



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND BUILDING PERMIT



This is to certify that UNIVERSITY OF MAINE

Located At 232 DEERING AVE

Job ID: 2012-04-3855-SOB

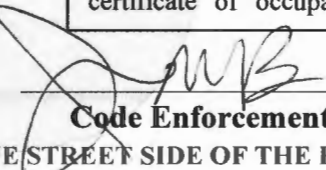
CBL: 051- E-001-001

has permission to Install 6 Panel Antennas & Equipment cabinets on the roof for: US Cellular
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 6/1/12
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-04-3855-SOB

Located At: 232 DEERING AVE

CBL: 051- E-001-001

Conditions of Approval:

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Equipment shall be installed in compliance with the manufacturer's specifications and the UL listing.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-04-3855-SOB	Date Applied: 4/25/2012	CBL: 051- E-001-001	
Location of Construction: 232 DEERING AVE (U ME Law School)	Owner Name: UNIVERISITY OF MAINE	Owner Address: 107 MAINE AVE BANGOR, ME 04401	Phone:
Business Name:	Contractor Name: PCS Construction – Pat Heelan	Contractor Address: 128 Burnham Rd., Scarborough ME 04074	Phone: (207) 839-2076
Lessee/Buyer's Name: U.S. Cellular – KJK Wireless, LLC- Peter Marchant	Phone: 781-640-8006	Permit Type: COMM EQUIP - Communications Equipment	Zone: R-T-VS.M overlay
Past Use: University of Maine Law School	Proposed Use: Same – Law School – install 6 antennas & equipment cabinets on roof	Cost of Work: 98000.00	CEO District:
		Fire Dept: ☒ Approved w/conditions ☐ Denied ☐ N/A Signature: <i>Capt. Heelan</i>	Inspection: Use Group: B Type: N/A IBC-2009 Signature: <i>Am B</i> 6/1/12
Proposed Project Description: Install 6 Panel Antennas & Equip		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews

☐ Shoreland
☐ Wetlands
☐ Flood Zone
☐ Subdivision
☐ Site Plan

☐ Maj ☐ Min ☐ MM

Date:

Zoning Appeal

☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Date:

Historic Preservation

☒ Not in Dist or Landmark
☐ Does not Require Review
☐ Requires Review
☐ Approved
☐ Approved w/Conditions
☐ Denied

Date: *Am B*

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



General Building Permit Application

2012-04-3858-SOB

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 232 Deering Ave		
Total Square Footage of Proposed Structure/Area 6 antennas, equipt cabinets - Approx. 351 sq ft Total		Square Footage of Lot 1.48 Acres
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 051 E001001	Applicant * <u>must</u> be owner, Lessee or Buyer* Name U.S. Cellular - C/o: KJK Wireless, LLC Address 127 Ridge Rd City, State & Zip Nashua, NH 03062	Telephone: Peter Marchant 781-640-8006
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name University of Maine Address 107 Maine Ave City, State & Zip Bangor, ME 04401	Cost Of Work: \$ 98,000.00 <i>Admin</i> Cost Fee: \$ 50.00 Total Fee: \$ 300.00 1050.00
Current legal use (i.e. single family) <u>University of Maine - Law Building</u> If vacant, what was the previous use? <u>n/a</u> Proposed Specific use: <u>Personal Wireless Facility - Roof Top</u> Is property part of a subdivision? <u>n/a</u> If yes, please name _____ Project description: <u>Install 6 Panel antennas and Equipment cabinets on Roof of Law Building</u>		
Contractor's name: <u>PCS Construction / Pat Heelan</u> Address: <u>128 Burnham Rd.</u> City, State & Zip <u>Scarborough, ME 04074</u> Who should we contact when the permit is ready: <u>Peter Marchant -KJK Wireless, LLC</u> Mailing address: <u>127 Ridge Rd., Nashua, NH 03062</u> <u>peter@kjkwireless.com</u>		

RECEIVED

APR 25 2012

Tele. 603-889-2076
City of Portland
Dept. of Building Inspections

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Signature]*

Date: 4-20-12

This is not a permit; you may not commence ANY work until the permit is issue



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 1353

Tender Amount: 300.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 4/25/2012

Receipt Number: 43251

Receipt Details:

Referance ID:	6270	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	300.00	Charge Amount:	1000.00
Job ID: Job ID: 2012-04-3855-SOB - Install 6 Panel Antennas & Equip			
Additional Comments: 232 Deering; 2 of 2			

Thank You for your Payment!



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 7658

Tender Amount: 700.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/1/2012

Receipt Number: 43460

Receipt Details:

Referance ID:	6270	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	700.00	Charge Amount:	700.00
Job ID: Job ID: 2012-04-3855-SOB - Install 6 Panel Antennas & Equip			
Additional Comments: 232 Deering			

Thank You for your Payment!

KJK WIRELESS

Site Acquisition, Leasing and Zoning

Phone: (781) 640-8006

Peter@kjkwireless.com

127 Ridge Road
Nashua, NH 03062

Fax: (603) 386-6106

April 27, 2012

City of Portland
Brad Saucier
Inspections Division
389 Congress St
Room 308
Portland, ME 04101

RECEIVED
MAY 01 2012
Dept. of Building Inspections
City of Portland Maine

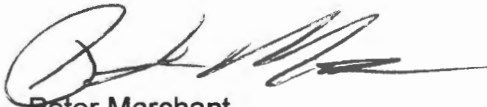
RE: US Cellular proposed Personal Wireless Services Facility at U. Maine Law Building – Deering Ave. Building Permit

Brad:

Per our discussion last week – Please see enclosed check in the amount of \$700.00 representing balance owed for U.S. Cellular Building Permit.

Thanks

Sincerely,



Peter Marchant
Agent for USCC

232 Deering

Brad Saucier - RE: US Cellular - University of Maine - Law Building: Permit Application

From: Brad Saucier
To: Peter Marchant
Date: 4/25/2012 4:09 PM
Subject: RE: US Cellular - University of Maine - Law Building: Permit Application
CC: Lannie Dobson

Peter, I apologize. I have no idea where my head was when I told you the building permit fee was only \$300...It should be \$1000 plus the Admin Authorization fee of \$50. In total, this permit costs \$1050. You have sent me a check for \$350 which means you still owe \$700.

The fee structure is based on your total job. You stated your total job to be \$98,000.

