

49-A-1

#2008-0023

165 Park Avenue

Fitzpatrick Restroom Building

City of Portland

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2008-0023

Application I. D. Number

3/4/2008

Application Date

Fitzpatrick Restroom Building

Project Name/Description

City Of Portland, Bob Leeman

Applicant

389 Congress Street, Portland, ME 04101

Applicant's Mailing Address

165 - 165 Park Ave, Portland, Maine

Address of Proposed Site

049 A001001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 874-8892 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

ROS

Proposed Building square Feet or # of Units

Acreage of Site

Proposed Total Disturbed Area of the Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 3/4/2008

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

- OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____



851 - Bathrooms

Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Fitzpatrick Restroom Building
Project Name, Address of Project

2008-0023
Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
✓	(2)	Name and address of applicant and name of proposed development	a
✓	(3)	Scale and north points	b
✓	(4)	Boundaries of the site	c
✓	(5)	Total land area of site	d
✓	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
	(8)	Existing soil conditions	a
	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
	(12)	Location of on-site waste receptacles	e
	(13)	Public utilities	e
	(14)	Water and sewer mains	c
	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
	(18)	Parking areas	g
	(19)	Loading facilities	g
	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
	(23)	Location of existing vegetation and proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
	(31)	Location and intensity of outdoor lighting system	j
	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
	(33)	Written statements to include:	c
	(34)	Description of proposed uses to be located on site	cl
	(35)	Quantity and type of residential, if any	cl
	(36)	Total land area of the site	c2
	(37)	Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
	(38)	General summary of existing and proposed easements or other burdens	c3
	(39)	Type, quantity and method of handling solid waste disposal	c4
	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. Include the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
_____	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	h8
_____	(48)	Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
_____	(49)	A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
_____	(50)	A jpeg or pdf of the proposed site plan, if available.	
_____	(51)	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study

Other comments:



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development:		
Zone: ROS		
Project Name: Fitzpatrick Restroom Building		
Existing Building Size:	sq. ft.	Proposed Building Size: 851.5 sq. ft.
Existing Acreage of Site:	sq. ft.	Proposed Acreage of Site: sq. ft.
Proposed Total Disturbed Area of the Site: 851.5 sq. ft. * 851.5		
* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).		
Tax Assessor's Chart, Block & Lot:	Property Owners Name/ Mailing address:	Telephone #:
Chart # 52 C	City of Portland	874-8892
Block # or	389 Congress St	Cell Phone #:
Lot # 49 A1	Portland ME 04101	233-0350
Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone # :	Applicant's Name/ Mailing Address:	Telephone #:
	Bob Leeman	874-8892
	389 Congress St	Cell Phone #:
	Portland ME 04101	233-0350
Fee for Service Deposit (all applications) <u> 0 </u> (\$200.00)		
Proposed Development (check all that apply)		
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail		
<input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot		
<input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable		
<input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)		
<input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00)		
<input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)		
<input type="checkbox"/> Other _____		
~ Please see next page ~		

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 2/29/08
--	------------------

Robert Leeman



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To All Development Applicants and Consultants:

The City of Portland has instituted the following fees in 2005 to recover the costs of reviewing development proposals under the Zoning Code, Site Plan Ordinance and Subdivision Ordinance. The fee structure includes application fees for the various types of development review; fee for service deposit, public notice costs, and engineering services/third party review fees. The fee structure is found on page (6) of this application packet. A performance guarantee, inspection fee, and a defect guarantee are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general administrative processing costs, and is paid at the time of application.

A **Fee for Service Deposit** of \$200.00 is paid at the time of application for all development and zoning proposals. Should the planner or City Attorney spend over four hours combined on the review of a project, the deposit will be drawn down to cover that cost. When the \$200.00 deposit has been expended, the applicant will receive a monthly invoice for reimbursement of review services rendered. These charges will be billed at an hourly rate based on actual review costs to the City. At present, the billing rate for planning services is \$30.00 per hour, and the rate for legal services is \$40.00. These rates and the deposit amount are subject to change on an annual or as-needed basis to reflect then-current cost structures.

The Planning Division is required to send **Public Notices** to neighbors upon receipt of an application and prior to public meetings. In addition, all development review projects are posted in a legal in the Portland Press Herald as well as on our web site. Rezoning/Text Amendment proposals require individual notices to be posted in the Portland Press Herald. The applicant will be billed for actual or apportioned costs for advertising and mailed notices.

The City contracts with a local engineering firm to conduct the engineering reviews of development proposals. The cost of all **engineering services or third-party consultant reviews**, such as the civil engineering review of stormwater management plans, traffic impact reviews and such other reviews as required under the City's ordinances, will be included in the monthly invoices for reimbursement.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for calculating the amount of the performance guarantee, as well as sample form letters to be filled out by your financial institution. Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year, assuming all project improvements are satisfactory. Defect Guarantees are not released in the winter months between October and April.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the Planning or Public Works engineer. The minimum inspection fee is \$300 for development,

unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of a final inspection.

All fees shall be paid prior to the issuance of any building permit. For more information on the fees or review process, please call the Planning Division at 874-8721 or 874-8719.

As we strive to provide efficient and timely review services, it is necessary to provide a funding mechanism that does not unduly burden the property taxpayer. Nationally, more municipal services are being converted to a user fee basis. We commit to doing our best to provide efficiency in the process in order to keep the costs reasonable, and we will work with you to make the most efficient use of the billable time. We continually strive to improve the quality of our customer services to the development community.

If you have any questions, please do not hesitate to call us at the Planning Division at 874-8721 or 874-8719.

Sincerely,

Barbara Barhydt
Development Review Services Manager

Alexander Jaegerman, AICP
Planning Division Director

Development Review Fee Schedule (effective July 15, 2005)

• Fee for Service Deposit (all applications)		\$200.00
Planning Services	\$30.00/hour	
Legal Services	\$40.00/hour	
• Major Site Plan Review (more than 10,000 sq. ft.)		
Under 50,000 sq. ft.		\$500.00
50,000 - 100,000 sq. ft.		\$1,000.00
Parking Lots over 100 spaces		\$1,000.00
100,000 - 200,000 sq. ft.		\$2,000.00
200,000 - 300,000 sq. ft.		\$3,000.00
Over 300,000 sq. ft.		\$5,000.00
• After-the-fact Major Site Plan Review		\$1,000.00 + applicable application fee
• Minor Site Plan Review (less than 10,000 sq. ft.)		\$400.00 (or up to 20,000 in an industrial zone)
• After-the-fact Minor Site Plan Review		\$1,000.00 + applicable application fee
• Minor-Minor Site Plan Review (Single Families)		\$300.00
• Amendment to Plans		
Planning Board Review		\$500.00
Planning Staff Review		\$250.00
• Subdivision Fee		\$500.00 + \$25.00 per lot
• Section 14-403 Review		\$400.00 + \$25.00 per lot
• Site Location of Development		\$3,000.00
(except for residential projects which shall be \$200.00 per lot)		
• Traffic Movement Permit		\$1,000.00
• Storm water Quality Permit		\$250.00
• Street Vacation		\$2,000.00

Engineering Fees

- Engineer Review Fee - This fee is assessed by the Engineer
- Inspection Fee - This fee is 2% of the Performance Guarantee or as assessed by Planning or Public Works Engineer with \$300.00 being the minimum.

Zone Change

• Zoning Map Amendments		\$2,000.00
• Text Amendments		\$2,000.00
• Contract/Conditional Rezonings:		
Under 5,000 sq. ft.		\$1,000.00
5,000 sq. ft. and over		\$3,000.00
• Conditional Use		\$100.00

Historic Preservation

• Administrative Review		\$50.00
• Minor Projects - Committee Review		\$100.00
• Major Projects - Committee Review		\$500.00
• After-the-fact Review		\$750.00
• HP Special Exception Sign Review		\$35.00

Noticing/Advertisements for Historic Preservation and Planning Board Review

- Legal Advertisement: Percent of total bill
(Legal Ads are placed in the newspaper for workshop and public hearing meetings)
- Notices: .75 cents each
(Notices are sent to abutters upon receipt of an application, workshop mtgs. and public hearing mtgs.)



Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Project Name, Address of Project

Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
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_____	(4)	Boundaries of the site	c
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_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
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Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study

Other comments:

Zoning Summary Example

1. Property is located in the IM Zone (Moderate Impact Industrial)
2. Parcel Acreage: 1.37 AC (59,677.2 sf)

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	none	59,677.2 sf.
Min Street Frontage	60 ft.	314,46 ft.
Min Front Yard Setback	1 ft./1 ft. Building Height	72.04 ft.
Min Rear Yard Setback	1 ft./1 ft. Building Height	35.66 ft.
Min Side Yard Setback	1 ft./1 ft. Building Height	82.80 and 38.22
Max Building Height	75 ft.	65 ft.
4. Parking – Warehouse Distribution:	1 space/1000 sf.	10 spaces
5. Maximum Impervious Surface Ratio:	75%	43%
6. Wetland Fill: 3077 sf.		



Portland Fire Department Site Review Fire Department Checklist

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
7. Hydrant locations
8. Water main[s] size and location
9. Access to any fire department connections
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.
12. Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.
13. Some structures may require Fire flows using annex H of NFPA 1



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Street Names and Street Numbering

Notice to Developers of New Subdivisions

Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new street(s) created within the City limits. This information shall be submitted to the Planning Division with all other related application materials.

In 1997, Portland residents, Norman and Althea Green, presented the City of Portland with a compilation of research, which documents the origins of all street names existing in the City as of 1995. The person, event, location, or subject for which each street was named is now recorded for posterity, constituting an important public record for all those interested in the development of Portland. This compilation is on file at the Portland Public Library, the Maine Historical Society, and the library of the Portland Newspapers, as well as in the City Clerk's Office at Portland City Hall.

It is the intent of the City of Portland to continue this documentation for all streets created in the City. As part of the subdivision review process, applicants are required to submit information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information. Once the street is formally accepted by the City Council, the information will be placed on file at the City Clerk's office and copies will be sent to the other three Portland repositories.

Street Numbering Assignments

The assignment of official street addresses is the sole responsibility of the Department of Public Works. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 9-1-1 purposes, they need to be as accurate as possible and, depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents or tax maps, it is requested you contact the Department of Public Works for your official address(es). Please call, Leslie Kaynor, GIS Surveyor at (207) 874-8346.



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A Guide to Holding Neighborhood Meetings

In order to improve communication between development applicants and neighbors, the City of Portland requires applicants, proposing certain types of projects, to hold a neighborhood meeting.

What type of development proposal requires a neighborhood meeting?

Neighborhood meetings, organized and hosted by the applicant, are required for the following development proposals:

- proposed zone changes, contract zones and zoning text amendments;
- subdivisions of five or more units or lots; and
- major site plan proposals.

Who must be invited to a neighborhood meeting?

Property owners within 500 feet of the proposed development (1000 feet for proposed industrial development) as well as those people on a list of interested citizens and neighborhood groups, must be invited to the planned neighborhood meeting.

The Planning Division provides the mailing labels for the neighborhood meeting invitation. We require at least 48 hours prior notice to generate the mailing labels and a charge of \$1.00 per sheet will be payable upon receipt of the labels.

When and where must the neighborhood meeting be held?

The neighborhood meeting must be held after the first Planning Board workshop **but not less than seven days prior to the Planning Board public hearing.**

The meeting should be held in the evening, during the week, at a convenient location within the Portland neighborhood surrounding the proposed site. Neighborhood schools are usually available for evening meetings.

Meetings should not be held on the same day as scheduled Planning Board or City Council meetings. The City Council generally meets on the first and third Monday of each month and the Planning Board generally meets on the second and fourth Tuesday of each month; however additional meetings may be scheduled. An updated schedule may be found on the City's website: www.portlandmaine.gov

When must invitations be sent?

In order to provide sufficient notice to residents, invitations must be sent **no less than seven days prior to the neighborhood meeting and the neighborhood meeting must be held no less than seven days prior to the public hearing.**

What information should the invitation include?

A recommended invitation format is included in this packet of material.

