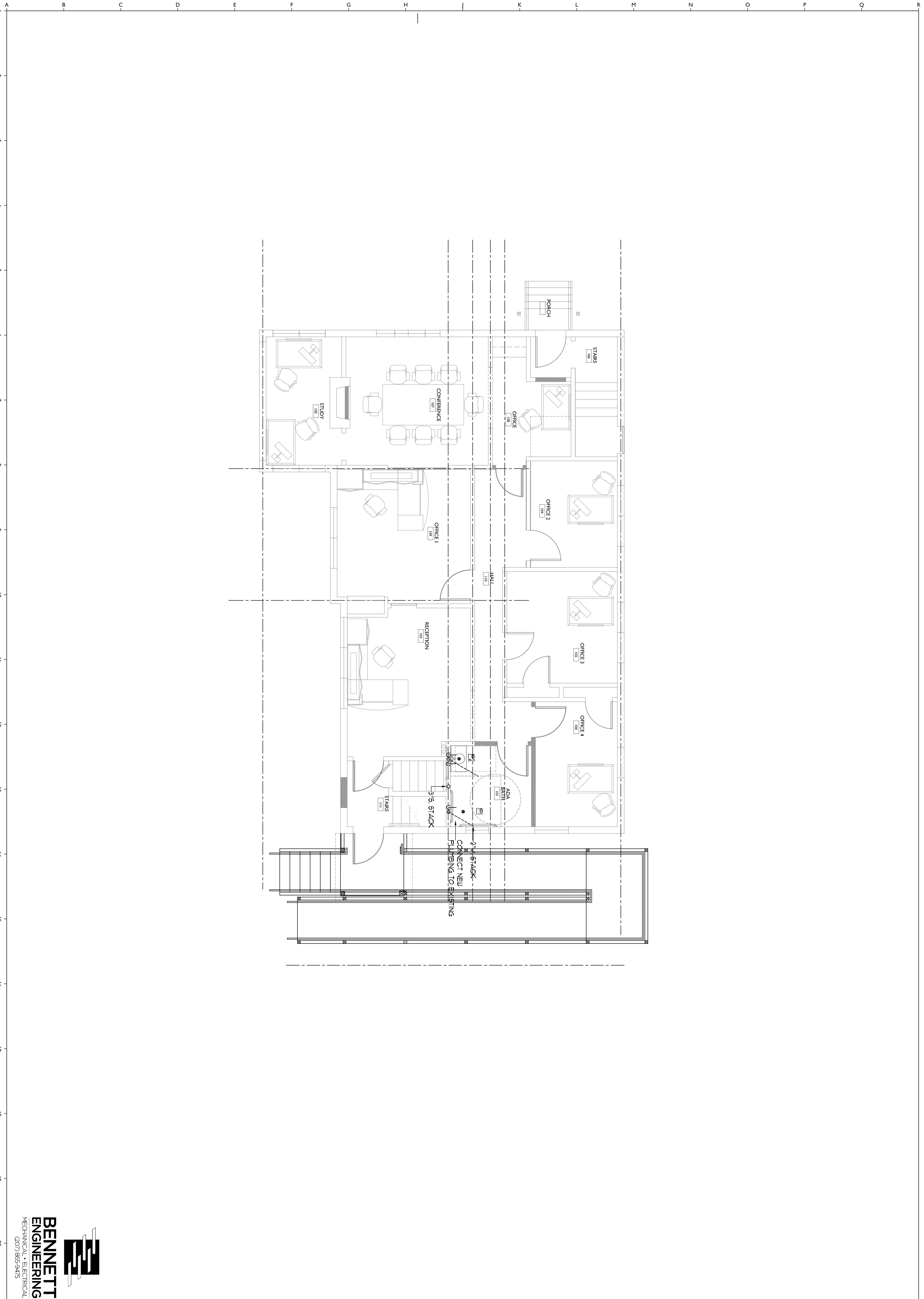
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#	DESCRIPTION

DATE:	4-11-12
PROJECT #:	020412
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CHECKED BY:	SP Dwd
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SHEET TITLE
 PLUMBING
 FIRST FLOOR PLAN