The first \$1000 = \$30

Every \$1000 after that is \$10

(\$97,000/1000=\$970 + \$30 = \$1000 total building fee.)

I will enter the permit, but it will NOT be issued until the rest of the fee is received. We do take MC/Visa or you could just send it (please send it to my attention).

I apologize again....

Brad Saucier

Administrative Assistant
 Inspections Division
 City of Portland
 (207) 874-8703

>>> "Peter Marchant" <Peter@kjkwireless.com> 4/20/2012 12:36 PM >>>

Thanks

Will get these to you early next week

- Peter

Peter Marchant
 KJK Wireless, LLC
 678 Ford Quint Rd.
 North Berwick, ME 03906
 Cell: (781) 640-8006
 Fax : (603) 386-6106

From: Brad Saucier [mailto:BJS@portlandmaine.gov]
Sent: Friday, April 20, 2012 12:30 PM
To: Peter Marchant
Cc: Lannie Dobson
Subject: RE: US Cellular - University of Maine - Law Building: Permit Application

One full size (stamped) set and a set of PDF's

Brad Saucier

Administrative Assistant
Inspections Division
City of Portland
(207) 874-8703

>>> "Peter Marchant" <Peter@kjkwireless.com> 4/20/2012 10:37 AM >>>
Thanks Brad,

How many (and what size) sets of plans do you need?
I print everything out and get to you (with check of \$350)

Thanks
- Peter

Peter Marchant
KJK Wireless, LLC
678 Ford Quint Rd.
North Berwick, ME 03906
Cell: (781) 640-8006
Fax : (603) 386-6106

From: Brad Saucier [<mailto:BJs@portlandmaine.gov>]
Sent: Friday, April 20, 2012 10:18 AM
To: Peter Marchant
Cc: Lannie Dobson
Subject: Re: US Cellular - University of Maine - Law Building: Permit Application

Hi Peter, I can take care of this for you. The building fee you stated is correct, however, you will also need an Administrative Authorization, which I've attached the permit for. This is a requirement and another process; and thereby another fee (\$50.) Once all the hard copies and fees are received, I will put into the system. Thanks.

Brad Saucier

Administrative Assistant
Inspections Division
City of Portland
(207) 874-8703

>>> "Peter Marchant" <Peter@kjkwireless.com> 4/20/2012 9:21 AM >>>
Hi Lannie:

Attached are the Plans, Structural and BP App for U.S. Cellular's proposed install on roof top of the U. Maine Law Building –Deering Ave.

We are proposing to install 6 panel antennas and equipment cabinets on roof top (along side AT&T's current install)

Can you let me know how many sets of plans you would like and how many...
Also – I calculated fee at \$300.00 – Please confirm.

I will get hard copies of the attached and mail/ drop off to you

Thanks very Much – Feel free to call with any questions

- Peter

Peter Marchant
KJK Wireless, LLC
Agent for US Cellular
9 Holden St.
Peabody, MA 01960
Cell: (781) 640-8006
Fax : (603) 386-6106

KJK WIRELESS

Site Acquisition, Leasing and Zoning

Phone: (781) 640-8006

Peter@kjkwireless.com

127 Ridge Road
Nashua, NH 03062

Fax: (603) 386-6106

April 24, 2012

City of Portland
Brad Saucier
Inspections Division
389 Congress St
Room 308
Portland, ME 04101

RE: US Cellular proposed Personal Wireless Services Facility at U. Maine Law Building – Deering Ave. Building Permit

Dear Mr. Saucier:

Attached please find US Cellular's (the Applicant) Building Permit application for its proposed Personal Wireless Facility at U. Maine Law School on Deering Ave. Please see enclosed applications, Structural and set of plans depicting the applicants proposed install.

The Applicant proposes to install 6 Panel antennas atop the Roof while locating its appurtenant communications equipment in cabinets to be placed on 7'x18' platform.

I am also enclosing a check in the amount of \$350.00 to cover the building permit fee.

Once reviewed / approved – could you please mail BP to:

**Peter Marchant
KJK Wireless, llc
127 Ridge Rd
Nashua, NH 03062**

Thank you in advance, please feel free to call me with any questions (781-640-8006).

Sincerely,



Peter Marchant
Agent for USCC



April 12, 2012

Kenneth Kozyra
KJK Wireless, LLC
127 Ridge Road
Nashua, NH 03062

SUBJECT: US Cellular Oakdale (853488)
Structural Report

Dear Ken:

On Thursday, October 6, 2011, AMEC Environment & Infrastructure (AMEC) conducted a site visit of the proposed cellular site #853488 on the roof of the building located at 246 Deering Avenue in Portland, Maine. It is our understanding that you intend to install the following new equipment at this location:

- (1) Ericsson RBS 6102 cabinet, weighing approximately 2,000 pounds
- (1) Ericsson SBE unit, weighing approximately 2,700 pounds
- (1) Ericsson CDMA cabinet, weighing approximately 2,200 pounds
- (3) Ericsson RRUS-11 cabinets, weighing approximately 55 pounds each
- (1) Emerson CAC-A32214090 cabinet, weighing approximately 30 pounds
- (12) Kathrein-Scale 800 10168 antennas

Our office performed a structural analysis of the as-built condition including the existing and new equipment loads. The results of our analysis found that the existing roof deck and framing is structurally adequate to support the existing equipment in the locations shown on the design drawings.

Provided the details given in the design drawings prepared by AMEC dated April 12, 2012 are followed, the proposed new equipment will not affect the structural integrity of the building and meet the IBC 2009 building code requirements.

Ken Kozyra
April 12, 2012
Page 2

If you have an additional questions or comments, please don't hesitate to call us

Sincerely,
AMEC Environment & Infrastructure, Inc.

Jeffrey D. Evans, P.E.

Michael S. Deletetsky, P.E.