Neighborhood Meeting Handouts

Included with this packet is a handout sheet from the Planning Division that must be handed out to meeting attendees. This handout explains the requirement for the meeting and additional information on the review process.

Sign-up Sheets and Meeting Minutes

At the meeting, the applicant must circulate a sign-up sheet for those in attendance. The applicant must also keep accurate minutes of the meeting.

After holding the neighborhood meeting, the applicant must submit the sign-up sheet and meeting minutes to the Planning Division. The meeting minutes and sign-up sheet will be attached to the Planning Board report. A public hearing will not be scheduled until the meeting minutes and sign-up sheet are submitted to the Planning Division.

Certification

Included with this packet is a Certification to be completed and signed by the applicant. The applicant is required to certify when the invitations were sent out.

Please call the Planning Division (874-8721 or 874-8719) if you have any questions.

Attachments

1. Neighborhood Meeting Invitation Format
2. Handout to Attendees from the Planning Division
3. Neighborhood Meeting Certification

**** Applicant/Consultant: Please include all of the information listed below in the notice sent to neighbors)**

Neighborhood Meeting Invitation Format

Applicant/Consultant Letterhead

(Date)

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for a (development proposal) located at (location/street address).

Meeting Location: _____
Meeting Date: _____
Meeting Time: _____

The City code requires that property owners within 500 feet of the proposed development and residents on an “interested parties list”, be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

If you have any questions, please call (telephone number of applicant or consultant).

Sincerely,

(Applicant)

Note:

Under Section 14-32(C) of the City Code of Ordinances, an applicant for a major development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting at least seven days prior to the Planning Board public hearing on the proposal.



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Dear Neighbor:

Thank you for attending this evening's neighborhood meeting.

Applicants for major developments, zone changes, and subdivisions of more than five units/lots are required to hold a neighborhood meeting prior to the Planning Board's public hearing on the development proposal.

The purpose of these meetings is to improve communication between neighbors and applicants for development. We have found that neighbors raise questions and offer insight that often improves the design or compatibility of a proposed development.

The City code requires that property owners within 500 feet of the proposed development or within 1000 feet of a proposed development in an industrial zone and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

Should you wish to offer additional comments on this proposed development, you may send correspondence to:

Planning Division
Department of Planning and Development
City Hall
389 Congress Street
Portland, ME 04101;

or email:
bab@portlandmaine.gov;

or call 874-8699.

Thank you for taking the time to attend tonight's meeting.

Sincerely,

Barbara Barhydt
Development Review Services Manager

Neighborhood Meeting Certification

I, (applicant/consultant) hereby certify that a neighborhood meeting was held on (date) at (location) at (time).

I also certify that on (date at least seven days prior to the neighborhood meeting), invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development or within 1000 feet of a proposed development in an industrial zone and the residents on the "interested parties" list.

Signed,

_____ (date)

Attached to this certification are:

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

DOMUS ARCHITECTS

PO BOX 301
 FREEPORT, MAINE
 04032

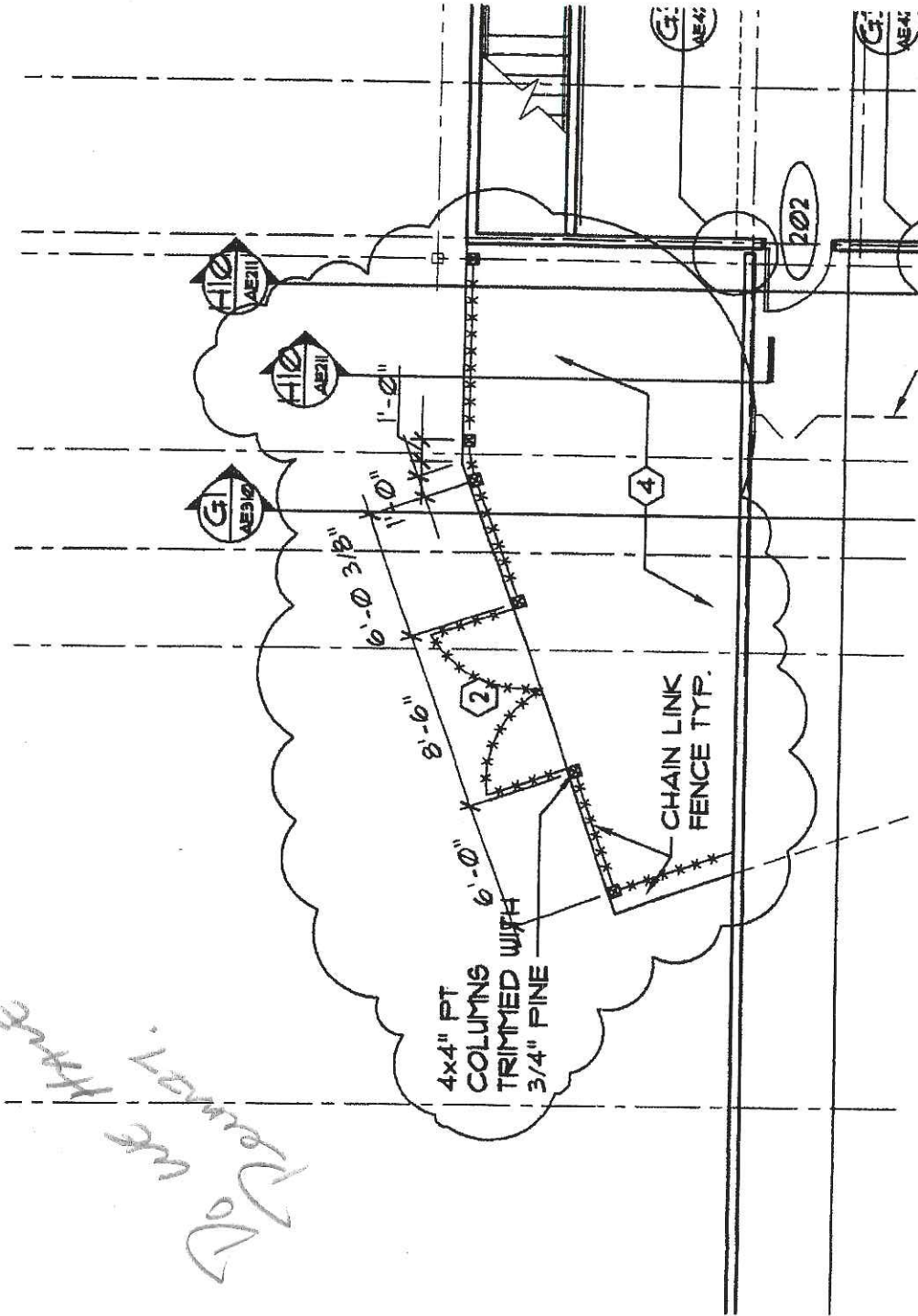
**PORTLAND
 SEAD DOGS
 CLUB HOUSE**

PRINT STATUS

SHEET NO: **SK-2**

TEL 207-865-1272
 FAX 207-865-9568
 WWW.DOMUSARCHITECTS.NET

*Do not
 remove
 this*



A1
SK2

ROOF COLUMNS OVER MECHANICAL AREA

SCALE: 1/8" = 1'-0"

DOMUS ARCHITECTS

PO BOX 301
FREEPORT, MAINE
04032

**PORTLAND
SEAD DOGS
CLUB HOUSE**

FRONT ELEVATION

SHEET NO: **SK-5**

TEL 207-865-1272
FAX 207-865-9588
WWW.DOMUSARCHITECTS.NET

SECURE TOP PLATE TO STUDS BEYOND
WITH 2- 1/2"x6" LAG BOLTS WITH WASHERS @
16" OC

SECURE RAFTERS TO TOP PLATE WITH JOIST
HANGERS. SCREW JOIST HANGERS TO TOP
PLATE

SECURE COLLAR TIE PLATE TO STUDS
BEYOND WITH 2- 1/2"x6" LAG BOLTS WITH
WASHERS @ 16" OC

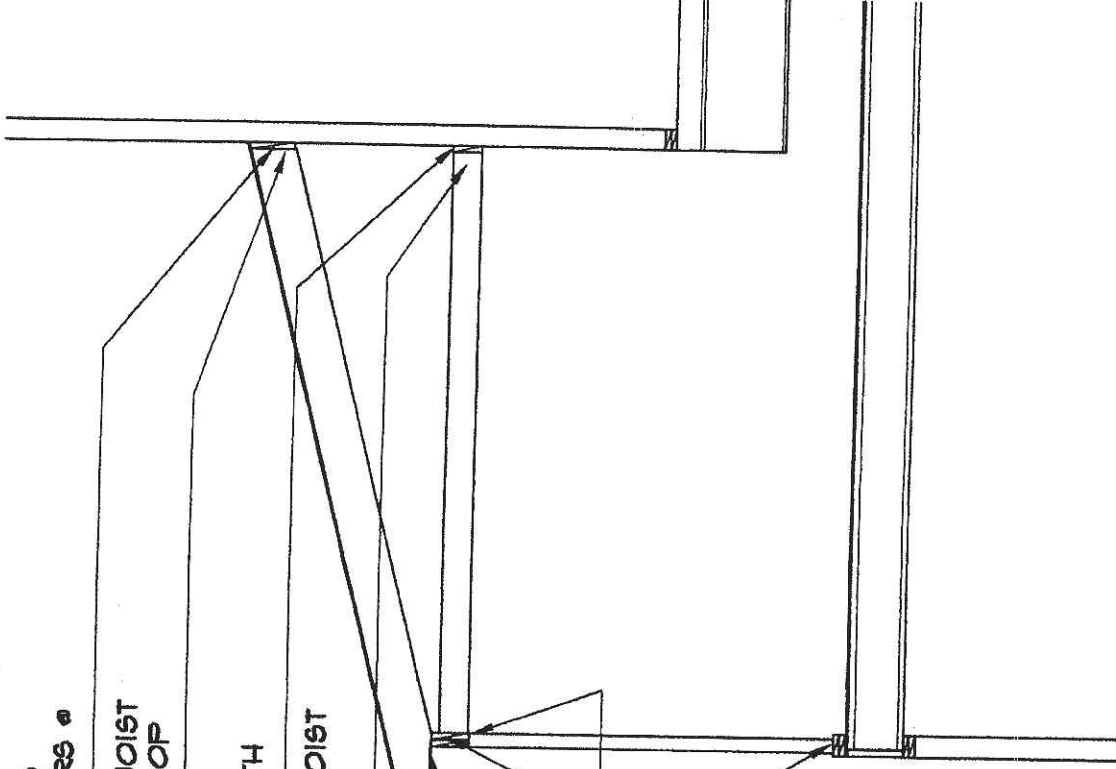
SECURE COLLAR TIES TO PLATE WITH JOIST
HANGERS. SCREW JOIST HANGERS TO
PLATE

SECURE RAFTERS TO PLAM HEADER
WITH JOIST ANGLES

SECURE COLLAR TIES TO PLAM
HEADER WITH JOIST HANGERS.

