

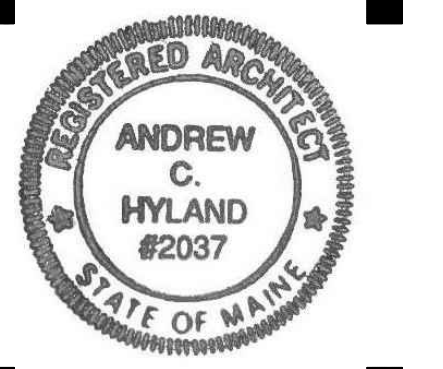
Hadlock Field - Concessions Renovation Project

at Stands A and D

271 Park Ave, Portland, Maine 04102



65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000



Consultants:

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REVIEW SET - NOT FOR CONSTRUCTION

Portland
Sea Dogs

Concessions
Remodel at
Stands A and D

Hadlock Field
271 Park Ave.
Portland, ME 04102

#	DATE	DESCRIPTION
1	10-30-15	REVIEW/PERMIT SET

Date Issued: October 30, 2015
Project Number: 15214
Drawing Scale: AS NOTED

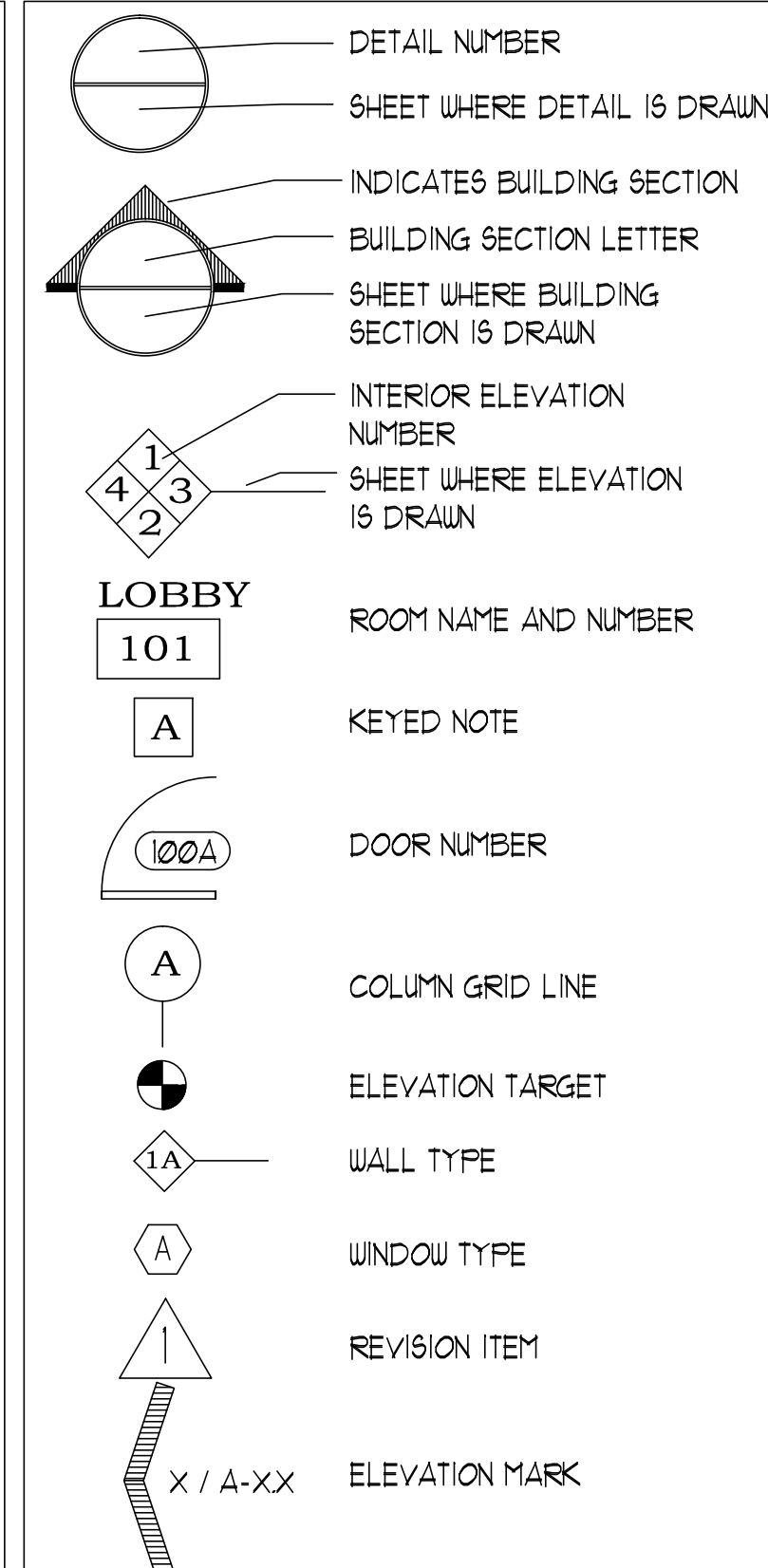
Title Sheet

Drawn By	MC
Checked By	ACH
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GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOORS SHOULD HAVE ADA COMPLIANT LEVER HANDLES.
- SIGNAGE TO MEET ALL ADA REQUIREMENTS INCLUDING THE ONES INDICATED ON THE ADA BLOCK UNLESS NOTED OTHERWISE.

LEGEND



PROJECT SUMMARY

EXISTING CONDITIONS:

THE CURRENT FACILITY IS THE MINOR LEAGUE BALLPARK FOR THE PORTLAND SEA DOGS. THERE ARE TWO CONCESSION STANDS THAT ARE IN NEED OF MINOR REMODELING.

PROJECT DESCRIPTION:

IT IS THE INTENT OF THIS PROJECT TO REMOVE AND RELOCATE CONCESSIONS EQUIPMENT, REPLACE THE EXISTING COUNTERTOPS AT THE SERVICE WINDOWS, AND RELOCATE POINT-OF-SALE REGISTERS AT CONCESSION STANDS 'A' AND 'D'. ALSO, NON-LOADBEARING CONCRETE BLOCK PARTITION WALLS WILL BE CONSTRUCTED AS PER THESE PLANS. FINALLY, VERTICAL GLAZED GUARDS WILL BE INSTALLED AT ONE WINDOW AT STAND 'A' AND ONE WINDOW AT STAND 'D'.

MECHANICAL, ELECTRICAL AND PLUMBING:

THE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS WILL BE MODIFIED AS REQUIRED FOR THE REMOVAL, RELOCATION, AND INSTALLATION OF ANY EXISTING OR NEW KITCHEN CONCESSION EQUIPMENT. THESE DRAWINGS DO NOT INCLUDE ANY OF THESE REQUIREMENTS AND THESE DISCIPLINES WILL BE EXECUTED AS 'DESIGN-BUILD' AND ARE REQUIRED TO OBTAIN THEIR RESPECTIVE PERMITS FROM ALL AUTHORITIES HAVING JURISDICTIONS.