JDE:lap

cc: Chris Mims – AMEC E&I

S:\413 Kenneth J. Kozyra\41318001 KJK Oakdale USM Law School\KJK Oakdale USM structural letter.doc



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: U.S. Cellular - U. Maine Law School

PROJECT ADDRESS: 232 Deering Ave

CHART/BLOCK/LOT: 051 E001001

APPLICATION FEE: \$50.00 (\$50.00)

5012 04 3855

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: U.S. Cellular, Inc. C/o: KJK Wireless, LLC
Address: 127 Ridge Rd
Nashua, NH 03062
Work #: 781-640-8008
Cell #: 781-640-8006
Fax #: 603-386-6106
Home #:
E-mail: Peter@kjkwireless.com

CONSULTANT/AGENT

Name: KJK Wireless, LLC
Address: 127 Ridge Rd.
Nashua, NH 03062
Work #: 781-640-8006
Cell #: 781-640-8006
Fax #: 603-386-6106
Home #:
E-mail: Peter@kjkwireless.com

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APR 30 2012

City of Portland
Planning Division

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment Planning Division
Y(yes), N(no), N/A

Y(yes), N(no), N/A	Y(yes), N(no), N/A
Roof Top	roof top
equip. Cabinet on Roof	- roof top equipment
Y	y
N	n
N/A	y
N/A	y
N	n
N	n
N	n
Y	y
Y	y
N	n
N/a	N/A
N	N

Signature of Applicant:

Date:

4/23/12

*Barbara - The plans are in the '6' drawer under the permit # 2012-04-3AT.



US Cellular

We connect with you.

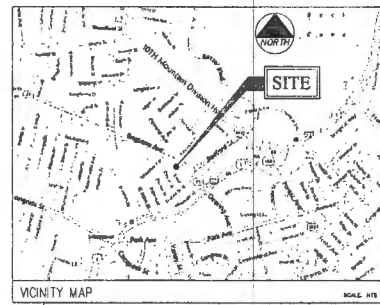
SITE NAME: OAKDALE (PORTLAND, ME)

SITE NO. 853488

LATITUDE: 43° 39' 40.04" (N)

LONGITUDE: 70° 16' 44.07" (W)

SITE NUMBER:	853488
SITE NAME:	OAKDALE
TOWER TYPE:	82' ROOFTOP (EXISTING)
SITE ADDRESS:	246 DEERING AVE PORTLAND, ME 04101
PROPERTY OWNER:	USM-FACILITIES MANAGEMENT 25 BEDFORD STREET PORTLAND, ME 04101 (207) 780-4160
MAP & LOT:	51/C-1
APPLICANT:	U.S. CELLULAR c/o KJR WIRELESS 127 RIDGE ROAD NASHUA, NH 03062 (603) 888-8974
POWER COMPANY:	CENTRAL MAINE POWER COMPANY 1-800-585-3182
TELCO COMPANY:	FAIRPOINT COMMUNICATIONS 1-888-984-2001
CEO OF MUNICIPALITY:	TAMMY MUNSON & BRIAN LAFAMME 389 CONGRESS STREET PORTLAND, ME 04101
PROJECT SUMMARY	



SHEET NO.	DESCRIPTION	DATE	REV. NO.
T-1	TITLE SHEET	4/12/12	0
C-1	PLOT PLAN	4/12/12	0
C-2	SITE PLAN	4/12/12	0
C-3	ANTENNA PLAN & BUILDING ELEVATION	4/12/12	0
S-1	STRUCTURAL DETAILS	4/12/12	0
G-1	GENERAL NOTES	4/12/12	0
SHEET INDEX			

BUILDING REQUIREMENTS:
BUILDING IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED.

PLUMBING REQUIREMENTS:
FACILITY HAS NO PLUMBING.



THIS DRAWING WAS CREATED FOR A FULL SIZE OF 22"x34". IT HAS BEEN REDUCED 50% FOR SUBMISSION PURPOSES.

PORTLAND, OAKDALE, REV. 0 4-12-12

US Cellular
We connect with you.
100 Cornett Drive, Suite B, South Portland, ME 04106

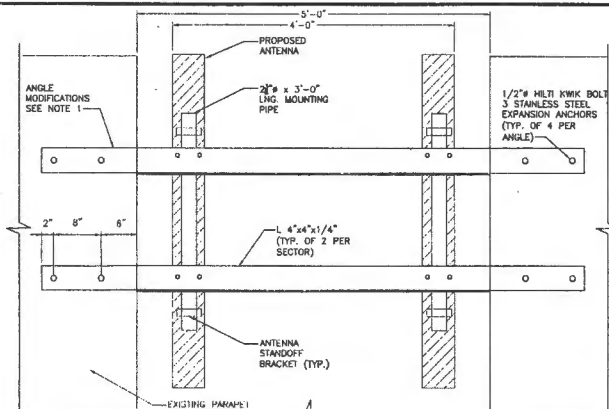
R.F. _____
SA/ZN _____
CONST. _____
N.O.M. _____
P.M. _____

amec
425 State Street, Suite 200, Portland, ME 04101
P: 207.780.4160
AMEC PROJ. NO. 413.180.01

SITE NAME: OAKDALE
SITE NUMBER: 853488
246 DEERING AVE
PORTLAND, ME 04101
Drawing Title: TITLE SHEET

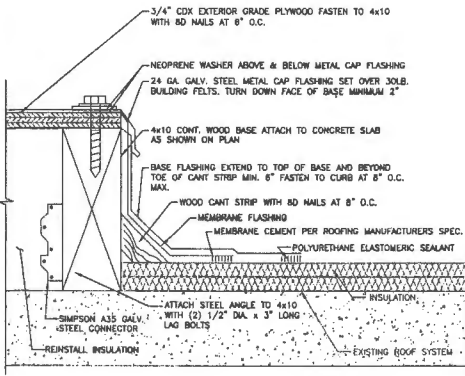
NO.	DESCRIPTION	DATE
0	FOR CONSTRUCTION	
1	MSD	4/12/12
2	CBM	AS NOTED
3	MSD	4/12/12

T-1

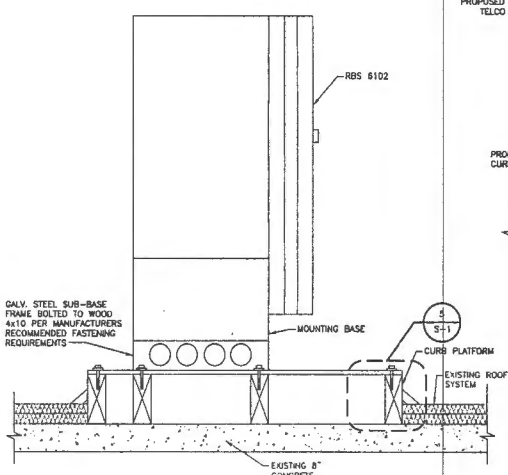


NOTE:
1. CUT AND BEND ANGLE FLUSH WITH PARAPET WING. (TYP. OF 2 PER ANGLE)
2. PRIME AND PAINT ALL MOUNTING BRACKETS AND ANTENNA TO MATCH EXISTING BUILDING FACADE WITH GROUT LINE.

