

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING DEPARTMENT
PERMIT

Permit Number: 090383

This is to certify that CITY OF PORTLAND / Peters Construction
 has permission to construction of drainage improvements, including underground drain, pavement, and sidewalks
 AT 165 PARK AVE CH 049 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. X. [Signature]
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

[Signature] 5/12/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0383	Issue Date:	CBL: 052 C005001
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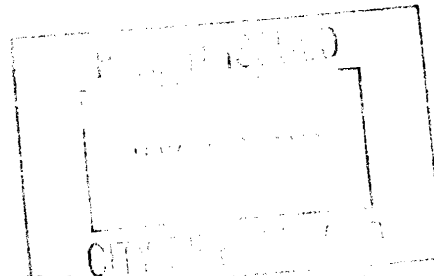
Location of Construction: 233 Park Ave	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: Peters Construction, Inc	Contractor Address: P.O. Box 61 Gorham	Phone: 2073188523
Lessee/Buyer's Name	Phone:	Permit Type: Municipal	Zone: <i>KOS</i>

Past Use: Commercial /Expo	Proposed Use: Commercial / Expo - construction of drainage improvements, including underdrain, pavement, and sidewalks	Permit Fee: \$0.00	Cost of Work: \$119,750.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>A</i> Type: <i>Site work</i> <i>IBC 2003</i>	

Proposed Project Description: construction of drainage improvements, including underdrain, pavement, and sidewalks	Signature: <i>(KOS)</i>	Signature: <i>(Signature)</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 04/28/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/6/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Date: <i>5/6/09</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0383	Date Applied For: 04/28/2009	CBL: 052 C005001
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Location of Construction: 233 Park Ave	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: Peters Construction, Inc	Contractor Address: P.O. Box 61 Gorham	Phone (207) 318-8523
Lessee/Buyer's Name	Phone:	Permit Type: Municipal	

Proposed Use: Commercial / Expo - construction of drainage improvements, including underdrain, pavement, and sidewalks	Proposed Project Description: construction of drainage improvements, including underdrain, pavement, and sidewalks
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/06/2009
Note: **Ok to Issue:**

2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 05/12/2008
Note: **Ok to Issue:**

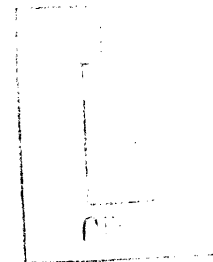
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/08/2009
Note: **Ok to Issue:**

Comments:

5/1/2009-mes: Probably needs a site plan review - wait for their approval looks like they are increasing the impervious surface

5/6/2009-mes: There is a site plan exemption and I had to track down the impervious surface information.





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Portland Exposition Building 239 Park Ave. Portland, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>10,000</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>049 - A001 - 001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>City of Portland</u> Address <u>389 Congress St.</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>2078748300</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>119,750.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Commercial</u> If vacant, what was the previous use? <u>-</u> Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>-</u> If yes, please name <u>-</u> Project description: <u>Construction of drainage improvements, including underdrain, pavement, and sidewalks. ~ 1500 # New impervious</u>		
Contractor's name: <u>Peters Construction, Inc.</u> Address: <u>PO Box 61</u> City, State & Zip <u>Gorham, ME 04038</u> Telephone: <u>2073188523</u> Who should we contact when the permit is ready: <u>Rob Owens</u> Telephone: <u>2076539652</u> Mailing address: <u>74 Flagg Meadow Rd., Buxton, ME 04093</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4/28/09

This is not a permit; you may not commence ANY work until the permit is issued

Robert Loeman
Public Buildings Director

$$180 \times 300 = 54,000$$

$$300 \times 300 = 90,000$$

$$144,000$$

$$29,400$$

$$22.3 \text{ Acres} \times 43,560 = 971,388 \text{ ft}^2 \times 75\%$$

$$728,541 \text{ impervious}$$

NOTES

1. BASE PLAN INFORMATION DERIVED FROM FOLLOWING SOURCES:

"BOUNDARY LINE RETRACEMENT PLAN," PROVIDED BY THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE, 2008.