P002

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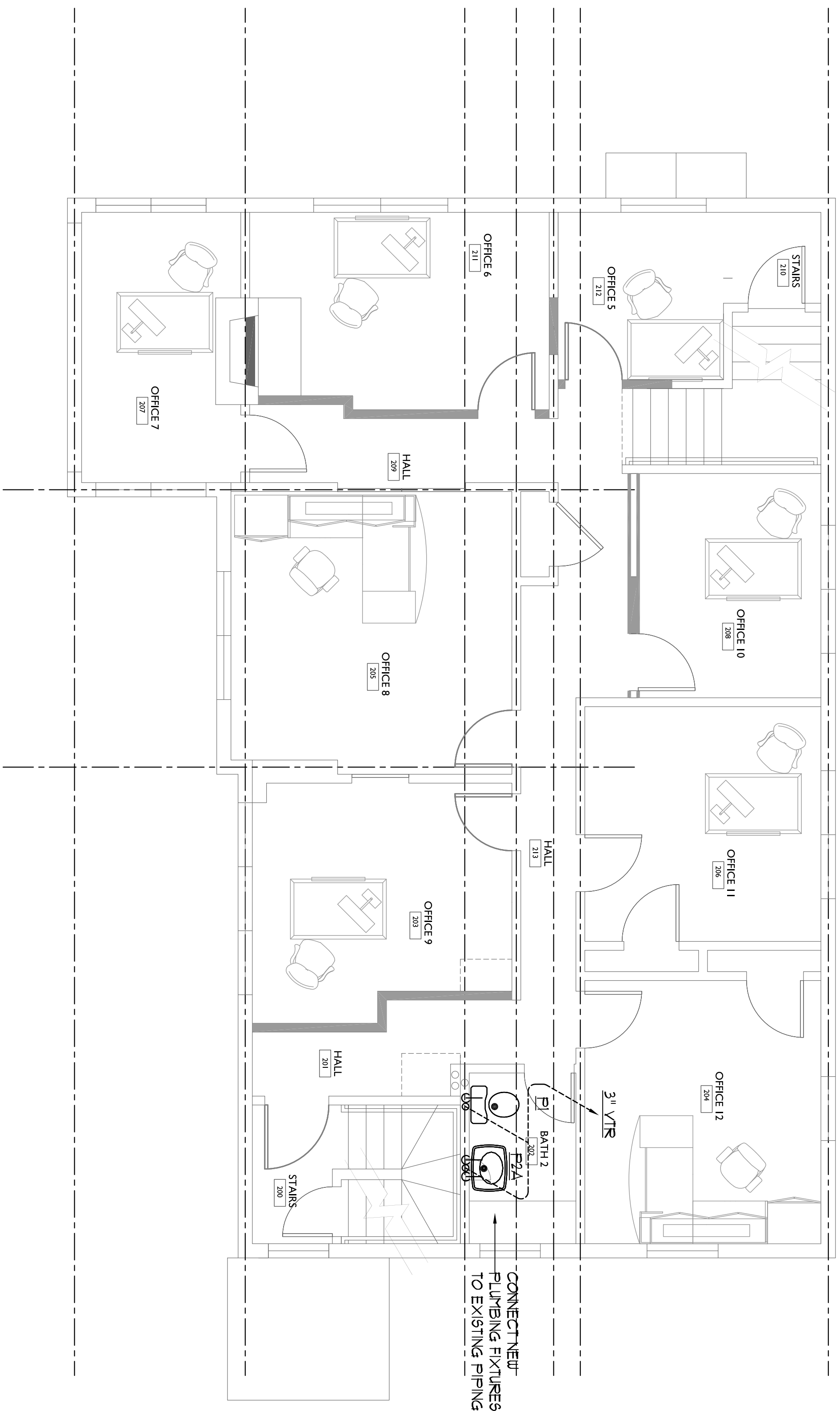
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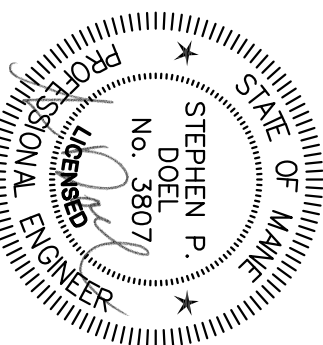
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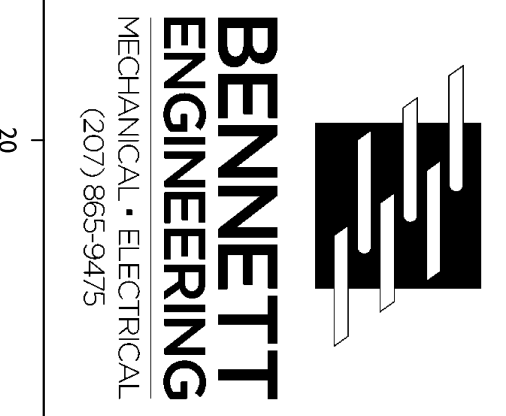
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#	DESCRIPTION

DATE:	4-11-12
PROJECT #:	020412
DRAWN BY:	SP Doal
CHECKED BY:	SP Doal
DRAWING SCALE:	1/4"=1'-0"