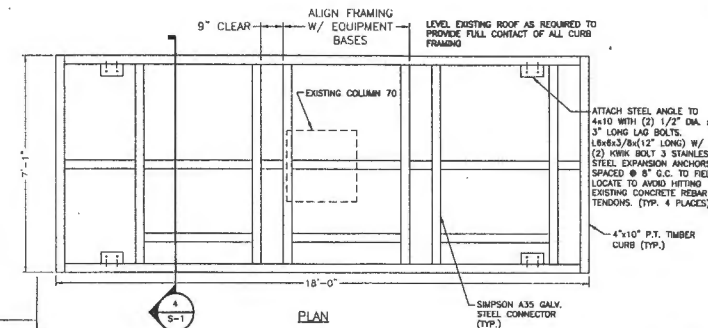
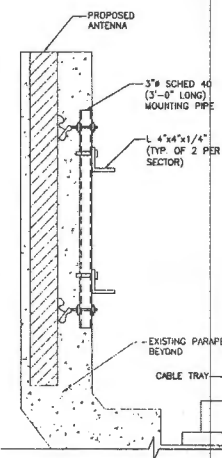
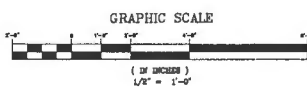
1 ANTENNA MOUNTING DETAILS
SCALE: N.T.S.



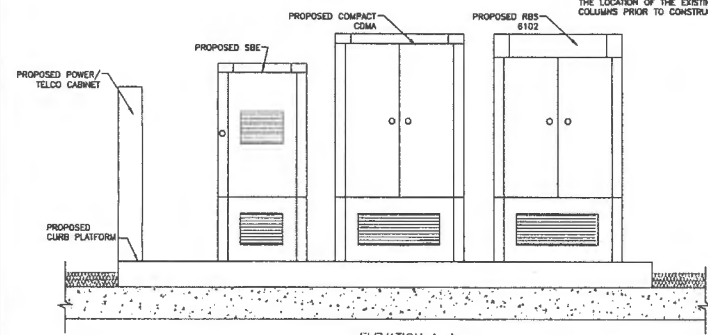
2 DETAIL AT PLATFORM CURB
SCALE: N.T.S.



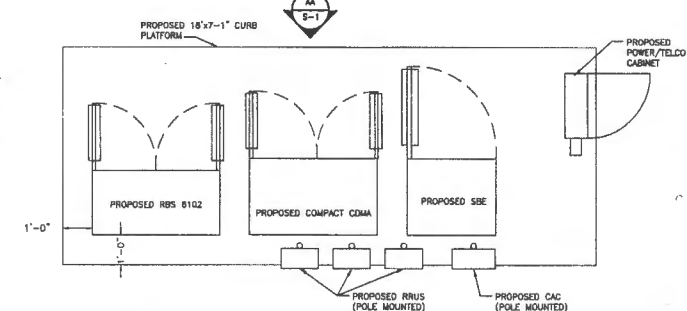
3 SECTION AT RBS UNIT
SCALE: N.T.S.



4 PROPOSED CURB PLATFORM
SCALE: 1/2\"/>



ELEVATION A-A



NOTE:
THE CONTRACTOR SHALL COORDINATE ALL WORK WITH BUILDING OWNER'S ROOFING CONTRACTOR WHO WILL COMPLETE ALL WORK ASSOCIATED WITH THE ROOF. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE BUILDING OWNER'S ROOFING CONTRACTOR BEFORE INSTALLATION OF EQUIPMENT CURB PLATFORM.

5 EQUIPMENT PLATFORM PLAN
SCALE: N.T.S.

CODES

1. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE IRC 2009.

2. ADDITIONAL REFERENCED STANDARDS:

- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION - 13TH EDITION
- AMERICAN IRON AND STEEL INSTITUTE (AISI) SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
- AMERICAN SOCIETY OF CIVIL ENGINEERS ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

3. ALL APPLICABLE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE AMERICANS WITH DISABILITIES ACT (ADA).

GENERAL

- THESE NOTES CONTAIN IMPORTANT PROJECT SPECIFIC INFORMATION. THE CONTRACTOR AND ITS SUBCONTRACTORS (THE CONTRACTORS) MUST THOROUGHLY READ, UNDERSTAND, AND AGREE TO THESE NOTES. ANY QUESTIONS SHALL BE DIRECTED TO THE US CELLULAR CONSTRUCTION MANAGER.
- REFERENCED STANDARDS REFER TO THE LATEST EDITION IN FORCE AT THE TIME THE DOCUMENTS ARE ISSUED FOR BID.
- THE CONTRACTORS ARE SOLELY RESPONSIBLE FOR JOB SAFETY, CONSTRUCTION PROCEDURES, COORDINATION OF THEIR WORK WITH OTHER TRADES AND ON-SITE SECURITY.
- THE BIDDERS ARE REQUIRED TO VISIT THE SITE AND DETERMINE ALL EXISTING CONDITIONS AND LIMITATIONS PRIOR TO SUBMITTING THEIR PROPOSALS. FAILURE TO DO SO WILL, IN NO WAY RELIEVE THE SUCCESSFUL BIDDER FROM FURNISHING ANY MATERIAL OR PERFORMING ANY WORK THAT MAY BE REQUIRED IN ACCORDANCE WITH THE DOCUMENTS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTORS SHALL VERIFY ALL RELEVANT EXISTING CONDITIONS PRIOR TO COMMENCING ANY OTHER WORK. ANY DISCREPANCIES BETWEEN THE NOTES, PLANS, DETAILS, SPECIFICATIONS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE US CELLULAR CONSTRUCTION MANAGER'S ATTENTION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- CONTRACTORS SHALL COORDINATE WORK WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OWNER'S OPERATIONS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHEETING, SHORING, AND BRACING DURING CONSTRUCTION.
- THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. IN ANY CASE OF CONFLICT BETWEEN THE NOTES, DRAWINGS AND DETAILS, THE MOST RIGID (MOST COSTLY) REQUIREMENTS SHALL BE ASSUMED FOR BIDDING PURPOSES BUT ANY CONFLICTS MUST BE RESOLVED IN WRITING BY THE ENGINEER BEFORE THE WORK IS IMPLEMENTED.
- THE CONTRACTOR SHALL CONTACT ALL INVOLVED UTILITY COMPANIES AND LOCATE ALL UNDERGROUND UTILITIES IN THE VICINITY OF THE WORK BEFORE PROCEEDING WITH ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES FROM DAMAGE.
- SHOP DRAWINGS FOR ALL MATERIALS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO THE START OF FABRICATION. ONE PRINT OF SHOP DRAWINGS WILL BE RETURNED THROUGH THE US CELLULAR CONSTRUCTION MANAGER.
- MINOR DETAILS OR INCIDENTAL ITEMS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR A PROPER AND COMPLETE INSTALLATION SHALL BE INCLUDED AS REQUIRED.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHORING AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO PERFORMANCE OF THE WORK SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ENGINEER AND US CELLULAR CONSTRUCTION MANAGER.
- ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTORS SHALL MAKE NO DEVIATION FROM THE DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE US CELLULAR CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP ON A DAILY BASIS AND SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS IN THE VICINITY OF THE WORK.
- WORK NOT INDICATED ON THE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES OR IS AN ACCEPTED GENERAL CONSTRUCTION STANDARD SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- WHERE SPECIAL INSPECTIONS ARE REQUIRED BY THE BUILDING OFFICIAL, THE OWNER SHALL CONTRACT DIRECTLY WITH AN APPROVED INSPECTOR. THE CONTRACTOR SHALL COORDINATE THE SPECIAL INSPECTION PHASES OF THE WORK AND SHALL NOT CONCEAL WORK UNTIL THE INSPECTION IS COMPLETE AND APPROVED.