SECURE JOIST HANGERS TO HEADER
SECURE COLUMNS TO HEADER
WITH POST & BEAM CAPS

SECURE COLUMN TO ROOF BLOCKING
WITH POST & BEAM BASE



A1
SK5

MECHANICAL ROOF FASTENING SCHEDULE

SCALE: 1/4" = 1'-0"

DOMUS ARCHITECTS

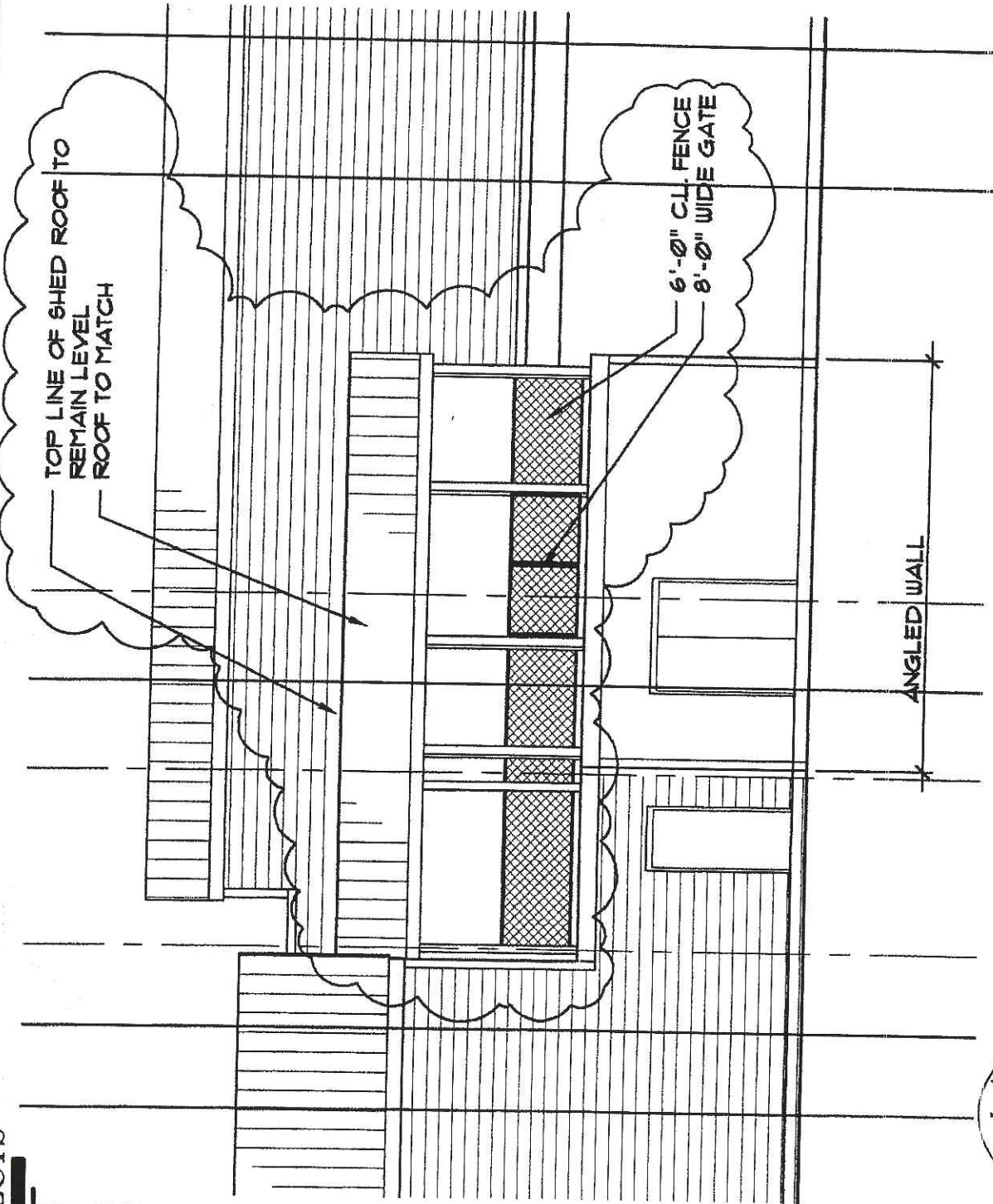
PO BOX 301
FREEPORT, MAINE
04032

**PORTLAND
SEAD DOGS
CLUB HOUSE**

PRINT STATUS

SHEET NO. **SK-4**

TEL 207-865-1272
FAX 207-865-9568
WWW.DOMUSARCHITECTS.NET



MECHANICAL ROOF AREA ELEVATION

SCALE: 1/8" = 1'-0"

A1
SK4

DOMUS ARCHITECTS

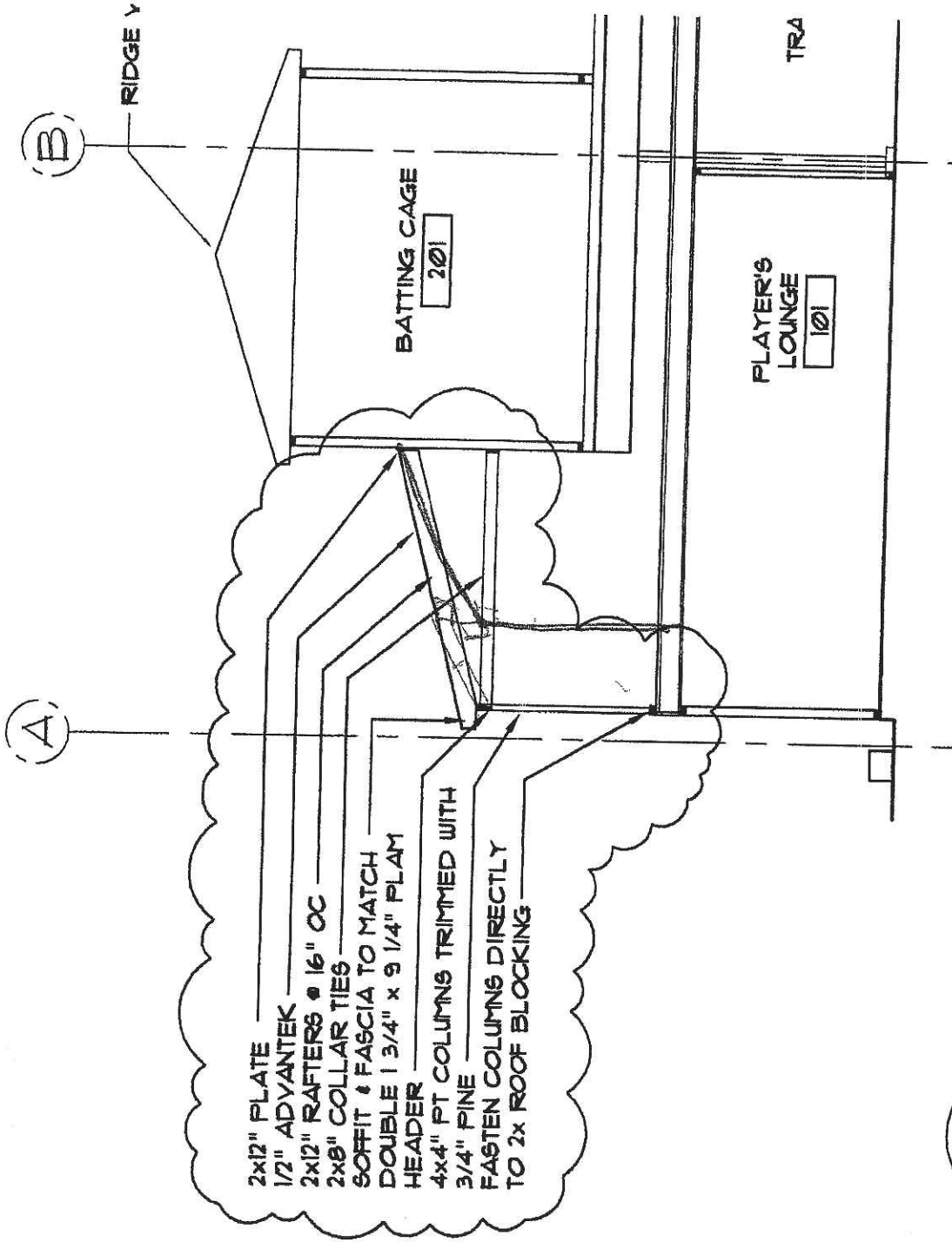
PO BOX 301
 FREEPORT, MAINE
 04032

**PORTLAND
 SEAD DOGS
 CLUB HOUSE**

FRONT ELEVATION

SHEET NO: **SK-3**

TEL 207-865-1272
 FAX 207-865-9568
 WWW.DOMUSARCHITECTS.NET



A1
SK3

ROOF OVER MECHANICAL AREA

SCALE: 1/8" = 1'-0"

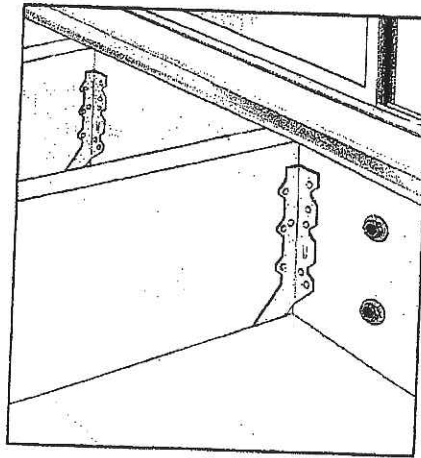
FACE MOUNT HANGERS

JOIST HANGERS

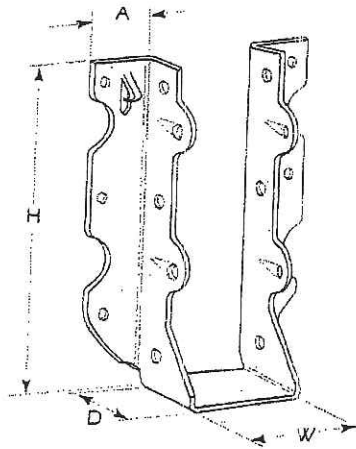
SLU, SU, SUH & KU series

These standard hangers are popular framing connectors for floor systems, deck projects, patio covers and other joist-to-header applications. Three different basic models offer a variety of steel gauges for meeting most standard joist applications: SLU, 20 gauge; SU, 18 gauge; and SUH, 16 gauge. The SU series offers an alternate nailing feature: the joist nail holes will accept a standard 10d nail driven at an angle into both the joist and the header. If standard nailing is used, the dimple will flatten out, eliminating the need to stock two hangers.

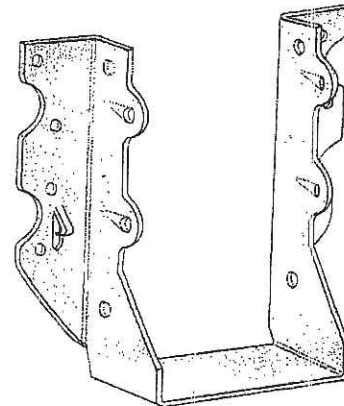
- FinishG60 galvanizing
- Code Listings, SLU series.....ICBO 2039
-Dade County 91-0131.02
-NER pending
- Code Listings, SU series.....ICBO 2039
-Dade County 91-0325.5
-L.A. City RR23888
-NER pending
- Code Listings, SUH series.....ICBO 2039
-L.A. City RR23888
-NER pending
- Code Listing, KU seriesICBO 2725



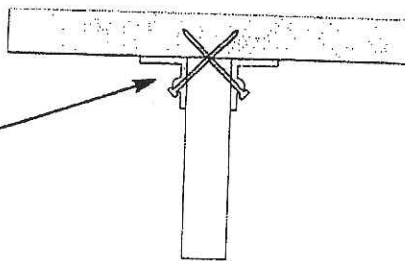
Typical Deck Joist to Ledger Installation



SU26



SU26-2



Alternate nailing allows builders the option of simultaneous joist / header nailing.

POWER NAIL HANGERS - JN series

JOIST SIZE	USP STOCK NO.	REF. NO.	STEEL GAUGE	DIMENSIONS		MAXIMUM HANGER LOAD
				W	H	
2 x 6	JN26	---	20	1 5/16	5	1775
(2) 2 x 6	JN26-2	---	18	3 1/16	5 3/8	2315
2 x 8	JN28	---	20	1 9/16	7	1775
(2) 2 x 8	JN28-2	---	18	3 1/16	7 1/8	2315

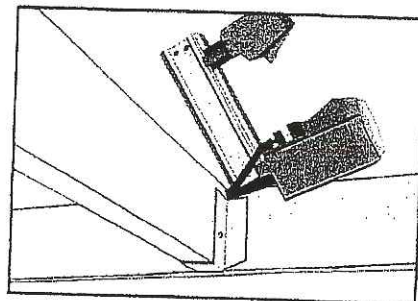
Actual allowable loads based on nailing. Consult factory with nail type for load values.