SPRINKLER SYSTEM:

NOT APPLICABLE

FIRE ALARM SYSTEM:

NOT APPLICABLE

CIVIL ENGINEERING:

NOT APPLICABLE

EXTERIOR SIGNAGE:

NOT APPLICABLE

ZONING:

NOT APPLICABLE AS THERE IS NO CHANGE OF USE.

ADA:

ANY AND ALL NEW CONSTRUCTION COVERED ON THESE PLANS SHALL BE ADA COMPLIANT.

PROJECT CODES

2009 INTERNATIONAL BUILDING CODE
2009 NFPA 101 LIFE SAFETY CODE

PROJECT CONTACTS

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OWNER: PORTLAND SEA DOGS
ATTN: MATTHEW DRIVAS
271 PARK AVE
PORTLAND, MAINE 04102
TEL: 207-274-5366
E-MAIL: MDRIVAS@SEADOGS.COM

CODE REVIEW

Code Review - IBC 2012

NOT APPLICABLE

Code Review - NFPA 101 (Life Safety) 2009

NOT APPLICABLE

PROJECT NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING, AND COORDINATING ALL WORK WITH THE OWNER'S SCHEDULE, WORK TIMES, STORAGE AREAS AND BUILDING ACCESS PRIOR TO BIDDING.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND THE OWNER IF CONDITIONS IN THE FIELD ARE NOT AS REPRESENTED ON THESE DRAWINGS, PRIOR TO CONTINUING THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED SAFETY MEASURES.
- CONTRACTORS TO PROTECT ALL SURROUNDING CONSTRUCTION AS REQUIRED. REPAIR AND REPLACE ALL DAMAGE DONE TO SURROUNDING CONSTRUCTION AS REQUIRED.

PERMIT NOTE

THESE DRAWINGS INCLUDE THE REQUIREMENTS TO OBTAIN A BUILDING PERMIT FROM THE CITY OF PORTLAND, MAINE. THESE DRAWINGS DO NOT CONTAIN THE INFORMATION NECESSARY TO OBTAIN ELECTRICAL, PLUMBING, MECHANICAL, OR ANY OTHER PERMITS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL ADDITIONAL PERMITS AS REQUIRED TO PERFORM THE WORK.