STRUCTURAL AND MISCELLANEOUS STEEL GENERAL CONSTRUCTION DETAILS

- STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AISC - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - (13TH EDITION).
- HIGH STRENGTH BOLTS SHALL BE IN ACCORDANCE WITH AISC - SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR 490 BOLTS.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USE AWS PREQUALIFIED JOINT DETAILS.
- STRUCTURAL STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:
 - CONNECTION MATERIAL, EMBEDDED ITEMS, HOT ROLLED STRUCTURAL SHAPES, BASE PLATES AND MIS. STEEL, ASTM A36
 - STRUCTURAL TUBES ASTM A500 GRADE B
 - STEEL PIPE, ASTM A53, GRADE B
 - STRUCTURAL BOLTS, ASTM A325, L16.0
 - ANCHOR BOLTS, ASTM A307 OR ASTM A307C
 - THREADS, RODS, ASTM A36 OR ASTM A307
 - WELDING ELECTRODES, E70XX

5. ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123.

GROUNDING NOTES:

- ALL DETAILS ARE SHOWN DIAGNOMATICALLY. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS PER US CELLULAR GROUNDING STANDARDS REV. MARCH 2008.
- ALL GROUND WIRE SHALL BE BARE THINNED COPPER #2 AWG UNLESS OTHERWISE NOTED.
- ALL GROUND WIRE SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADES, BENDS AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
- ELECTRICAL CONTRACTOR SHALL COORDINATE CONNECTIONS TO EXISTING GROUND RINGS WITH SITE CONSTRUCTION MANAGER.
- EACH EQUIPMENT CABINET SHALL BE CONNECTED TO THE MASTER ISOLATION GROUND BAR (MGB) WITH #2 AWG INSULATED STRANDED COPPER ISOLATION GROUNDING CABLES (IGC) HAVE (2) CONNECTIONS UNLESS NOTED OTHERWISE. GROUNDING INSTALLATION SHALL BE IN ACCORDANCE WITH THE EQUIPMENT SITE SPECIFICATIONS GUIDELINES.
- PROVIDE DEDICATED #2 AWG COPPER GROUND WIRE FROM EACH ANTENNA MOUNTING PIPE TO ASSOCIATED GDBE (TYPICAL FOR TWO MOUNTING PIPES PER SECTION).
- ANTENNA GROUND KITS SHALL BE FURNISHED BY US CELLULAR AND INSTALLED BY RF CONTRACTOR.
- GROUND SYSTEM SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS.
- THE FACILITY GROUNDING RING WILL CONSIST OF A GROUND WIRE MADE OF #2 AWG SOLID THINNED COPPER WIRE THAT WILL SURROUND THE BUILDING, TOWER OR OTHER ABOVE GROUND STRUCTURE. IT MUST CONSIST OF AT LEAST 20 FEET OF BARE COPPER CONDUCTION.
- THE GROUND RING WILL BE INSTALLED AT A MINIMUM DEPTH OF 2 FEET. IN AREAS HAVING A DESIGNATED FROST LINE BELOW 2 FEET, THE GROUND RING WILL BE INSTALLED AT A DEPTH OF 8 INCHES BELOW THE PREDETERMINED FROST LINE.
- THE GROUNDING RING WILL BE INSTALLED A MINIMUM OF 2-3 FEET FROM THE BUILDING FOUNDATION AND BEYOND THE BUILDING DRIP LINE, PREFERABLY AROUND THE ENTIRE STRUCTURE. ALTERNATE EARTH GROUND SYSTEM MAY BE ACCEPTABLE WITH USCC APPROVAL.
- GROUND ROD WILL BE EXTERNALLY WELDED OR COMPRESSION CRIMPED TO THE RING AND DRIVEN INTO THE GROUND TO THE APPROPRIATE DEPTH (20" BELOW THE FROST LINE, WHICHEVER IS GREATER) AND AT THE APPROPRIATE SPACING (TYPICALLY ONE-ROD LENGTH MINIMUM/TWO-ROD LENGTH MAXIMUM) BETWEEN RODS. GROUND RODS SIZING WILL BE A MINIMUM OF 10 FEET LONG, AND 3/4".

EROSION AND SEDIMENT CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED DEVELOPMENT.