POWER NAIL HANGERS

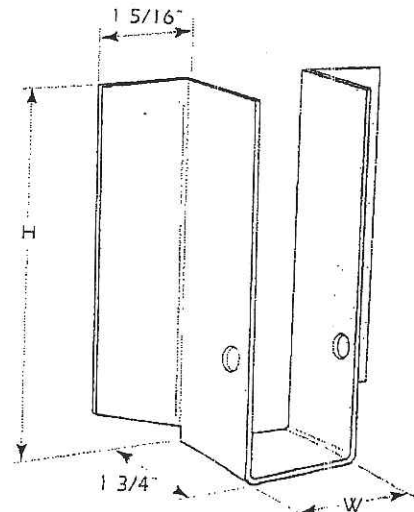
JN series

Designed for assembly-line installation, these hangers feature a generous flange area to accommodate power nailer maneuvering. Engineered for economical installation and maximum load values.

FinishG60 galvanizing



Typical JN Installation



JN26

CAPS & BASES

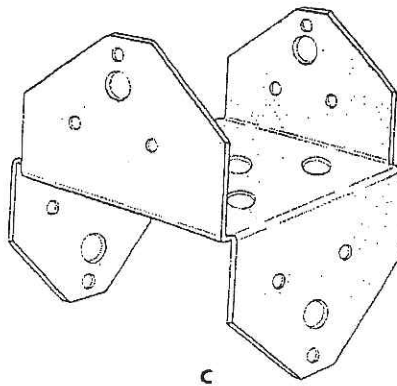
STANDARD & ROUGH

POST BEAM CAPS

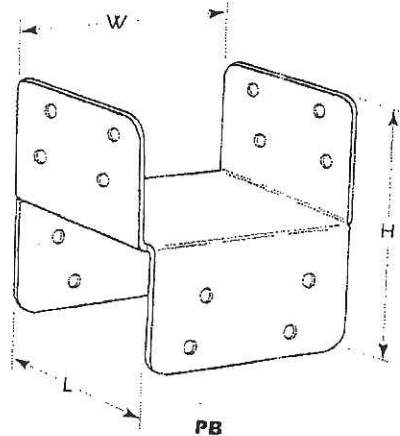
PB & C series

Used for light duty post-to-beam connections, Post Beam Caps provide quick and easy installations on decks, carports and other projects. These models are also available in full / rough lumber sizes by specifying "R" after the part number.

FinishG60 galvanizing
Code Listings, C except C444ICBO 2039
.....L.A. City RR23888
.....Dade County 91-0325.5
Code Listing, PBNER 505



C



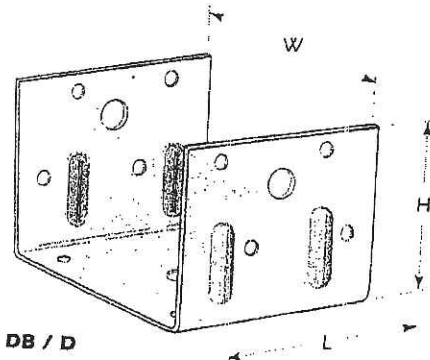
PB

POST ANCHORS - DB, DBD & D series

EASTERN REGION										
STOCK NO.	REF. NO.	POST SIZE	STEEL GAUGE	DIMENSIONS			FASTENER SCHEDULE		ALLOWABLE LOADS (LBS.)	
				W	L	H	POST	BASE	(33%)	(60%)
DB44	BC40	4x4	18	3 1/2	2 3/4	2 1/4	(8) 16d	(4) 16d	---	---
DBD44	---	4x4	18	3 1/2	5 1/2	1 3/4	(6) 16d	(6) 16d	---	---
DB46	BC460	4x6	18	3 9/16	5 3/8	3	(8) 16d	(4) 16d	---	---
DB66	BC60	6x6	18	5 1/2	5 3/8	3 3/8	(8) 16d	(4) 16d	---	---
DB88	---	8x8	18	7 1/2	7 1/2	4	(8) 16d	(4) 16d	---	---

WESTERN REGION										
STOCK NO.	REF. NO.	POST SIZE	STEEL GAUGE	W	L	H	POST	BASE	ALLOWABLE LOADS (LBS.)	ALLOWABLE LOADS (LBS.)
D44	BC40	4x4	18	3 9/16	3 3/8	3	(8) 16d	(4) 16d	785	785
D46	BC460	4x6	18	3 9/16	5 3/8	3	(10) 16d	(4) 16d	980	980
D66	BC60	6x6	18	5 1/2	5 3/8	3	(10) 16d	(4) 16d	980	980
D88	---	8x8	18	7 1/2	7 3/8	3	(12) 16d	(4) 16d	980	980

To order product in rough / full size lumber, add R to stock number, as in DB44R, except DBD44
Not recommended for non-top-supported installation, such as fences, when used as a base.

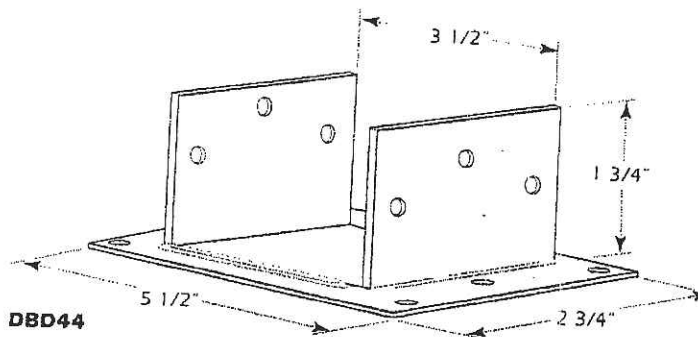


DB / D

POST ANCHORS DB, DBD & D series

These brackets help fasten posts to surfaces using nails or lag bolts. The D and DB series can also attach posts to concrete using a 1/2-inch anchor bolt. **Not recommended for installations without top support such as fences.**

FinishG60 galvanizing
Code Listings, D seriesICBO 2039
.....L.A. City RR23888



DBD44

To Portland Fire Department
From Robert Leeman

RE: Sea Dog Club House

I would like to list the club house occupancy as maximum capacity of 99 persons. This number more than exceeds the amount of people that could or would be in this club house at any given time. This is basically a locker room and the Sea Dog roster is about 35 players. There are two club house staff members that work there on a regular basis, bringing the total up to 37 people.

Even if they win a championship the with cameras and reporters it would be difficult to exceed the 99 person capacity.

We have listed in multiple locations in the clubhouse the 99 person maximum capacity so it would be well known that under any condition the capacity is limited.

Thank you

From: Cuyler Feagles
To: Leeman, Bob
Date: 4/1/2008 9:52:12 AM
Subject: Sea Dogs Club House

Bob

In response to your question regarding the fire rating of the closet underneath the stairs: It has a one hour fire rating (all of the GWB throughout the entire structure is fire rated). The closet has a sprinkler head in it as well.

Cuyler Feagles, AIA
Assistant Facilities Manager
Portland International Jetport
Tel. 207-756-8318
Fax: 207-774-7740

Mitchell
& Associates
LANDSCAPE ARCHITECTS

The Staples School
70 Center Street
Portland, Maine 04101
P: 207.774.4427
F: 207.874.2460
www.mitchellassociates.biz

February 1, 2008

Rick Knowland, Senior Planner
Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: 84 Marginal Way
De Minimis Change Request
Atlantic Bayside Trust, f/k/a Capital LLC**

Dear Rick:

Mitchell & Associates, on behalf of Atlantic Bayside Trust, is submitting additional information as requested for a De Minimis change request for the 84 Marginal Way project. Please see the attached plan providing additional landscaping to screen the generator. We have left an open area to provide access to service the generator.

Should you require additional information, please feel free to contact me.

Sincerely,
Mitchell & Associates



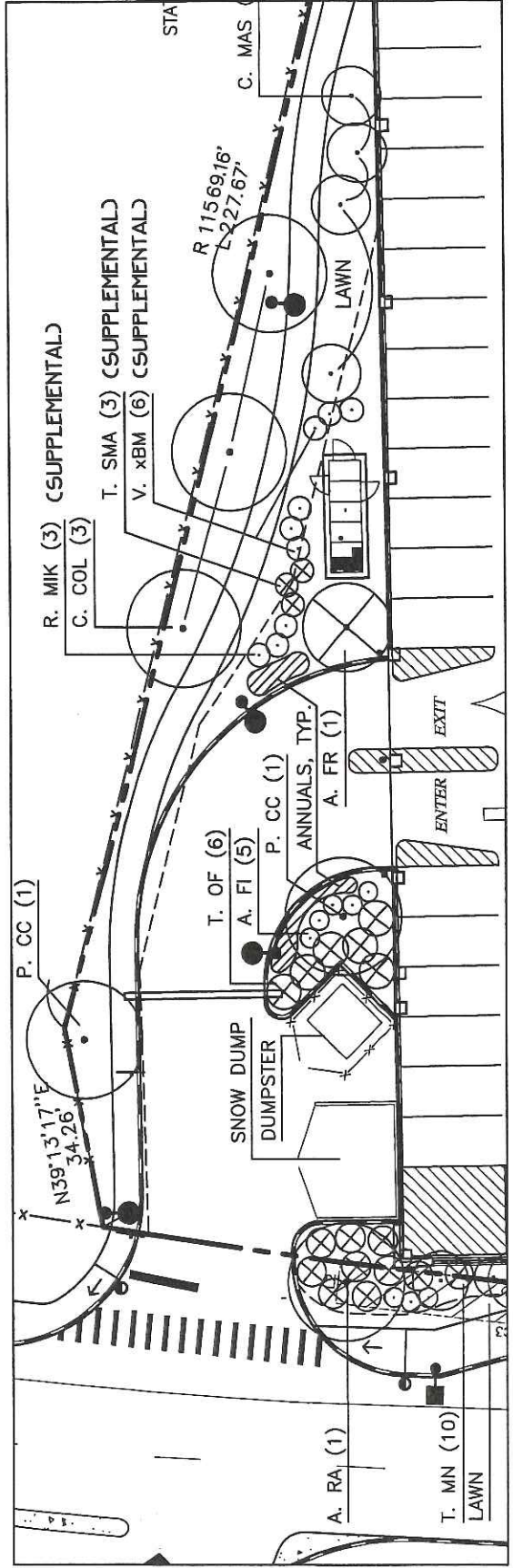
Bob Metcalf

Enclosure

cc. Ed Marsh, Atlantic Bayside Trust
Pat Keating, Pizzagalli Construction
Judy Johnson, Harriman Associates

PLANT LIST - GROUND LEVEL

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<u>TREES</u>				
A. FR	1	ABIES FRASERI	FRASIER FIR	5'-6' HT
A. RA	1	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2"-3" CAL
C. MAS	4	CORNUS MAS	CORNELLIAN CHERRY	1 1/2"-2" CAL
C. COL	3	CORYLUS COLURNA	TURKISH FILBERT	2"-2 1/2" CAL
G. BM	4	GINGKO BILOBA 'MAYGAR'	MAYGAR GINGKO	2"-2 1/2" CAL
M. JE	7	MALUS 'JEWELCOLE'	PROFUSION FLOWERING CRAB	2"-2 1/2" CAL
M. ZUM	3	MALUS x ZUMI 'CALOCARPA'	ZUMI CALOCARPA FLOWERING CRAB	2 1/2"-3" CAL
P. CC	2	PYRUS 'CLEVELAND'	CLEVELAND ORNAMENTAL PEAR	2 1/2"-3" CAL
U. NH	6	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2 1/2"-3" CAL
<u>SHRUBS</u>				
A. FI	21	AZALEA 'FIRESTAR'	FIRESTAR AZALEA	#5
A. WW	6	AZALEA 'WHITNEY'S WHITE'	WHITNEY'S WHITE AZALEA	#5
F. WE	25	FORSYTHIA 'WEEKEND'	WEEKEND FORSYTHIA	#5
J. OB	7	JUNIPERUS CHINENSIS 'OBELISK'	OBELISK JUNIPER	#5
J. SH	6	JUNIPERUS SQUAMATA 'HOLGER'	HOLGER JUNIPER	2'-2 1/2'
R. HK	4	RHODODENDRON 'HONG KONG'	HONG KONG RHODODENDRON	2'-2 1/2'
R. MIK	3	RHODODENDRON 'MIKKELI'	MIKKELI RHODODENDRON	2'-2 1/2'
T. MN	20	TAXUS x MEDIA 'NIGRA'	NIGRA TAXUS	2'-2 1/2'
T. OF	6	THUJA OCCIDENTALIS 'FILIFORMIS'	THREAD ARBORVITAE	6'-7' HT
T. SMA	3	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	3'-4' HT
V. XBM	6	VIBURNUM x BURKWOODII 'MOHAWK'	MOHAWK VIBURNUM	