SHEET TITLE
 PLUMBING
 SECOND FLOOR PLAN

P003



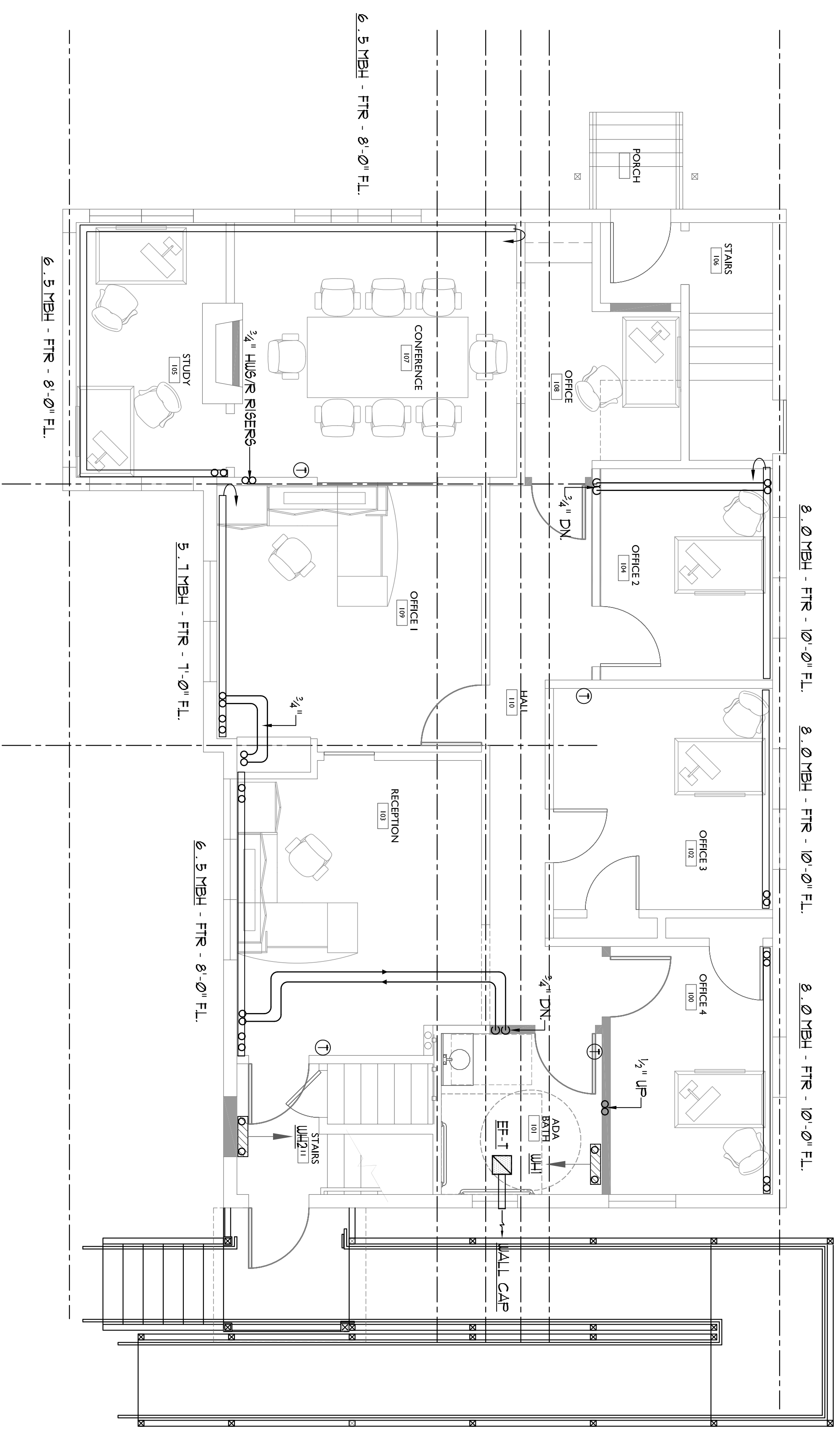
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FAN-LIGHT PERFORMANCE SCHEDULE													
TAG	AREA/LOU (CFM)	1/2" P (IN/LF)	NOSE (IN/LF)	RFTY	DRIVE	HP	BWP	WATTS	AFPS	V/FIN/LF	BASIS OF DESIGN	PARASOUND "Impedance-Like" SERVICE ARRANGEMENT	MODEL
FL-1	80	0.25	-	-	DIRECT	-	-	-	-	120/1/60	Bathroom	CEILING	FL-60/K6A.3
Note: See Drawings for quantities.													