COAXIAL-CABLE BRIDGE NOTES

- ALL BRIDGE KITS SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- STRUCTURAL STEEL SHALL BE ASTM A36. PIPE SHALL BE ASTM A53, GRADE B (SEAMLESS).
- EXTERIOR STEEL SHALL BE HOT-DIP GALVANIZED, AFTER FABRICATION AND WELDING, TO ASTM A123. HARDWARE SHALL BE EITHER A325 STEEL, GALVANIZED TO ASTM A153, OR 18-8 STAINLESS.
- SIZE, NUMBER AND POSITION OF COAXIAL CABLES MAY VARY.
- POSITION BRIDGE ASSEMBLY SO THAT COAXIAL CABLES INTERSECT AT LADDER CENTERLINE. HEIGHT ABOVE GROUND MAY VARY ACCORDING TO SITE LAYOUT.
- FOUNDATION SHALL BE 12" DIA. SCHEDULE 40" DEEP BELOW GRADE AND 4" ABOVE GRADE FILLED WITH 4000 psi CONCRETE WITH 3/4" MAXIMUM AGGREGATE.
- FOR BURIED LEGS AT LESS THAN 3'-0" BELOW FINISHED GRADE, CORE 8" DIA. HOLE INTO LEGS 18" DEEP. EMBED CABLE BRIDGE COLUMN TO BOTTOM OF HOLE. FILL AROUND PIPE WITH NON-SHRINKING GROUT. USE COAL TAR ON BURIED LENGTH OF PIPE AND BACKFILL TO FINISHED GRADE.
- FOR POSTS ON CONCRETE OR EXPOSED LEGS, PROVIDE 8"x6"x5/8" BASEPLATE ANCHORED SHOWN ON PLAN.

THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE IMPLEMENTED TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ABUTTING LANDS:

- PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SITUATION FENCE WILL BE INSTALLED ALONG THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION.
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE SWALES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL MESH WILL ALSO BE INSTALLED IN ALL DITCH TO BE REVEGETATED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING.
- ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES WILL BE STABILIZED WITH EROSION CONTROL MESH TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOADING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, SNIPWILL BE PLACED AT ALL STORM DRAIN INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
- IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COURSE.
- WATNE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SITUATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BURNS WILL BE CONSTRUCTED TO DIVERGE STORMWATER RUNOFF AWAY FROM THE PILES.
- ALL SITUATION FENCE AND HAY BALE BARRIERS WILL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2 INCH OR MORE) OR SNOWMELT. ALL DAMAGED EROSION CONTROL DEVICES WILL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT WILL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SITUATION FENCE OR HAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION WILL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS WILL BE GRASSED AND SMOOTHED, THEN SEEDING TO A WINTER COVER CROP OF RYE AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO RYE SEEDING: GROUND LIMESTONE AT A RATE OF 130 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. HAY MULCH WILL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1, THEN ON THAT DATE HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WINTER PROTECTION. IF RYE DOES NOT MAKE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE HAY MULCH SHALL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. A SUITABLE BINDER SUCH AS GUANO OR RABBIT PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL. BIODEGRADABLE NETTING WILL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.
- INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.

SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE. INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER INDICATIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAW.

SEEDING AND REVEGETATION PLAN

UPON COMPLETION OF SITE CONSTRUCTION, ALL AREAS PREVIOUSLY DISTURBED WILL BE TREATED AS STATED BELOW. THESE AREAS WILL BE CLOSELY MONITORED BY THE CONTRACTOR UNTIL, SUCH TIME AS A SATISFACTORY GROWTH OF VEGETATION IS ESTABLISHED.

- LOAM WILL BE SPREAD OVER ALL DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH OF 4 INCHES.
- THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING: AGRICULTURAL LIMESTONE AT THE RATE OF 130 POUNDS PER 1,000 SQUARE FEET, FOLLOWED BY 10-10-10 FERTILIZER AT THE RATE OF 14 POUNDS PER 1,000 SQUARE FEET.
- DISTURBED AREAS WILL BE SEEDING AT THE RATE OF 100 LBS./ACRE OF MIXED SLOPE SEED TYPE 44 AND 20 LBS./ACRE OF CROWN VETCH.
- SEEDING WILL BE COMPLETED BETWEEN THE DATES OF APRIL 1 AND SEPTEMBER 15. WATERING MAY BE REQUIRED DURING DRY PERIODS.
- HAY MULCH WILL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. MULCH SHALL BE ANCHORED BY WATERING OR TRACKING BY BULLDOZER FLAT AREAS, USING ANCHORING EXCAVATION OR TRACKING BY BULLDOZER ON AREAS OF MODERATE SLOPES AND INSTALLING BIODEGRADABLE NETS ON STEEP SLOPES (3:1 AND STEEPER).
- ALL SEDIMENT CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 75% OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.

DIMENSIONAL LUMBER NOTES:

- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AIA TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE NPPA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) LATEST EDITION.
- SPRINKLER LUMBER SHALL CONFORM TO THE FOLLOWING:
 - UNTRATED DIMENSION LUMBER, NO. 2 SPRUCE PINE FIR OR BETTER
 - UNTRATED DIMENSION LUMBER, NO. 1 SOUTHERN YELLOW PINE OR BETTER
 - ROOF AND WALL SHEATHING: APA RATED SHEATHING
- PROVIDE TREATED DIMENSION LUMBER FOR ALL MEMBERS IN CONTACT WITH CONCRETE OR MASONRY. LUMBER EXPOSED TO WEATHER, AND WHERE INDICATED ON THE DRAWINGS, LUMBER SHALL BE TREATED PER APA STANDARD U1 (COMMODITY SPECIFICATION A OR F). CROAKED COPPER ARSINATE (CCA) SHALL NOT BE USED WHEN FRAMING IS EXPOSED TO HUMAN CONTACT SUCH AS DECKING. SUBSTITUTIONS UTILIZING NATURALLY RESISTANT SPECIES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. ALL FASTENERS, NAILS, PLATES, AND ALL OTHER METAL IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL (SS) OR HOT-DIPPED GALVANIZED.
- PROVIDE CONNECTION HARDWARE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL. CONNECTION HARDWARE AND FASTENERS SHALL BE HOT-DIP GALVANIZED PER ASTM A653 (G16), ZN40 OR APPROVED (EQUAL). LUMBER CONNECTION HARDWARE AND FASTENERS EXPOSED TO EXTERNAL, BELOW GRADE, MARINE, OR OTHER ENVIRONMENT REQUIRING PROTECTION FROM ACIDURIE AND/OR INSECTS SHALL BE TYPE 316, STAINLESS STEEL, LUMBER.