"TRACK AND FIELD IMPROVEMENTS FOR JAMES J. FITZPATRICK STADIUM" BY GALE ASSOCIATES, MAY 2001.

"SITE PLAN FOR FITZPATRICK STADIUM TOILET BUILDING" BY DOMUS ARCHITECTS, DATED JANUARY 2008.

"SITE PLAN FOR HADLOCK FIELD CLUBHOUSE" BY DOMUS ARCHITECTS, DATED SEPT. 30, 2007.

FIELD OBSERVATIONS MADE ON MARCH 20, 2009:

2. INFORMATION ON PLAN IS PROVIDED FOR IMPERVIOUS SURFACE CALCULATIONS ONLY, AND IS NOT TO BE USED FOR ANY PURPOSES OF CONSTRUCTION.

3. FIELD VERIFY LOCATION OF ALL STRUCTURES, UTILITIES, AND SITE ELEMENTS PRIOR TO CONSTRUCTION.

CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	2 AC.	22.3 AC.
IMPERVIOUS SURFACE	75% MAX (16.73 AC.)	53.45% (11.92 AC.)
IMPERVIOUS INCREASE		+784 SF
INCREASE	784 SF	+0.15%
	519,303 SF	

mm 242847 DOMUS ARCHITECTS

KEY

IMPERVIOUS SURFACES:
BUILDINGS, PAVED AREAS,
RUBBER TRACK MAT.

PERVIOUS SURFACES:
LAWN, PLAYING FIELDS,
GRAVEL, PLANTING BEDS.