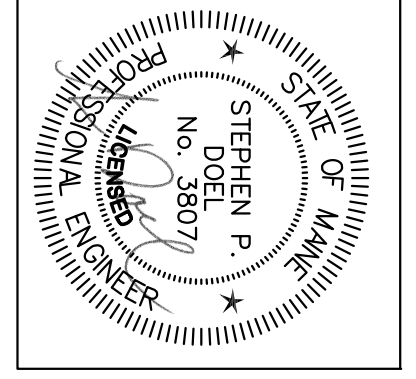
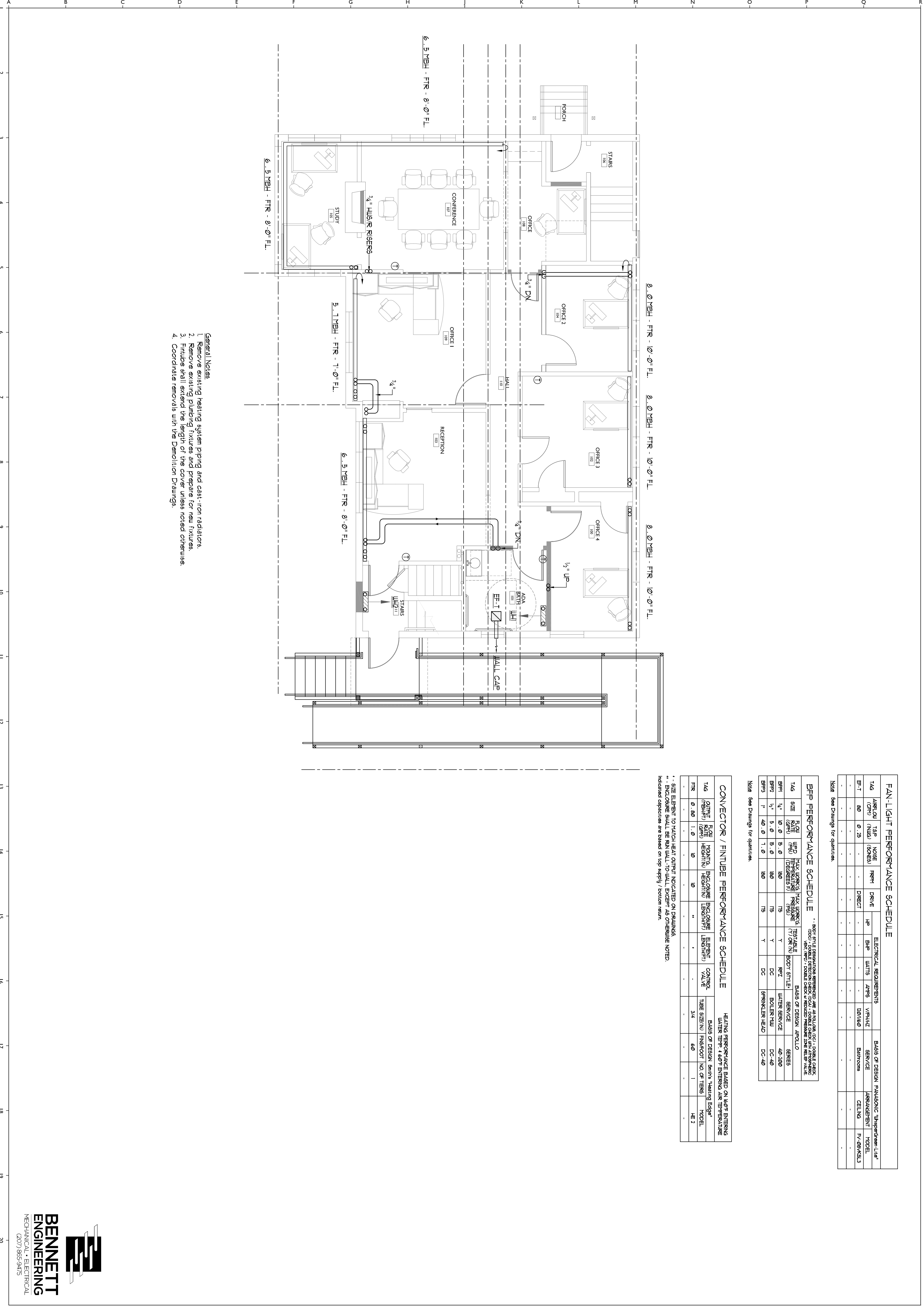
BWP PERFORMANCE SCHEDULE									
TAG	SIZE	FLOOR RATE (GPM)	HEAD (FEET)	MAX WORKS (FEET)	MAX WORKS (FEET)	SPRING	BODY STYLE	SERVICE	SPRINKLER HEAD
BWP1	1/4"	5.0	5.0	80	15	Y	RPZ	WATER SERVICE	40-160
BWP2	1/4"	5.0	5.0	80	15	Y	RPZ	WATER SERVICE	40-160
BWP3	1"	40.0	1.0	80	15	Y	DC	SPRINKLER HEAD	DC-40

CONVECTOR / FIN/TUBE PERFORMANCE SCHEDULE										
TAG	OUTPUT (BTU/Hr)	FLOOR HEIGHT (FT)	MOUNTING HEIGHT (FT)	ENCLOSURE HEIGHT (FT)	ELEMENT LENGTH (FT)	CONTROL VALVE	HEATING PERFORMANCE BASED ON 160°F ENTERING WATER TEMP, 160°F ENTERING AIR TEMPERATURE	TUBE SIZE (IN)	FIN/FOOT	NO OF TUBES
T46	0.60	1.0	0	0	"	"	3/4	60	1	HE-2
FTR	0.60	1.0	0	0	"	"	3/4	60	1	HE-2

.. SIZE ELEMENT TO MATCH HEAT OUTPUT INDICATED ON DRAWINGS.
 .. ENCLOSURE SHALL BE SOLID WALL-TO-WALL EXCEPT AS OTHERWISE NOTED.
 Indicated quantities are based on top supply / bottom return.



- General Notes**
1. Remove existing heating system piping and cast-iron radiators.
 2. Remove existing plumbing fixtures and prepare for new fixtures.
 3. Fintube shall extend the length of the cover unless noted otherwise.
 4. Coordinate removals with the Demolition Drawings.