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20 April 2012
MICHAEL S. BULLHETT
REGISTERED PROFESSIONAL ENGINEER
NO. 50523

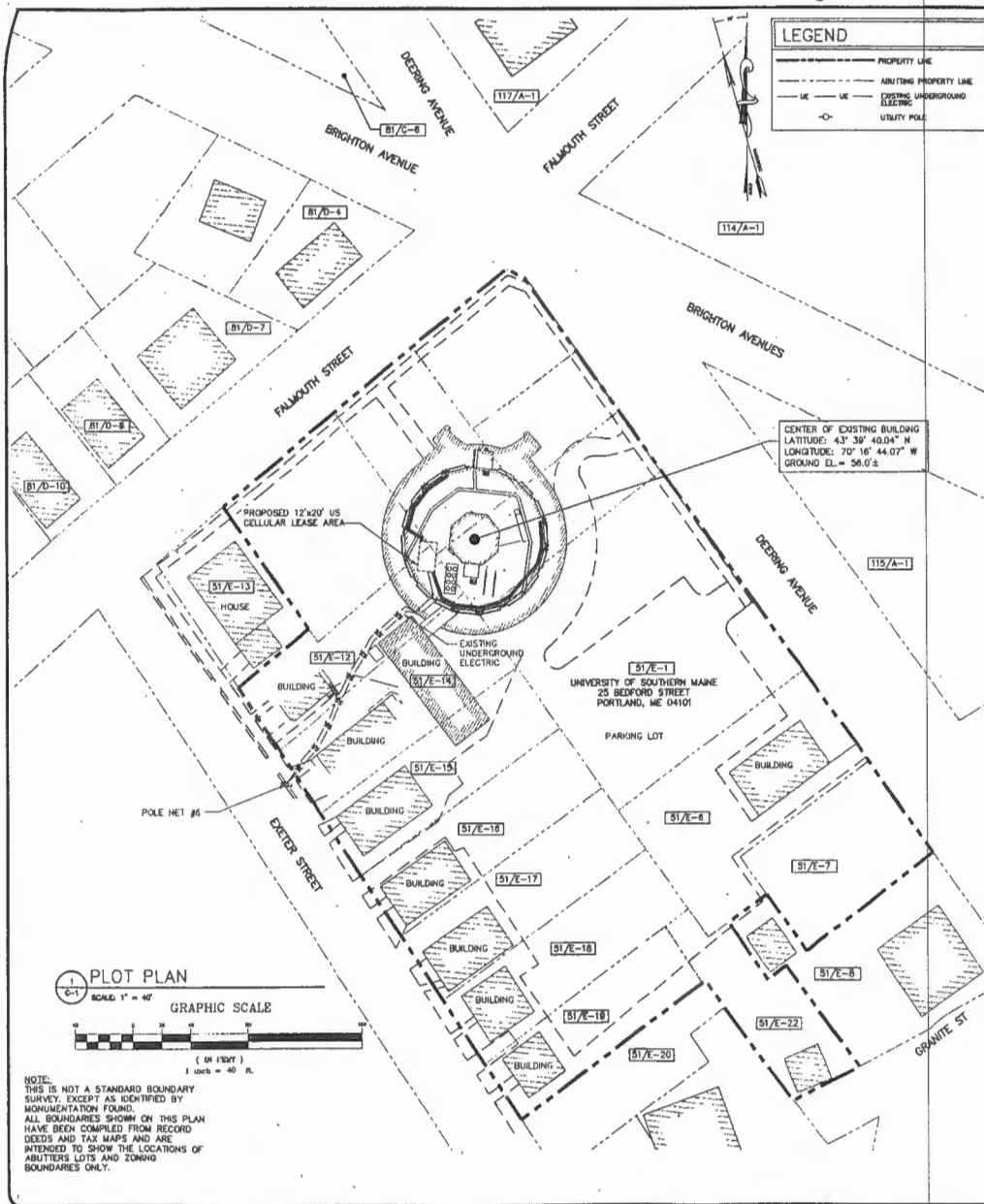
amec
343 Conant Road, Suite 100
P.O. Box 174, South Portland, ME 04065
AMEC PROJ. NO. 413.180.01

NO.	DESCRIPTION	DATE
0	FOR CONSTRUCTION USE	
1	DESIGNED BY: MSD	DATE: 4/12/12
2	CHECKED BY: CBM	DATE: AS NOTED
3	DESIGNED BY: MSD	DATE: 4/15/180.01
4	DATE: 4/15/180.01	



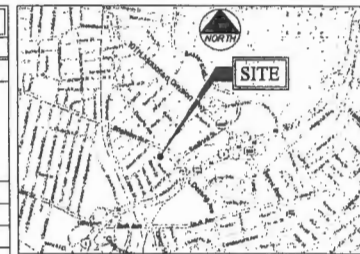
ANTENNA AND COAXIAL CABLE SCHEDULE										
ANTENNA MARK	SECTOR	ANTENNA	COAX CABLE FEED LOC	AZIMUTH (TRUE NORTH)	AZIMUTH (MAGNETIC NORTH)	RAD CENTER	COAXIAL CABLE LENGTH	COAXIAL CABLE	COLOR CODE	MECHANIC DOWNTIME
A1	ALPHA	800 10618	BOTTOM	340°	356°	85°	90'	AWA-50 1 5/8" ANORW	R	0°
A2	1	800 10618	BOTTOM	340°	356°	85°	90'	AWA-50 1 5/8" ANORW	R(2X)	0°
B1	BETA	800 10618	BOTTOM	100°	118°	85°	150'	AWA-50 1 5/8" ANORW	W	0°
B2	2	800 10618	BOTTOM	100°	118°	85°	150'	AWA-50 1 5/8" ANORW	W(2X)	0°
G1	GAMMA	800 10618	BOTTOM	220°	236°	85°	90'	AWA-50 1 5/8" ANORW	B	0°
G2	3	800 10618	BOTTOM	220°	236°	85°	90'	AWA-50 1 5/8" ANORW	B(2X)	0°