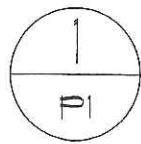
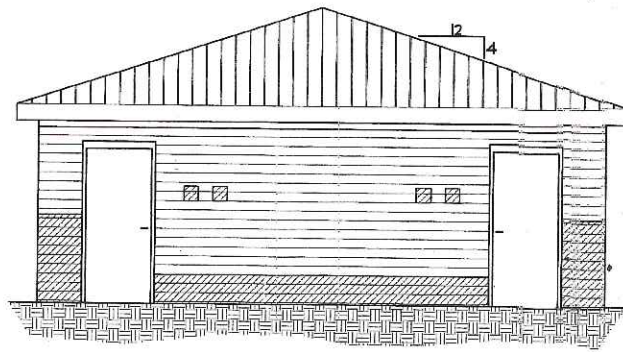
Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: DE MINIMIS CHANGE REQUEST
 STANDBY EMERGENCY GENERATOR
 Date: FEB. 1, 2008
 Scale: 1"=30'
 Project: 84 MARGINAL WAY



DOMUS ARCHITECTS

PO BOX 301
FREEPORT, MAINE
04032



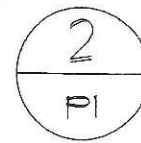
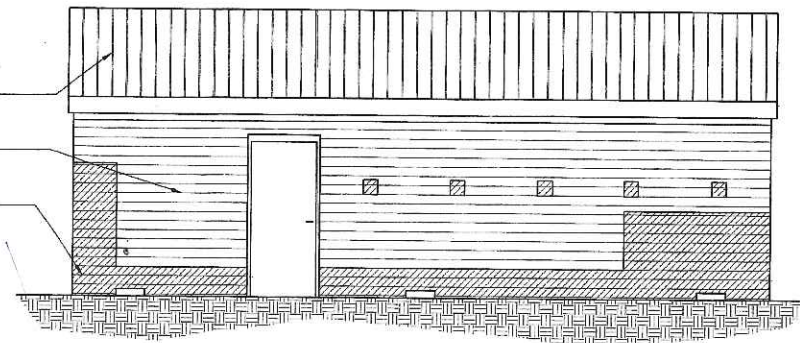
EAST ELEVATION



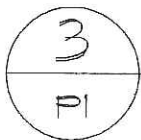
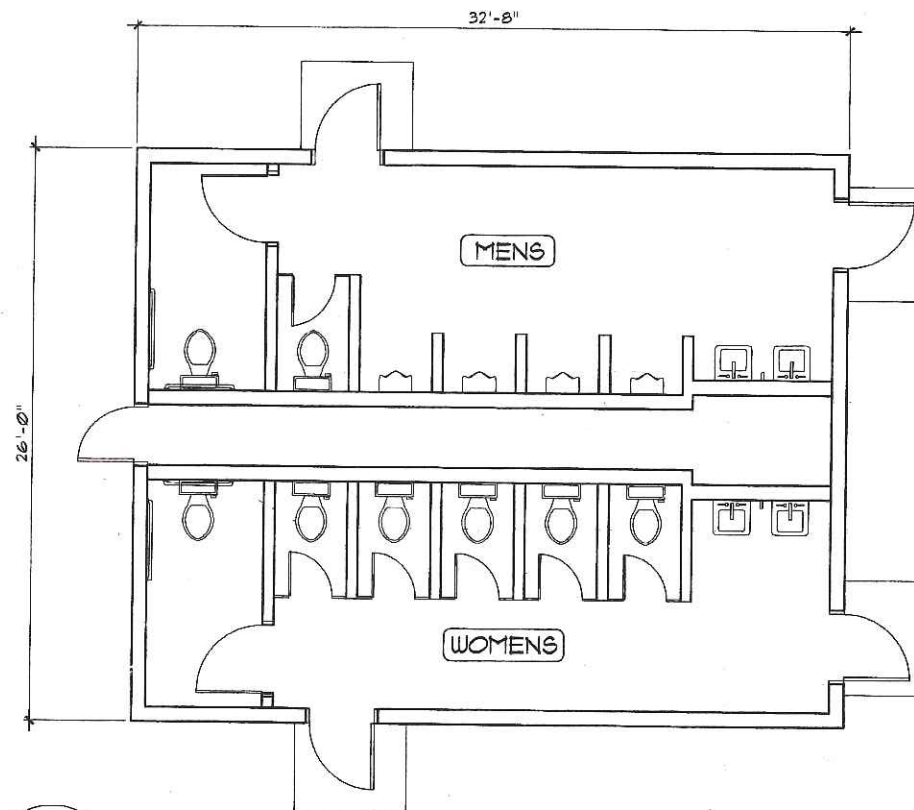
GREEN METAL ROOF
IDENTICAL TO THAT
FOUND ON SEA DOGS
STRUCTURES

SMOOTH, GRANITE-
COLORED CMU

TERRA COTTA SPLIT-
FACED CMU



SOUTH ELEVATION



FLOOR PLAN

TEL 207-865-1272
FAX 207-865-XXXX
WWW.DOMUSARCHITECTS.NET

FITZPATRICK STADIUM TOILET BUILDING





PO BOX 301
FREEPORT, MAINE
04032

TEL 207-865-1272
FAX 207-865-XXXX
WWW.DOMUSARCHITECTS.NET

SITE PLAN REVIEW APPROVAL

GRANTED BY THE CITY OF PORTLAND PLANNING BOARD

NAME	DATE

ZONE DATA

ZONE: RECREATION AND OPEN SPACE (R-OS)

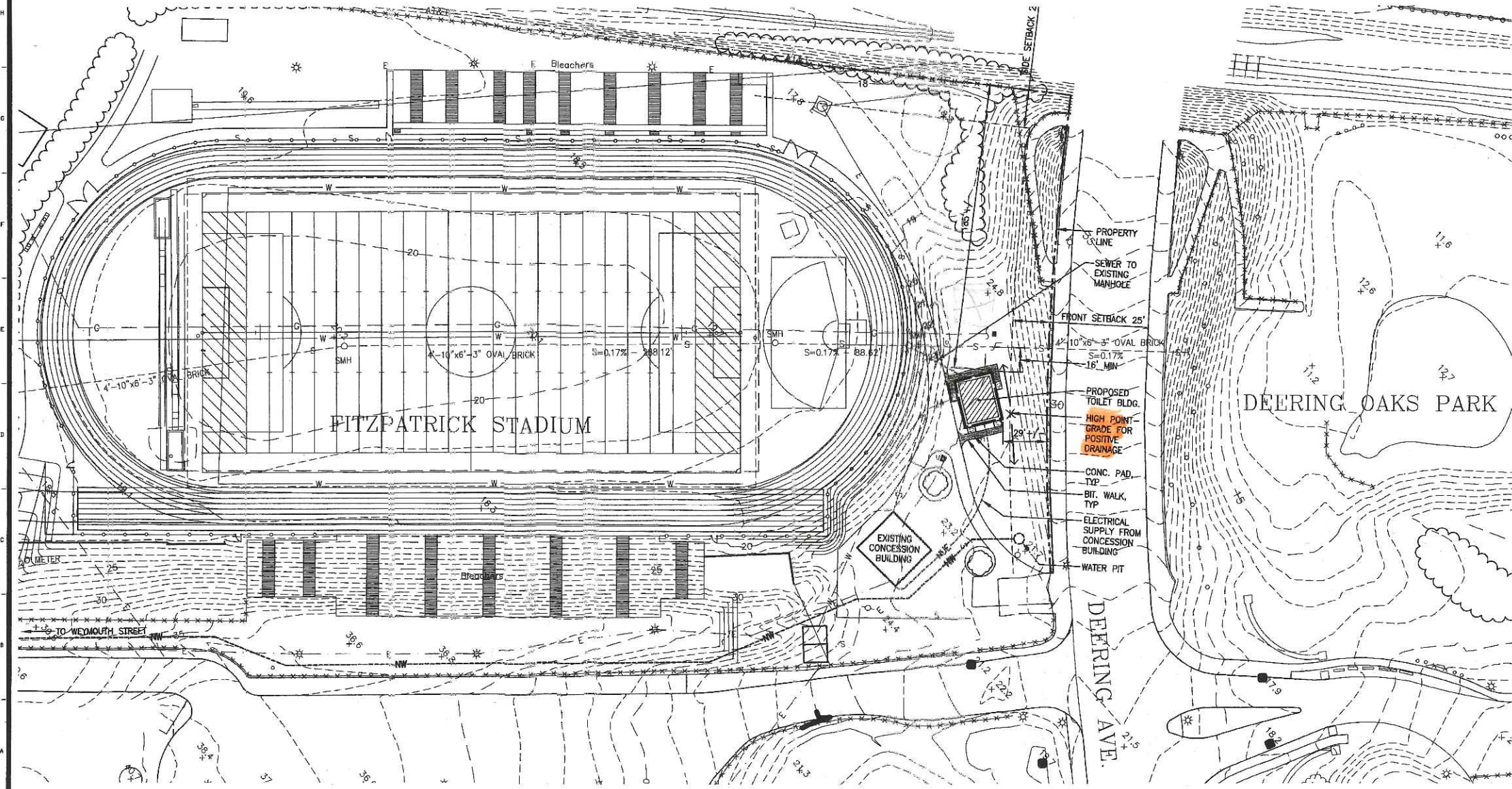
USE: TOILET BUILDING (ACCESSORY USE FOR PUBLIC ATHLETIC FIELD, PERMITTED USE)

BUILDING AREA BEING DEVELOPED: 825 SF.

CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	2 ACRES	22.3 ACRES
BUILDING SETBACKS: FRONT SIDE	25' 25'	29'+/- 185'+/-
BUILDING HEIGHT	35'	12'

NOTES

1. BASE PLAN AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS BY GALE ASSOCIATES, INC. ENTITLED 'TRACK AND FIELD IMPROVEMENTS, JAMES J. FITZPATRICK STADIUM,' DATED MAY 11, 2001.
2. BOUNDARY INFORMATION DERIVED FROM "BOUNDARY LINE RETRACEMENT PLAN," PROVIDED BY THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE, 2005.
3. VERIFY BOUNDARY LOCATIONS IN FIELD PRIOR TO ESTABLISHING SETBACK DIMENSIONS AND BUILDING LOCATION.
4. ALL UTILITIES TO CONFORM TO PORTLAND STANDARD AND D.O.T. SPECIFICATIONS.
5. COORDINATE WORK WITH PORTLAND D.P.W.