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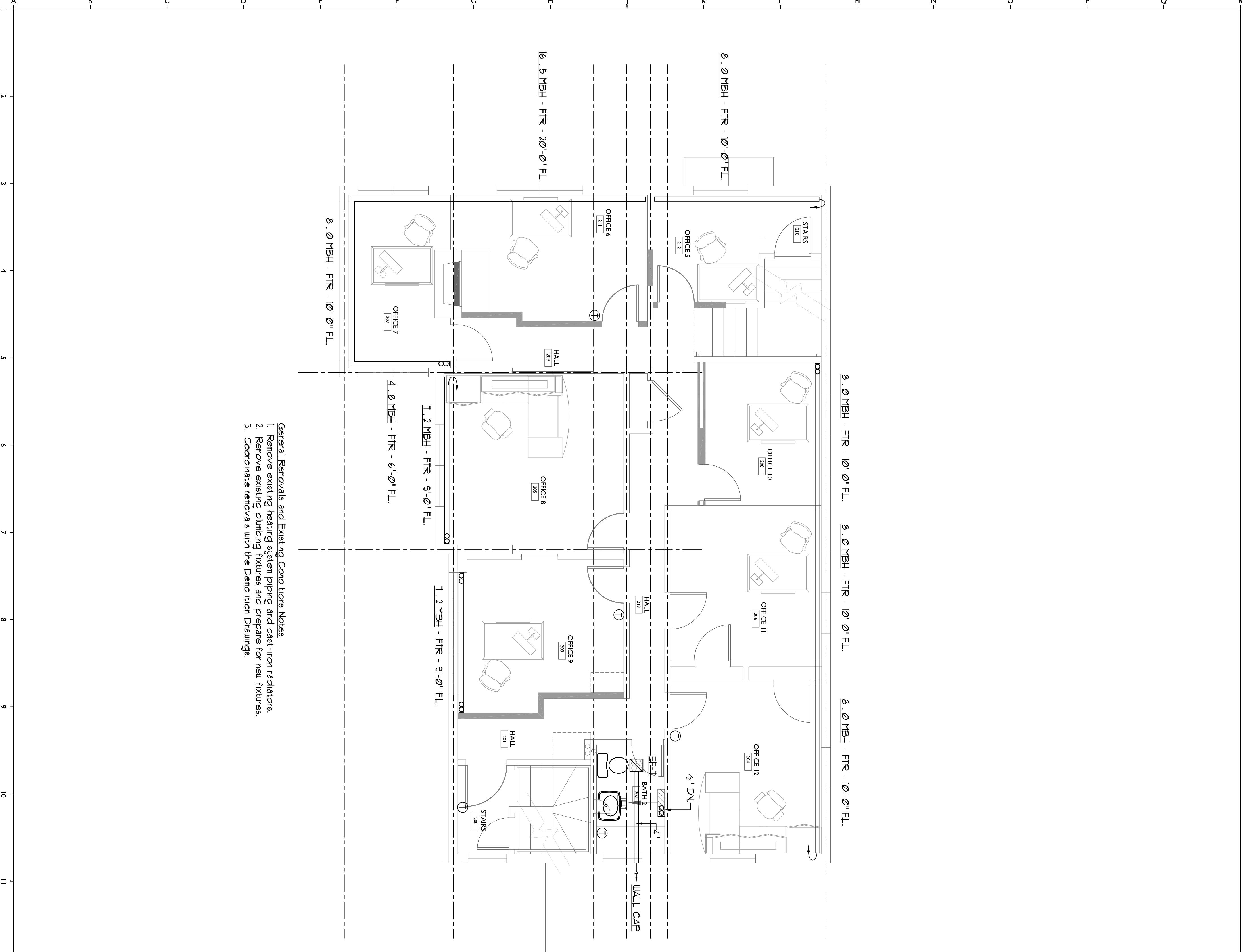
DATE	4-11-12
PROJECT #	020412
DRAWN BY:	SF Doid
CHECKED BY:	SF Doid
DRAWING SCALE	1/4"=1'-0"

SHEET TITLE
 MECHANICAL
 FIRST FLOOR PLAN

M002

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- General Removals and Existing Conditions Notes**
1. Remove existing heating system piping and cast-iron radiators.
 2. Remove existing plumbing fixtures and prepare for new fixtures.
 3. Coordinate removals with the Demolition Drawings.

PLUMBING FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	SAN	VENT	CU	HU	GIS
F1	FLOOR-MOUNTED TANK-TYPE UC	3"	2"	1/2"	1/2"	
P1	VANITY / LAVATORY	1/2"	1/2"	1/2"	1/2"	
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-
3FD	3" FLOOR DRAIN w/ TRAP FRICTION CONNECTION	3"	2"	1/2"	-	-
ETP	ELECTRONIC TRAP FRICTION (ETP)	-	-	1/2"	-	-
ILL	INDIRECT WASTE RECEPTOR	4"	2"	1/2"	-	-

MINIMUM SIZE OF PIPE FOR SLOPE SANITARY & VENT PIPING SHALL BE 2" FOR TRAP RECEPTOR

Note - Fixtures tagged with a (T) shall have trap primers connected to nearby floor drains.

Note - See Drawings for quantities.

UNIT HEATER PERFORMANCE SCHEDULE

HEATING PERFORMANCE BASED ON 100°F ENTERING WATER TEMPERATURE

TAG	OUTPUT (MBH) (GEN)	FLOOR AREA (SQ FT)	AREA/ROOM (SQ FT)	MFG. HT.	HP WATTS	VP/HP/IZ	SERVICE ARRANGEMENT	MODEL
UH1	24.8	21.5	0.12	460	6-0"	120/160	HORIZONTAL	HS-125A

Note - See Drawings for quantities.

PUMP PERFORMANCE SCHEDULE

TAG	FLOOR RATE (GPM)	HEAD (FT/HD)	NETL. SIZE	EFF. %	HP	BRP	VPD	AMP/IZ	VP/HP/IZ	SERVICE ARRANGEMENT	MODEL
CP1	14.0	18.0	-	3400	1/2	-	0'-V	220/160	9/5/21	N-LINE	STRATOR 11-250-25 1/4"

Note - CP2 shall have 1/2" connections.