ANTENNA AND COAXIAL CABLE SCHEDULE										
ANTENNA MARK	SECTOR	ANTENNA	COAX CABLE FEED LOC	AZIMUTH (TRUE NORTH)	AZIMUTH (MAGNETIC NORTH)	RAD CENTER	COAXIAL CABLE LENGTH	COAXIAL CABLE	COLOR CODE	MECHANIC DOWNTIME
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B1	BETA	800 10618	BOTTOM	100°	118°	85°	150'	AWA-50 1 5/8" ANORW	W	0°
B2	2	800 10618	BOTTOM	100°	118°	85°	150'	AWA-50 1 5/8" ANORW	W(2X)	0°
G1	GAMMA	800 10618	BOTTOM	220°	236°	85°	90'	AWA-50 1 5/8" ANORW	B	0°
G2	3	800 10618	BOTTOM	220°	236°	85°	90'	AWA-50 1 5/8" ANORW	B(2X)	0°



LIST OF ABUTTERS		
CITY OF PORTLAND		
MAP/LOT	RECORD OWNER	ADDRESS
51/E-3	UNIVERSITY OF MAINE	107 MAINE AVE BANGOR, ME 04401
51/E-12		
51/E-14		
51/E-15		
51/E-16		
51/E-17		
51/E-18		
51/E-19		
51/E-22		
114/A-1		
51/E-8	JOSEPH S. & MARTHA MARQUES	216 DEERING AVENUE PORTLAND, ME 04102
51/E-11	JOSEPH CLINTON RAY	150 FALMOUTH STREET PORTLAND, ME 04102
51/E-20	WILLIAM CARLSON	37 EXETER STREET PORTLAND, ME 04102
51/E-8	CITY OF PORTLAND	308 CONGRESS STREET PORTLAND, ME 04101
115/A-1	DONNA BETH DAVIS	133 FALMOUTH STREET PORTLAND, ME 04101
51/D-4	MICHAEL C. & ELLEN MONAGHAN	100 COMMERCIAL STREET PORTLAND, ME 04101
51/D-7	MATTHEW J. & KAREN E. MONAGHAN	148 FALMOUTH STREET PORTLAND, ME 04102
51/D-8	MATTHEW J. & KAREN E. MONAGHAN	148 FALMOUTH STREET PORTLAND, ME 04102
114/A-1	MATTHEW J. & KAREN E. MONAGHAN	148 FALMOUTH STREET PORTLAND, ME 04102
117/A-1	DWIGHT A. FRIED & RUSSETT T. ELLSWORTH	278 FALMOUTH ROAD PORTLAND, ME 04102

ZONING INFORMATION	
ZONING DISTRICT:	UNIVERSITY OF SOUTHERN MAINE (USM)
MINIMUM STREET FRONTAGE:	50 FEET
FRONT YARD SETBACK:	20 FEET
SIDE YARD SETBACK:	12 FEET
REAR YARD SETBACK:	20 FEET
MINIMUM LOT SIZE:	3,000 S.F.



GENERAL NOTES

- DATES OF FIELD SURVEY: OCTOBER 2011
- SITE NAME: OAKDALE
- SITE NUMBER: 853488
- TOWER TYPE: 82', ROOFTOP (EXISTING)
- SITE ADDRESS: 248 DEERING AVE, PORTLAND, ME 04101, CUMBERLAND COUNTY (207) 780-4180
- PROPERTY OWNER: USM - FACILITIES MANAGEMENT, 25 BEDFORD STREET, PORTLAND, ME 04101, CUMBERLAND COUNTY (207) 780-4180
- APPLICANT: US CELLULAR c/o K.K. WIRELESS, 127 RIDGE ROAD, WASHUQUIT, NH 03082, (603) 888-8974
- POWER COMPANY: CENTRAL MAINE POWER COMPANY, 1-800-585-3182
- TELCO COMPANY: FAIRPOINT COMMUNICATIONS, 1-866-854-2001
- CEO OF MUNICIPALITY: TERRY WILSON & BRIAN LAFAMME, 388 CONGRESS STREET, PORTLAND, ME 04101
- JURISDICTION: PORTLAND, MAINE
- ZONING DISTRICT: UNIVERSITY OF SOUTHERN MAINE (USM)
- TAX IDENTIFICATION: 51 E-1
- DEED BOOK/PAGE: 12820/130
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
- CENTER OF PROPOSED TOWER: LATITUDE: 43° 30' 40.04" N (NAD 83), LONGITUDE: 70° 16' 44.07" W (NAD 83), GROUND EL. = 56.0 ±
- BEARINGS ARE BASED ON MAINE STATE GRID COORDINATE SYSTEM, WEST ZONE, (NAD83).
- ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIG SAFE (888) 344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
- PROPERTY IS LOCATED IN FLOOD ZONE "C" AS SHOWN ON FLOOD INSURANCE RATE MAP IN THE CITY OF PORTLAND MAINE, CUMBERLAND COUNTY PANEL 13 OF 17, COMMUNITY PANEL NUMBER 230051-0013-B EFFECTIVE DATE JULY 17, 1986. ZONE "C" IS DEFINED AS AREAS OF MINIMAL FLOODING.

FAA CERTIFICATION - 2C

I HEREBY CERTIFY THAT THE LATITUDE, LONGITUDE, AND ELEVATIONS PRESENTED HEREON MEETS THE REQUIREMENTS OF THE FAA WITH THE FOLLOWING ACCURACIES:

+/- TWENTY (20) FEET VERTICALLY
+/- FIFTY (50) FEET HORIZONTALLY

B. WATTS
BRODIE B. WATTS
LICENSED LAND SURVEYOR #1245

DATE: 4/14/12

THIS DRAWING WAS CREATED FOR A FULL SIZE OF 22"x34". IT HAS BEEN REDUCED FOR SUBMISSION PURPOSES.

EQUIPMENT INSTALLATION SHALL MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR EQUIPMENT EMISSIONS.

PORTLAND, OAKDALE, REV. 0 4-12-12

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amc
AMERICAN MAP COMPANY
P.O. BOX 10700, PORTLAND, ME 04112
TEL: 207.774.1000 FAX: 207.774.1001
AMC PROJ. NO. 413.180.01

DATE: 4/14/12
SHEET: 1 OF 1
PROJECT: 248 DEERING AVE, PORTLAND, ME 04101
DRAWN BY: B. WATTS
CHECKED BY: B. WATTS
DATE: 4/14/12

NO. DESCRIPTION DATE

1	FOR CONSTRUCTION	4/14/12
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REVISIONS

NO.	DESCRIPTION	DATE
1	FOR CONSTRUCTION	4/14/12

DATE: 4/14/12
SHEET: 1 OF 1
PROJECT: 248 DEERING AVE, PORTLAND, ME 04101
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