NOTES/ REVISIONS

ESTABLISH WATER PIT LOCATION

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FITZPATRICK STADIUM TOILET BUILDING

PORTLAND, ME

PRINT STATUS:
PERMITTING
1/30/08

PO BOX 301
FREEPORT, MAINE
04032

TEL 207-865-1272
FAX 207-865-XXXX
WWW.DOMUSARCHITECTS.NET

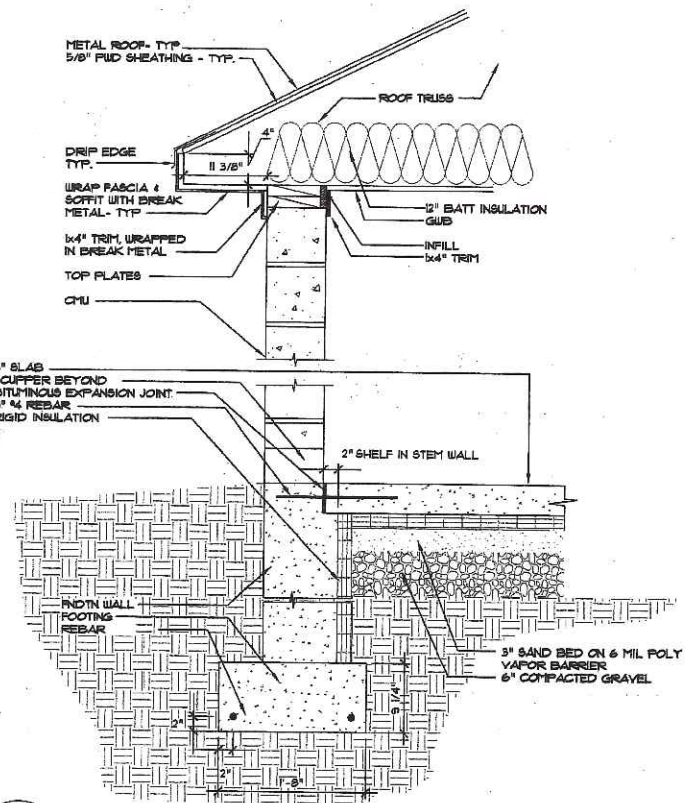
NOTES/ REVISIONS

PORTLAND
SEA DOGS
TOILET
BUILDING
PORTLAND, ME

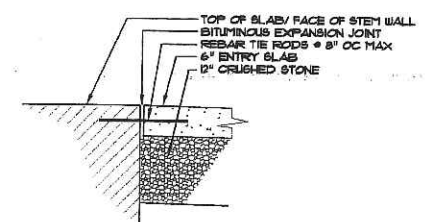
ISSUED FOR
CONSTRUCTION
2-20-08

AE102

TOILET BUILDING:
INTERIOR ELEVATIONS,
SECTIONS &
SCHEDULES



F10 DETAIL
SCALE 1-1/2\"/>



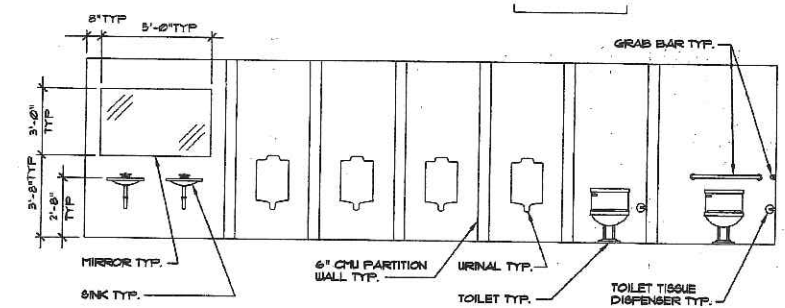
C10 DETAIL
SCALE 1\"/>

TOILET ACCESSORY KEY NOTES:

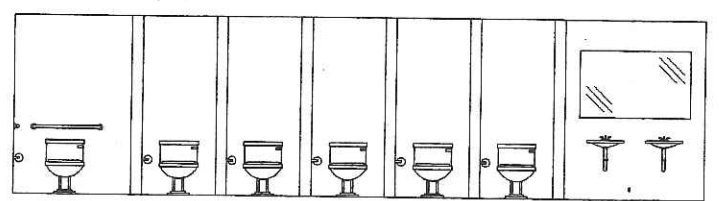
- (A) PAPER TOWEL DISPENSER BLOCKING
- (B) SOAP DISPENSER BLOCKING
- (C) MIRROR PROVIDE
- (D) TOILET PAPER DISPENSER BLOCKING
- (E) 36\"/>

ACCESSORIES NOTE:

DISPENSERS BY OWNER



E1 INTERIOR ELEVATION
SCALE 1/4\"/>



C1 INTERIOR ELEVATION
SCALE 1/4\"/>

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALL				CEILING		ROOM NO.
				NORTH	EAST	SOUTH	WEST	MATL	HEIGHT	
101	MEN'S BATHROOM	EPOXY PAINT	*	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	GWB	8'-0"	101
102	WOMEN'S BATHROOM	EPOXY PAINT	*	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	GWB	8'-0"	102

DOOR SCHEDULE

DOOR NO.	DOOR SIZE	DOOR		FRAME				HARD WARE	MIN FIRE RATING	DOOR NO.	REMARKS
		MAT'L	ELEV	MAT'L	ELEV	HEAD	JAMB				
101	3'0\"/>										

NOTES/ REVISIONS

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PORTLAND
SEA DOGS
TOILET
BUILDING

PORTLAND, ME

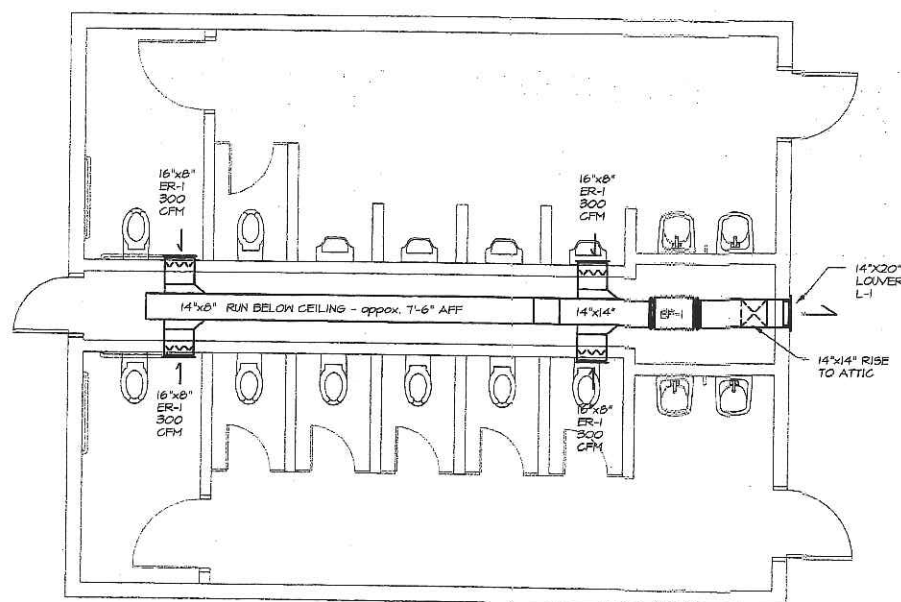
ISSUED FOR
CONSTRUCTION
2/20/08

M-1

TOILET
RENOVATIONS
MECHANICAL PLAN

MECHANICAL

- EF-1 GREENHECK SQ100 DIRECT DRIVE IN-LINE FAN
OR EQUAL BY ACME OR COOK
1,200 CFM @ 0.5" ESP
1/4 HP - 115/60/1
W/HANGING SPRING ISOLATORS
- L-1 RUSKIN 20"x14" L530 LOUVER
4" DEEP 18 GAGE GALVANIZED STEEL
10 GAGE BLADES 4" CENTER TO CENTER
W/ OUTSIDE FLANGE FRAME
W/ 1/2" MESH BIRD SCREEN
W/ BAKED ENAMEL FINISH TO MATCH
EXTERIOR.
- ER-1 ANEMOSTAT HEAVY DUTY RETURN GRILLE HD35H0D
W/ OPPOSED BLADE DAMPERS
W/ 16 GA STEEL FRAME
W/ 18 GAGE LOUVER BARS - 40 DES.
1/2" LOUVER BAR SPACING
- 1) PROVIDE FLEXIBLE CONNECTORS AT THE DUCTWORK CONNECTIONS TO EF-1
 - 2) HANG EF-1 WITH SPRING ISOLATORS FROM THE CEILING JOISTS.
 - 3) ELECTRICAL CONTRACTOR TO PROVIDE MOTOR STARTER FOR EF-1 THAT WILL ACTIVATE EF-1 WHEN EITHER THE MEN'S OR WOMEN'S ROOM LIGHTS ARE ON.
 - 4) ALL DUCTWORK TO BE GALVANIZED IRON - FABRICATED AND INSTALLED PER SMACNA LOW PRESSURE DUCT STANDARDS.



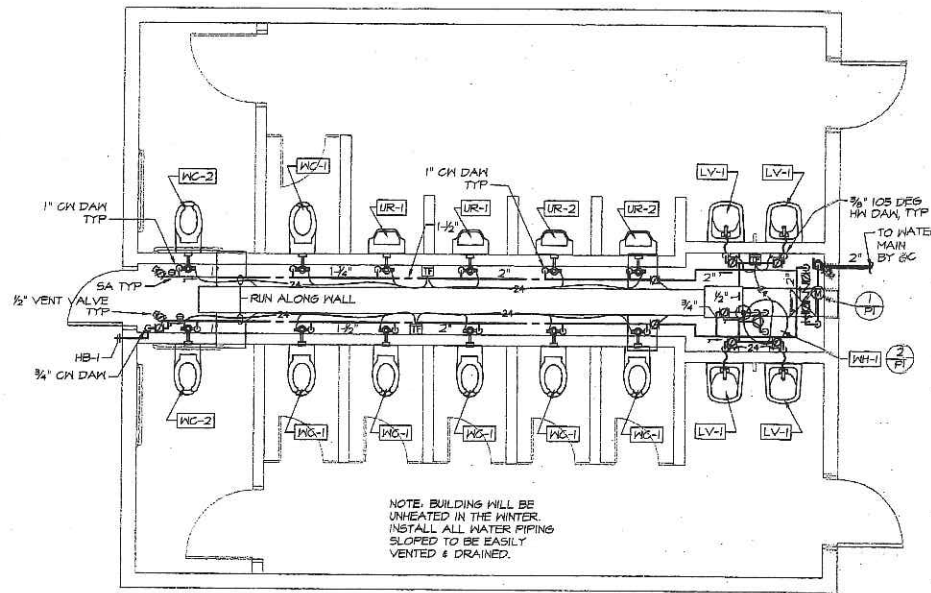
TOILET ROOM - MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



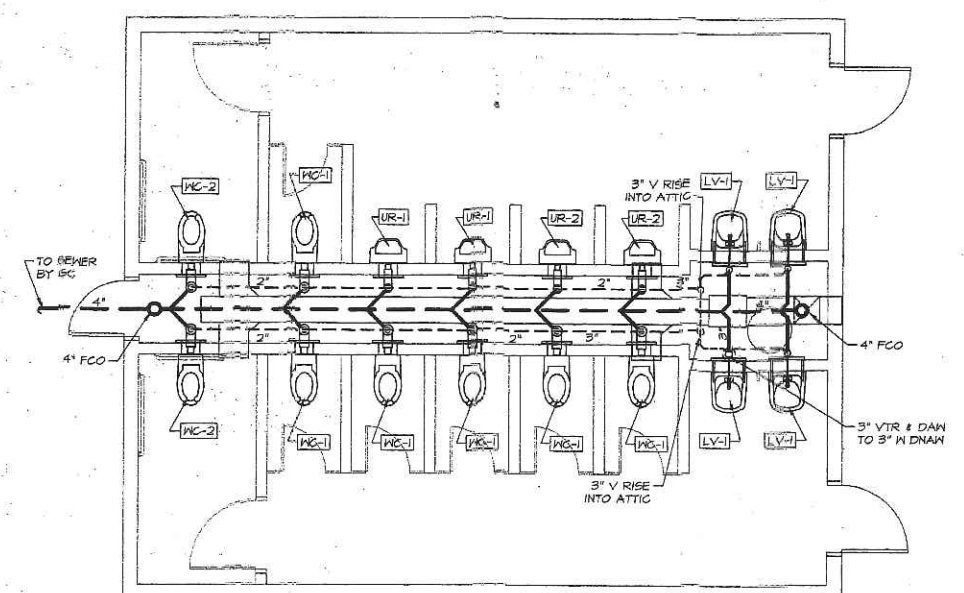
MECHANICAL SYSTEMS ENGINEERS
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NOTE: RUN ALL PLUMBING IN CHASE AS CLOSE TO THE WALL AND/OR AS HIGH AS POSSIBLE TO ALLOW EASE OF PASSAGE.