Note - CP1 shall be furnished with the boiler.

BOILER PERFORMANCE SCHEDULE

BI CAPACITIES BASED ON NATURAL GAS @ 1000 BTU / CF @ 1.0" W.G. GAS PRESSURE

TAG	1-BAR RANKING *	DOE FUELS THERMAL EFFIC. (GEN)	ELECTRICAL REQUIREMENTS	BASES OF DESIGN	Model	
BI1	150.0	15.0	18.0	18	120/160	HS-125A

Note - A modulating boiler pump (CP1) is integral to the boiler.

Note - See Drawings for quantities.

WALL HEATER PERFORMANCE SCHEDULE

HEATING PERFORMANCE BASED ON 100°F ENTERING WATER TEMPERATURE

TAG	OUTPUT (MBH) (GEN)	FLOOR AREA (SQ FT)	AREA/ROOM (SQ FT)	MFG. HT.	HP WATTS	VP/HP/IZ	SERVICE ARRANGEMENT	MODEL
WH1	5.2	1.0	0.12	60	-	120/160	WALL HEATER	K3-2026
WH2	1.3	2.0	0.12	140	-	120/160	FLOOR HEATER	FSU-15

Note - See Drawings for quantities.

AIR SEPARATOR PERFORMANCE SCHEDULE

TAG	FLOOR AREA (SQ FT)	W/PD	CO. STRAINER	MAX. WORKING PRESSURE (PSI)	SERVICE	MODEL
AS1	12.0	0.8	21.4	N	210	HS-125A

EXPANSION TANK PERFORMANCE SCHEDULE

TAG	TANK VOLUME (GAL)	MIN. PRESS. (PSI)	MAX. WORKING PRESS. (PSI)	HEIGHT (FT)	WEIGHT (LBS)	MOUNTING	SERVICE	MODEL
ET1	11.0	5.0	5.0	240	105	N-LINE	HS-125A	HS-125A
ET2	3.2	1.9	1.9	200	1	N-LINE	DOMESTIC	(A) 87-8