TOILET ROOM - WATER PLAN

SCALE: 1/8" = 1'-0"

TOILET ROOM - DRAINAGE PLAN

SCALE: 1/8" = 1'-0"

NOTES/ REVISIONS

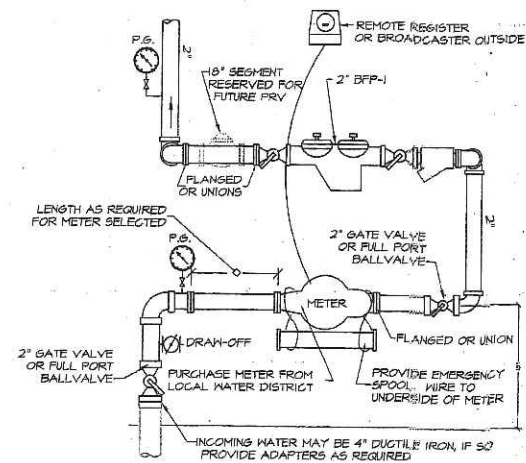
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**PORTLAND
SEA DOGS
TOILET
BUILDING**
PORTLAND, ME

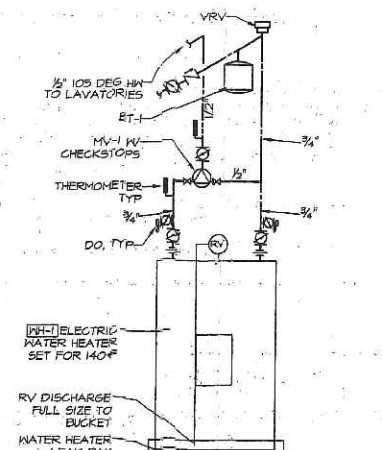
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P-1

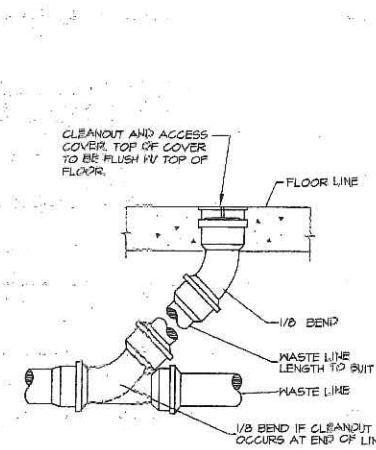
TOILET
RENOVATIONS
PLUMBING PLAN



**1
PI**
MAIN WATER ENTRANCE
SCALE: NONE



**2
PI**
HOT WATER STORAGE TANK DIAGRAM
SCALE: NONE



**3
TYP**
FLOOR CLEAN OUT DETAIL
SCALE: NONE



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NOTES/ REVISIONS

- 1. _____
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PORTLAND
SEA DOGS
TOILET
BUILDING
PORTLAND, ME

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P-2

PLUMBING
NOTES &
SCHEDULES

GENERAL NOTES

1. All work shall be in accordance with the Uniform Plumbing Code, state and local laws, codes and ordinances, National Fire Code (NFPA), or these plans or specifications, whichever is more strict.
2. All drawings are schematic only, and are intended to indicate the intent, extent, and general arrangement of work. They are not meant to show every fitting, change of direction or every situation. Verify locations in the field. Work indicated shall be furnished complete to perform the function intended.
3. Carefully coordinate the space requirements and location of piping with the other trade contractors. Priority given to ductwork and gravity drainage piping. Install work in chase to conserve space and allow easy movement. If coordination fails, conflicts will be decided in favor of the other contractors with this contractor relocating his piping and equipment at no expense to the owner.
4. For pipe sizes not shown on the floor plans, refer to fixture schedules and details. As a minimum use equipment connection sizes and Plumbing Code requirements. For otherwise indeterminate pipe segments, the size shall be the same as the largest known adjacent segment. Where pipe sizes are erroneously shown to decrease then increase, the smaller segment shall be increased to match the larger segment. When a conflict exists, the larger size shall govern. Pipe sizes are nominal (not O.D.) unless specifically noted otherwise.
5. All plumbing fixtures shall be vented.
6. All piping shall run concealed above ceilings, in walls, in soffits and in chases unless noted otherwise.
7. No structural members shall be cored or cut without approval of the Structural Consultant.
8. All plumbing shall be supported from the building structure. All piping drops to fixtures shall be anchored solid to walls.
9. All water piping shall be installed parallel to building lines and pitched to low points to allow easy draining for the winter. Provide drain-offs at low points. Piping shall be run neatly grouped together when applicable.
10. All piping through roofs, masonry walls and partitions shall have steel pipe sleeves. Openings between pipes and sleeves shall be caulked and sealed smoke and water tight. All pipe penetrations through a fire rated wall or floor shall have a U.L. Listed fire stopping system rated to match the rating of the wall, as per the NFPA.
11. All wall fixtures shall be carrier mounted unless otherwise specified.
12. No water, or waste lines shall be run in exterior walls, unless directly indicated.
13. Provide shock absorbers (water hammer arrestors) where shown on drawings.
14. All sanitary waste shall pitch down at 1/8" per L.F. No sanitary/waste piping under slab shall be less than 2" in diameter.

SPECIFICATION

PART 1 GENERAL

1.01 Furnish all materials, equipment, transportation and labor and perform all operations required to install complete plumbing systems.

1.02 Provide and file all plans and pay requisite fees and secure all permits.

1.03 This contractor shall guarantee all work and materials for no less than one (1) year from date of final acceptance.

1.04 Submittals: As soon as possible after award of Contract (but not longer than 21 calendar days) before any material or equipment is purchased, this Contractor shall submit shop drawings to the Architect for review.

1.05 Any work deemed substandard by the Architect shall be redone at no additional cost to the Owner.

1.06 As-builts: During construction, on a clean set of drawings, neatly note any work executed that differs from the plans. Provide them to owner.

PART 2 PRODUCTS AND SYSTEMS

2.01 The makes and models indicated on these drawings are only to illustrate the properties and quality required. Submit for approval items equal to those indicated. The Architect not the contractor shall have final determination whether materials are equal. Provide American made products whenever practical.

2.02 DOMESTIC WATER SYSTEM

A. Tubing to be soldered copper type "L" above slab and soft type "K" or PEX (one size larger) below. No joints below slab.

B. Any exposed uninsulated piping such as under fixtures shall be chrome plated brass or copper.

C. Shutoff valves shall be bronze ball valves rated 400# WOG, check valves shall be bronze rated 200# WOG. Equal to Nibco.

D. Provide escutcheons in finished areas.

E. Insulation shall be 1" thick fiberglass with all service jacket. Every 10 ft, neatly stencil jacket with "Dom. Cold", "Dom. Hot", as appropriate (or use pipe markers).

F. Hangers shall be especially manufactured for this purpose, equal to Carpenter & Patterson. Do not support piping from piping of other trades. Provide insulation shields on cold water piping.

G. Dial thermometers and pressure gages shall be equal to Tricore.

H. All piping left unattended shall be capped to prevent the entry of foreign matter.

I. Test, flush and sterilize piping according to the recommendations of the American Water Works Association. Provide copy of test to Architect.

2.03 SANITARY WASTE AND VENT SYSTEM

A. Piping to be schedule 40 PVC with DWV fittings unless indicated otherwise. Joints carefully cemented. If roof covering is dark, the plumbing vent termination shall be black PVC OR CPVC.

B. Do not cover underground piping until it has been tested and inspected.

ABBREVIATIONS, LINE TYPES & SYMBOLS

AT	LV	LAVATORY	-----	SANITARY/WASTE PIPING UNDER SLAB
AMPS	LF	LINEAR FEET	-----	SANITARY / WASTE PIPING ABOVE SLAB
ADA AMERICANS WITH DISABILITIES ACT	MTD	MOUNTED	-----	VENT PIPING ABOVE FLOOR
AFB ABOVE FINISHED FLOOR	MV	MIXING VALVE	-----	COLD WATER PIPING
BFB BELOW FINISHED GRADE	OD	OUTSIDE DIAMETER	-----	COLD WATER PIPING BELOW SLAB
BFP BACKFLOW PREVENTER	OFC	OFFSET FOR CLARITY	-----	HOT WATER PIPING
BLY BALL VALVE	PC	PLUMBING CONTRACTOR	-----	
CHV CHECK VALVE	FDI	PLUMBING & DRAINAGE INSTITUTE	-----	
C CLEANOUT	PG	PRESSURE GAUGE	-----	
CJ COPPER	PH	PHASE	-----	
CW COLD WATER	PSI	POUNDS PER SQUARE INCH	-----	
CHW COLD & HOT WATER	RAW	RISE AT WALL	-----	
DAH DROP AT WALL	RH	RIGHT HAND	-----	
DEG DEGREES	RIW	RISE IN WALL	-----	
DIW DROP IN WALL	RV	RELIEF VALVE	-----	
DN DOWN	S	SANITARY WASTE	-----	
DNW DOWN AT WALL	SA	SHOCK ABSORBER	-----	
DNIG DOWN IN CHASE	TYP	TYPICAL	-----	
DNW DOWN IN WALL	U&DNIG	UP & DOWN IN CHASE	-----	
DO DRAHOFF	UC	UP IN CHASE	-----	
ET EXPANSION TANK	UW	UP IN WALL	-----	
FCO FLOOR CLEANOUT	V	VENT	-----	
GC GENERAL CONTRACTOR	VC	VITREOUS CHINA	-----	
GHT GARDEN HOSE THREAD	VIF	VERIFY IN FIELD	-----	
GPF GALLONS PER FLUSH	VRV	VACUUM RELIEF VALVE	-----	
GPM GALLONS PER MINUTE	VTR	VENT THRU ROOF	-----	
HB HOSE BIB	W	WASTE	-----	
HC HEATING CONTRACTOR	WB	WITH	-----	
HW HOT WATER I	WC	WATER CLOSET	-----	
	WCO	WALL CLEANOUT	-----	
	WH	WATER HEATER	-----	

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	COLD WATER	HOT WATER	SAN/WASTE	VENT	SPECIFICATION AND REMARKS
LV-1	LAVATORY, WALL MTD - ADA		1/2"	1-1/2" x 1-1/2"	1-1/2"	AMERICAN STANDARD MURRO UNIVERSAL 0454-0000, WHITE, V.C. IV 00591220 SHROUD, SLOAN MODEL ETE-6004LT SENSOR OPERATED ELECTRONIC HAND WASHING FAUCET. INSTALL ALL PIPING, WIRING AND CONTROL MODULE INSIDE SHROUD OR EXPOSED IN CHASE BEHIND FIXTURES. (PROVIDE ONE EL-208 TRANSFORMER FOR EACH SET OF SIX FAUCETS) 4" CENTERS, DECK MOUNTED FAUCET FOR TEMPERED WATER, CHROME & BLACK FINISH. MCGUIRE GROME DRAIN AND P-TRAP. ZURN FLOOR MOUNTED CONCEALED ARM CARRIER, RIM AT 34".
UR-1	URINAL, WALL MTD FLUSHVALVE	1"	-	2"	1-1/2"	AMERICAN STANDARD WASHBROOK 1.0 GPF URINAL MODEL 6506-011, BACK SPUD, ELONGATED (14"), WHITE, V.C. RIM AT 24". SLOAN MODEL 185-1.0 ES-5 SENSOR OPERATED ELECTRONIC FLUSHMETER. (PROVIDE ONE EL-154 TRANSFORMER FOR EACH TOILET ROOM'S SET OF FLUSHVALVES). ZURN FLOOR MOUNTED URINAL CARRIER.
UR-2	URINAL, WALL MTD FLUSHVALVE, CHILD AND ADA	1"	-	2"	1-1/2"	SAME AS UR-1 ABOVE EXCEPT MOUNT RIM AT 15-1/4".
WC-1	WATER CLOSET, WALL MTD FLUSHVALVE	1"	-	4"	2"	AMERICAN STANDARD AFNALL 1.6 GPF WATER CLOSET MODEL 2250-125, BACK SPUD, ELONGATED BOWL, WHITE, V.C. RIM AT 15". SLOAN MODEL 152-1.6 ES-5 SENSOR OPERATED ELECTRONIC FLUSHMETER. (PROVIDE ONE EL-154 TRANSFORMER FOR EACH TOILET ROOM'S SET OF FLUSHVALVES). ZURN Z-1204 ADJUSTABLE VERTICAL FLOOR MOUNTED CARRIER WITH FLUSHVALVE SUPPORT.
WC-1	WATER CLOSET, WALL MTD FLUSHVALVE -ADA	1"	-	4"	2"	SAME AS WC-1 ABOVE EXCEPT RIM AT 11". COORDINATE SENSOR LOCATION SO AS NOT TO CONFLICT WITH GRAB BARS.

ELECTRIC WATER HEATER SCHEDULE

TAG	ITEM	GAL	WATTS	VOLTS	PH	SPECIFICATION & REMARKS
WH-1	GENERAL	50	4500	240	1	RHEEM MARATHON MODEL MRS50245, SHORT POLYBUTENE TANK, FOAM INSULATION, 90 MIN. EF. ELEC. BY EC

WATER SPECIALTY SCHEDULE

TAG	ITEM	CW	HW	OUTLET	SPECIFICATION & REMARKS
MV-1	MASTER MIXING VALVE	1/2"	1/2"	3/4" 105"	SYMONS 5-120-GKX THERMIXER IV, CHECK STOPS, 6 GPM AT 10 PSI LOSS
BFP-1	WATER ENTRANCE BACK FLOW PREVENTER	2"	-	2"	WATTS MODEL 007-M20T-S-U DOUBLE CHECK BFP IV STRAINER, UNIONS
ET-1	EXPANSION TANK	3/4"	-	-	WATTS DET-5-M1, 2.1 GAL
HB-1	HOSE BIB IV VB	3/4"	-	3/4" 6HT	ZURN B345 SELF DRAINING WALL FAUCET IV VB
RV-1	P&T RELIEF VALVE	3/4"	-	3/4"	WATTS OR EQUAL
SA-1	SHOCK ABSORBER	3/4"	-	-	ZURN Z-1700, SIZE 300 BELLOW TYPE WATER HAMMER ARRESTOR

DRAINAGE SPECIALTY SCHEDULE

TAG	ITEM	WASTE	VENT	SPECIFICATION & REMARKS
FCO-1	GENERAL ROUND FLOOR CLEANOUT	SIZE OF PIPE	-	ZURN C02444-FV3 OR FV4, 5", ADJUSTABLE, PVC BODY, NB TOP



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NOTES/ REVISIONS

2/20/08-TOILET BLDG

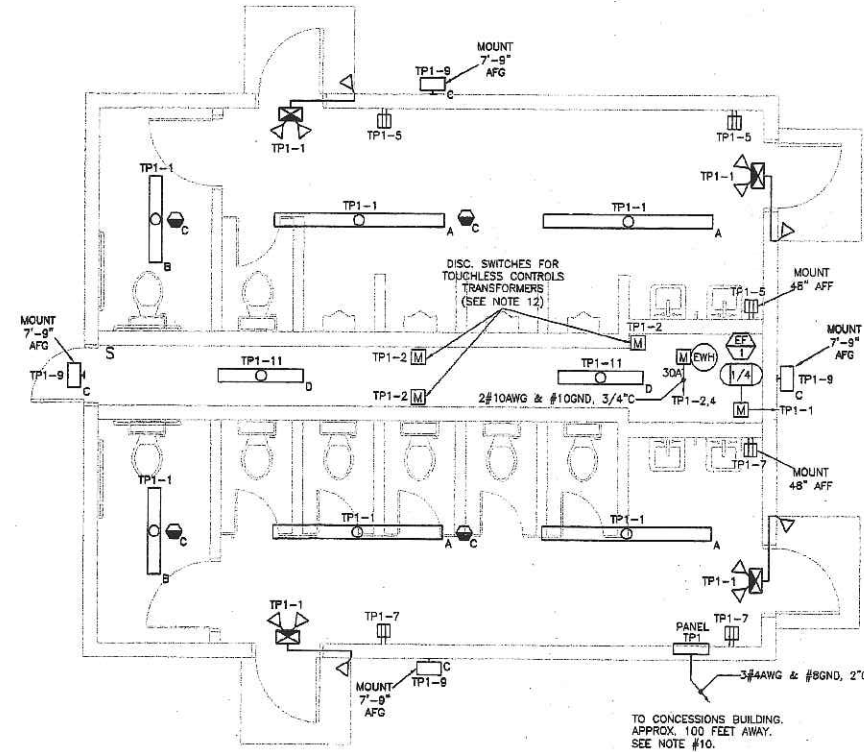
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PORTLAND
SEA DOGS
TOILET
BUILDING
PORTLAND, ME

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2-20-08

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TOILET BUILDING
POWER PLAN



1 TOILET BUILDING LAYOUT
SCALE: 1/4"=1'-0"

PLAN LEGEND

- FLOURESCENT LIGHT FIXTURE
- EXTERIOR WALLPACK
- CEILING MOUNTED OCCUPANCY SENSOR
- 20 AMP, 120 VOLT GFCI RECEPTACLE
- PANELBOARD, NORMAL POWER
- MANUAL TOGGLE TYPE DISCONNECT (30A)
- TOGGLE TYPE LIGHTING SWITCH (3-WAY)
- FAN MOTOR (IN HP)

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH NFPA-70, NATIONAL ELECTRICAL CODE.
- ALL MOTOR SAFETY SWITCHES, DISCONNECTS AND MOTOR STARTERS ARE FURNISHED BY DIVISION 16000 UNLESS NOTED AS FURNISHED WITH EQUIPMENT (FWE).
- UNLESS OTHERWISE NOTED, CONVENIENCE RECEPTACLES SHALL BE MOUNTED 18 INCHES AFF AND LIGHTING TOGGLE SWITCHES 48 INCHES AFF.
- ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH A UL APPROVED FIRE SEALANT MATERIAL TO MAINTAIN THE RATING OF THE SEPARATION.
- LIGHTING TOGGLE SWITCHES SHALL BE COMMERCIAL SPECIFICATION GRADE, 120 VOLT, SIDE WIRED AS MANUFACTURED BY LEVITON, PASS & SEYMOUR, OR APPROVED EQUAL.
- CONVENIENCE RECEPTACLES SHALL BE COMMERCIAL SPECIFICATION GRADE, GROUNDING TYPE, NEMA 5-20R, SIDE WIRED, AS MANUFACTURED BY LEVITON, PASS & SEYMOUR, OR APPROVED EQUAL.
- ALL RECEPTACLES AND SWITCHES SHALL BE IVORY COLOR WITH BRUSHED CHROME COVER PLATES.
- UNLESS OTHERWISE NOTED ALL HOMERUNS FOR 15 OR 20A CIRCUITS SHALL BE 2#12AWG & #12 GND. HOMERUNS FED FROM 20A, 1P CIRCUITS IN EXCESS OF 100 FEET SHALL BE #10AWG. ALL WIRING SHALL BE COPPER.
- CONDUIT SYSTEMS: EXPOSED INTERIOR CONDUITS SHALL BE EMT, 3/4" MINIMUM. PROPERLY SUPPORTED MC CABLE ASSEMBLIES MAY BE USED ABOVE CEILINGS AND IN WALLS, UNDERGROUND CONDUITS SHALL BE DIRECT BURIED SCHEDULE 80 PVC WITH GALVANIZED STEEL SWEEPS. LB FITTINGS MAY BE USED WHERE CONDUITS EXIT THE EXISTING BUILDING PRIOR TO SWEEPING UNDERGROUND.
- NEW FEEDER TO THE BATHROOM BUILDING SHALL BE FED FROM EXISTING PANEL LABELED PANEL B-A LOCATED IN CONCESSIONS BUILDING ELECTRICAL ROOM. EXISTING PANEL IS SQUARE D MODEL NQDD PANEL. FURNISH NEW 60A, 2P BREAKER, IN EXISTING SPACE AT POSITIONS 37 & 38 TO MATCH EXISTING BREAKERS IN THIS PANEL.
- INTENT OF LIGHTING OPERATION. ON/OFF BY OCCUPANCY SENSOR. SWITCHING OF LIGHTING SHALL ALSO CONTROL EXHAUST FAN EF-1 FAN. FURNISH CONTROLS, INCLUDING ANY RELAYS OR STARTERS, SUCH THAT WHEN LIGHTS IN EITHER ROOM ARE ON, THE FAN WILL OPERATE.
- FURNISH TOGGLE-TYPE DISCONNECT SWITCH FOR 120VAC/24VAC CONTROL POWER TRANSFORMERS (FURNISHED BY MECHANICAL, INSTALLED BY ELECTRICAL) FOR TOILET FLUSH AND LAVATORY CONTROL. ELECTRICAL SHALL ALSO FURNISH AND INSTALL ALL LOW VOLTAGE WIRING AS REQUIRED TO EACH DEVICE. EXACT LOCATION TO BE DETERMINED IN FIELD. ONE TRANSFORMER SHALL BE LOCATED AT THE MENS FLUSH VALVE AND ANOTHER AT THE LADIES FLUSH VALVE. THE THIRD TRANSFORMER SHALL BE LOCATED IN THE VICINITY OF THE (4) LAVATORIES.



DIRECTORY	KVA LOAD		CIR #	BRK AMPS	PHASE	BRK AMPS	CIR #	KVA LOAD		DIRECTORY
	A	B						A	B	
MENS BATH LIGHTS & FAN	1.4		1	20	A	30	2	2.3		HW HEATER
SPARE		*	3	20	B	4		2.3		
MENS BATH RECEPTS	0.6		5	20	A	20	8	*		SPARE
WOMENS BATH RECEPTS		0.6	7	20	B	20	8		*	SPARE
EXTERIOR FIXTURES	0.2		9	20	A	20	10		*	SPARE
CHASE LIGHTS		0.2	11	20	B	20	12		*	SPARE
SUBTOTAL	2.2	0.8						2.3	2.3	SUBTOTAL
VOLTAGE: 208/120V PHASE: 1 POLES: 3 TOTAL KVA A-PHASE 4.5										
MAIN BREAKER: 60A BUS AMPS: 60A TOTAL KVA B-PHASE 3.1										
MOUNTING: SURFACE TOTAL KVA 7.6										
SHORT CIRCUIT RATING: 10KAIC										
NOTES:										

2 TOILET BUILDING PANEL SCHEDULE
SCALE: N.T.S.

LIGHT FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MANUFACTURER/ CATALOG NO.	LAMPS	MOUNTING	NOTES
A	8"x8" SURFACE MOUNTED FLOURESCENT WRAPAROUND FIXTURE 120V	LIGHTOLIER	(4)-32W SUPER T8	CEILING SURFACE	MODEL #: JS8A432120S0
B	6"x4" SURFACE MOUNTED FLOURESCENT WRAPAROUND FIXTURE 120V	LIGHTOLIER	(2)-32W SUPER T8	CEILING SURFACE	MODEL #: JS4C232120S0
C	200 WALLCUBE SERIES EXTERIOR FIXTURE 120V	EXCELINE	(1)-35W MH	WALL SURFACE	MODEL #: 21335NLX-1
D	4' STW SEALTRON WET/DAMP LOCATION INDUSTRIAL FLOURESCENT FIXTURE 120V	LIGHTOLIER	(2)-32W SUPER T8	CEILING SURFACE	MODEL #: ST4WA232UNVC5
	COMBINATION EMERGENCY LED EXIT SIGN & EMERGENCY LIGHT W/ BATTERY & CHARGER 120V	LIGHTOLIER	5.4W	UNIVERSAL	MODEL #: LLC2UR2-12R
	WEATHERPROOF REMOTE LAMP HEADS	LIGHTOLIER	8W HALOGEN	WALL	MODEL #: IH86

3 TOILET BUILDING FIXTURE SCHEDULE
SCALE: N.T.S.

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