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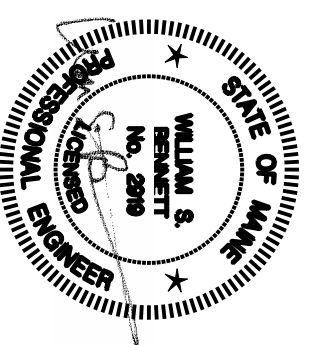
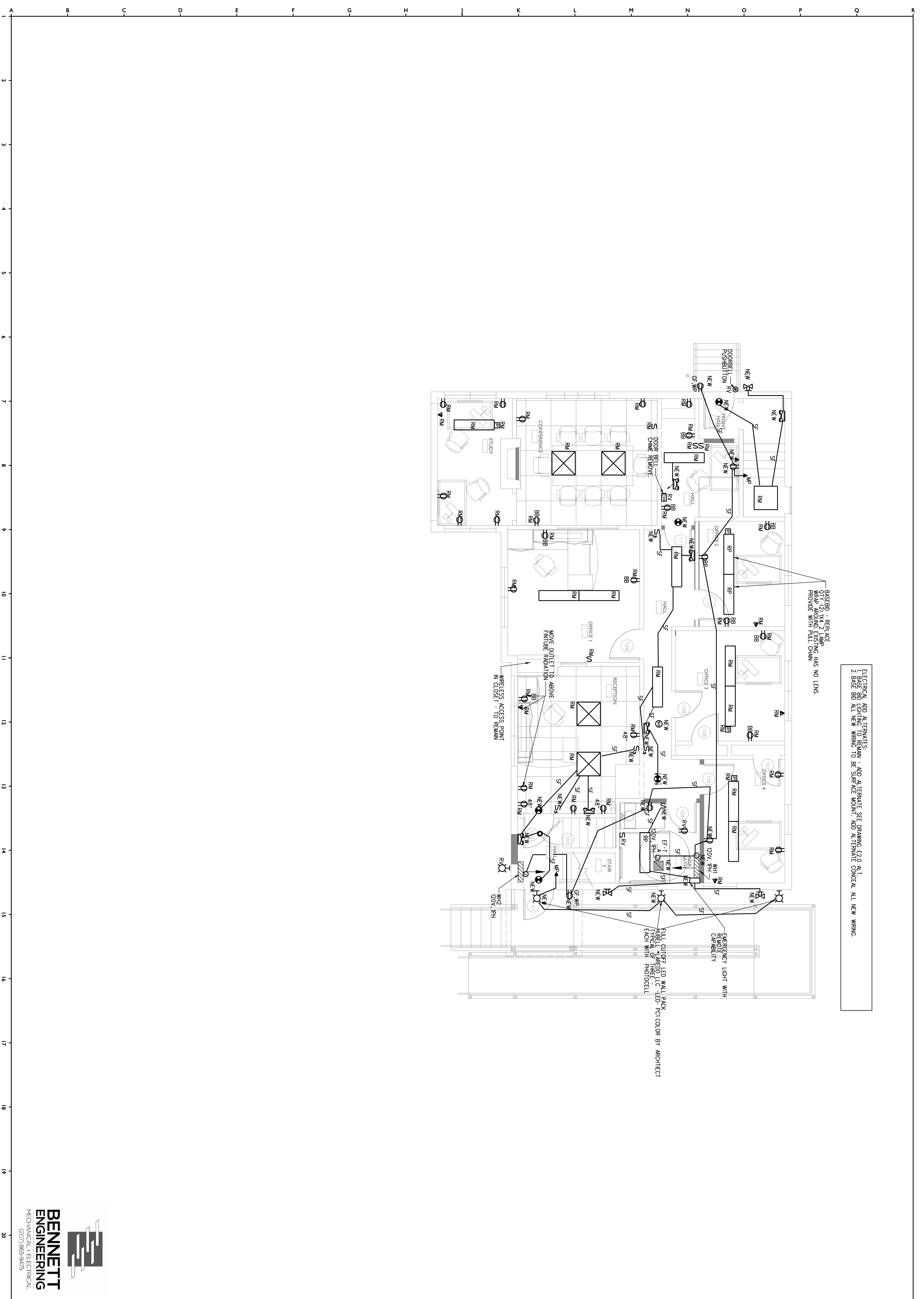
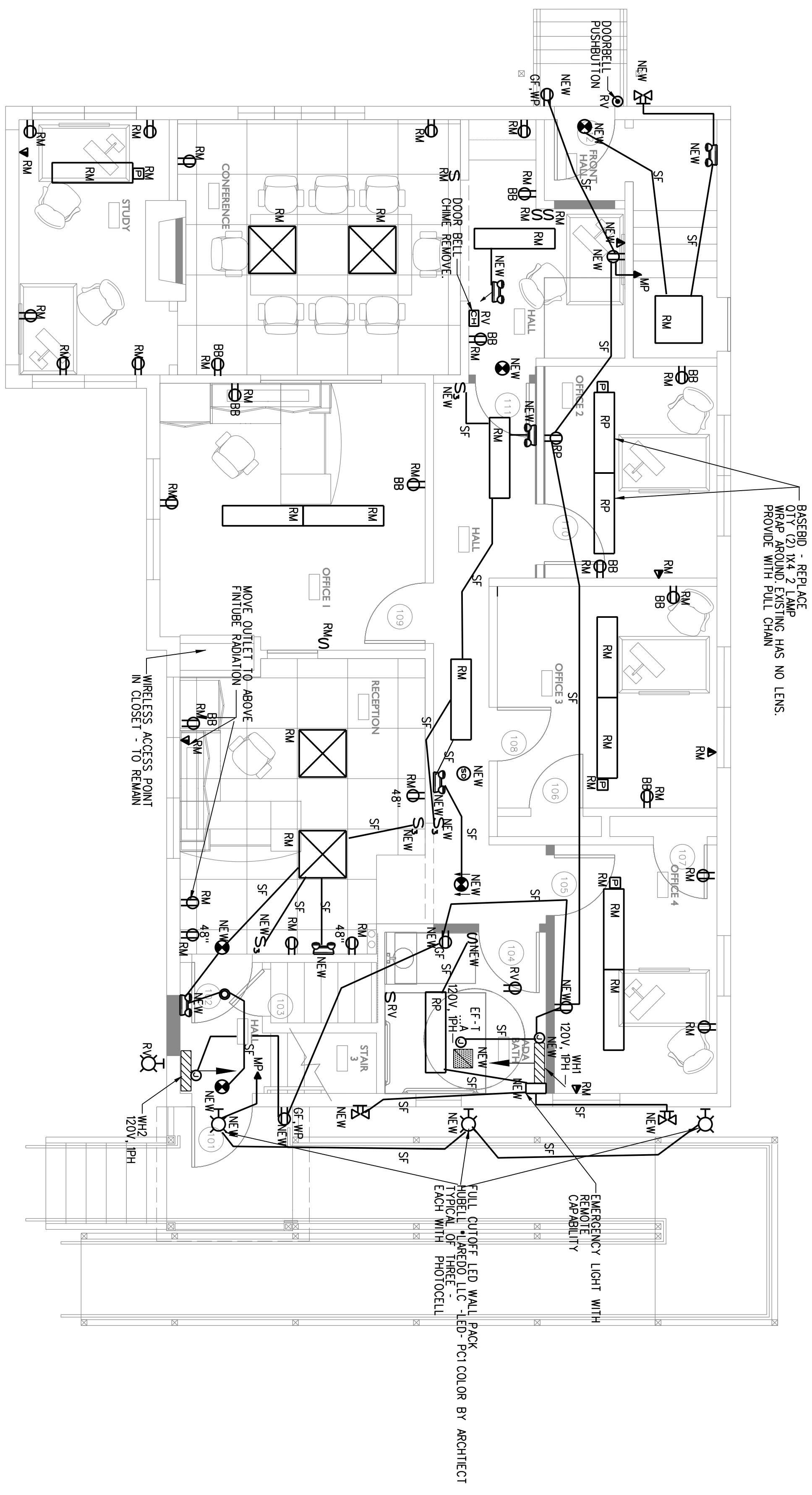
MECHANICAL SECOND FLOOR PLAN

M003

DATE: 4-11-12
PROJECT #: 020412
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CHECKED BY: SP Dool
DRAWING SCALE: 1/4"=1'-0"

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ELECTRICAL ADD ALTERNATES:
 1. ELECTRICAL ADD ALTERNATE SEE DRAWING 622 A1T
 2. BASE BB LIGHTING TO REMAIN - ADD ALTERNATE
 3. BASE BB ALL NEW WIRING TO BE SURFACE MOUNT. ADD ALTERNATE CONCEAL ALL NEW WIRING.



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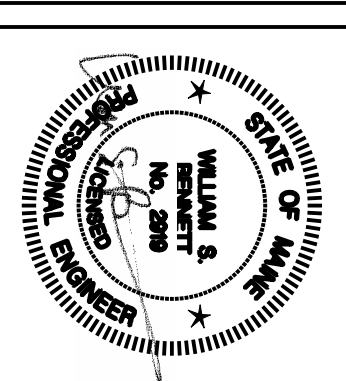
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PROJECT #	020412
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CHECKED BY:	WBSJR
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SHEET TITLE
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 ELECTRICAL PLAN

E2.0

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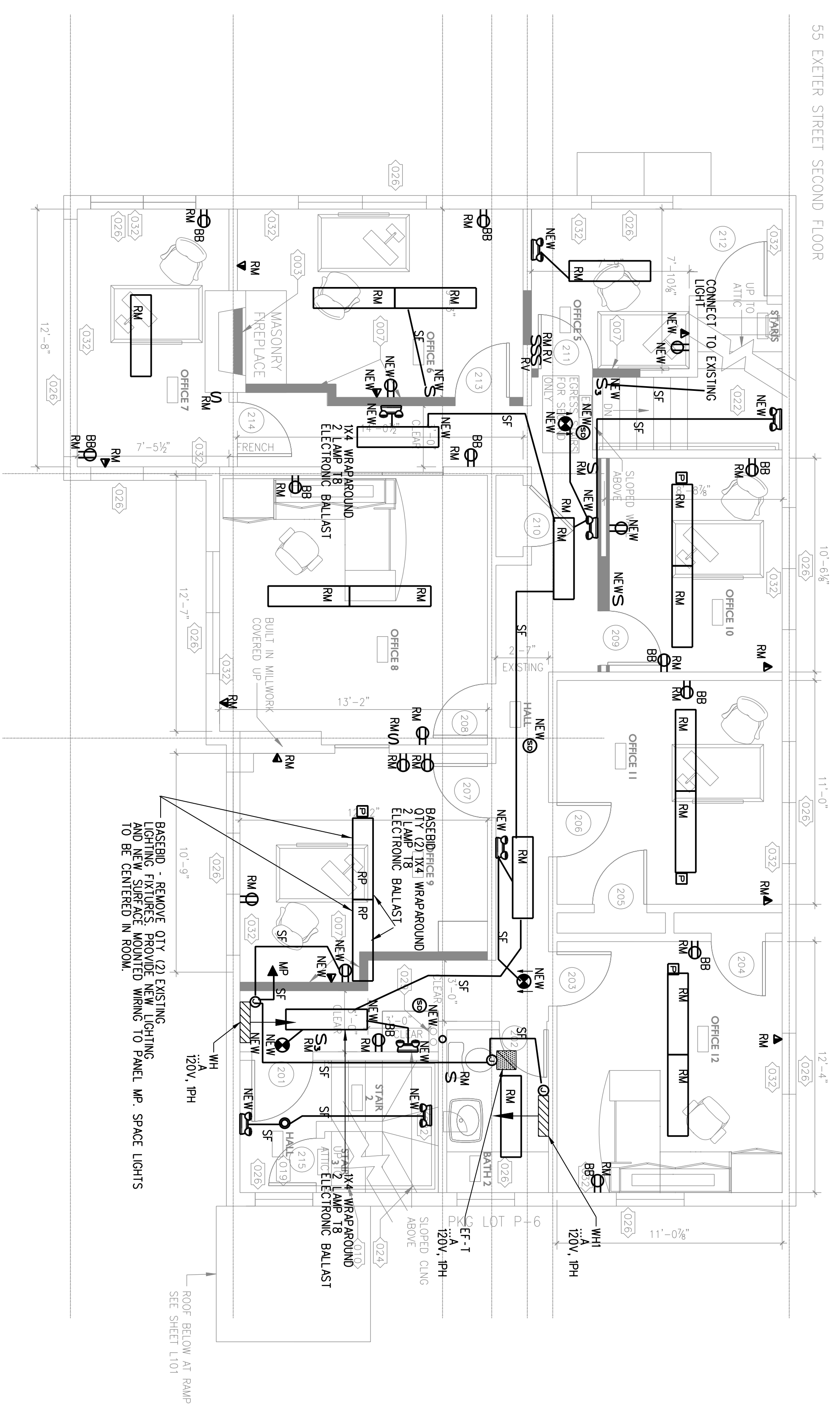
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PROJECT #	020412
DRAWN BY:	lmj
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SHEET TITLE
SECOND FLOOR ELECTRICAL PLAN

E3.0

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ELECTRICAL ADD ALTERNATIVES:
1. BASE BDD LIGHTING TO REMAIN - ADD ALTERNATE SEE DRAWING E2.0 AL1
2. BASE BDD ALL NEW WIRING TO BE SURFACE MOUNT. ADD ALTERNATE CONCEAL ALL NEW WIRING.

A B C D E F G H I K L M N O P Q R

2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

55 EXETER STREET SECOND FLOOR