PO BOX 301
FREEPORT MAINE
04032

TEL 207-865-1272
FAX 207-865-XXXX
WWW.DOMUSARCHITECTS.NET

NOTES/ REVISIONS

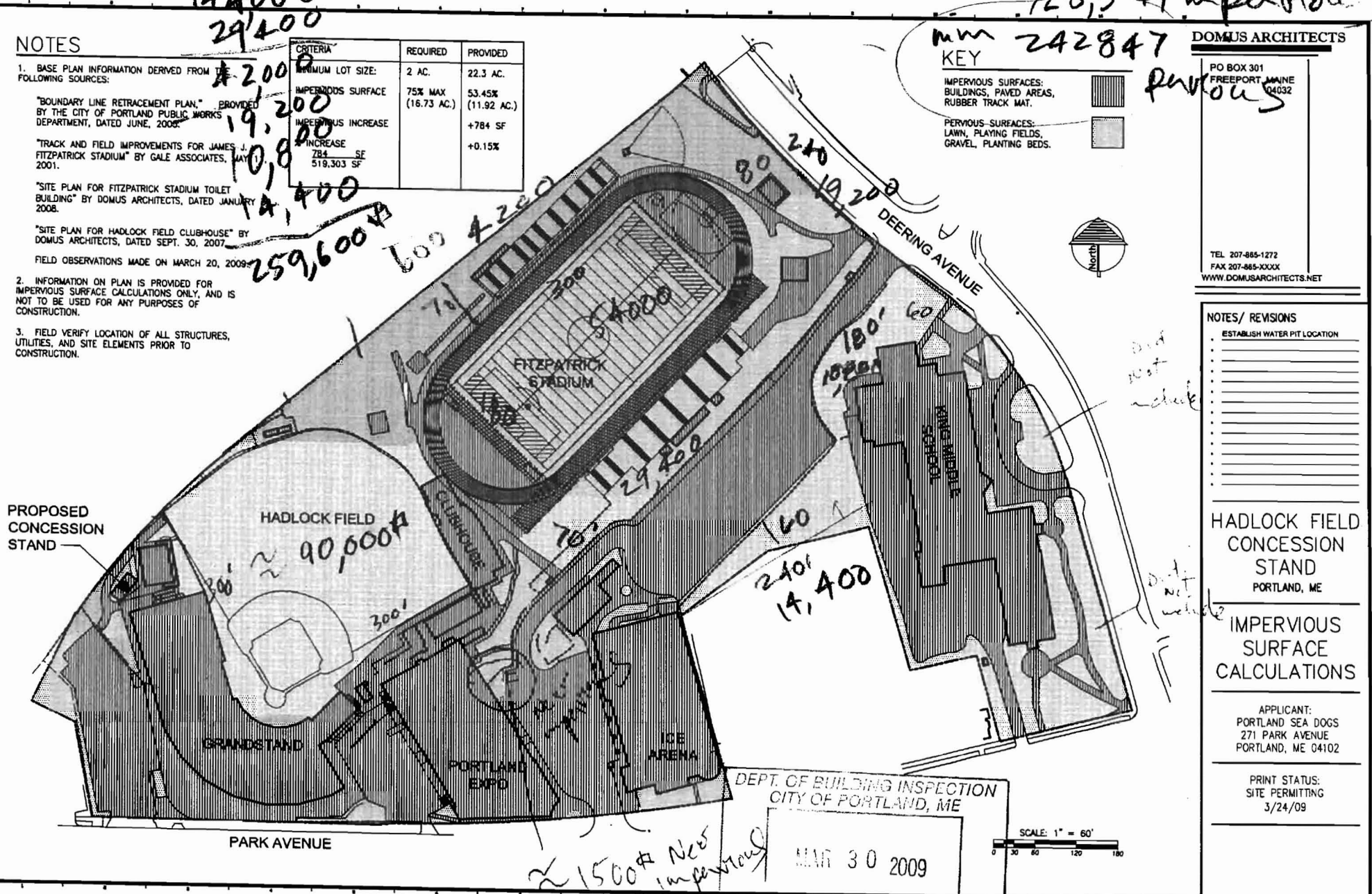
ESTABLISH WATER PIT LOCATION

HADLOCK FIELD
CONCESSION
STAND
PORTLAND, ME

IMPERVIOUS
SURFACE
CALCULATIONS

APPLICANT:
PORTLAND SEA DOGS
271 PARK AVENUE
PORTLAND, ME 04102

PRINT STATUS:
SITE PERMITTING
3/24/09



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 30 2009
RECEIVED

SCALE: 1" = 60'



Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

Bob Leeman, City of Portland

Applicant/Owner

389 Congress Street, Portland ME

Mailing Address

Barry Sheff, Woodard & Curran

Consultant/Agent

774.2112 / 774.6635 / 749.4171

Phone

Fax

Cell

2. Project Information

April 10, 2009

Application Date

Expo Building Improvements

Project Name/Description

233-239 Park Ave, Portland ME

Address of Proposed Site

052 C005001

Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development: MAY - 6 2009

This improvements project is located on the east side, exterior of the building. The project involves the removal of the aging emergency staircase and replacement with a ADA Accessible ramp. The project also includes the construction of a more traditional loading dock/ramp on the building's exterior, and necessary grading and drainage system improvements.

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	Yes	yes
b) Footprint Increase Less Than 500 sq. ft.	Yes	- stairwell & wall
c) No New Curb Cuts, Driveways, Parking Areas	Yes	reconfig loading area
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	Yes	yes
e) No Additional Parking/No Traffic Increase	Yes	yes
f) No Known Stormwater Problems	No	yes / storm drain plan ok
g) Sufficient Property Screening Exists	Yes	yes
h) Adequate Utilities	Yes	yes

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

1. Prior to the start of site work, a pre-construction meeting shall be scheduled with Phil DiPierro and Public Services.
2. All new catch basins shall have a 3 foot sump.

Planner's Signature Barbara Barthel Date April 30, 2009

3. All construction materials shall meet City standards.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW**

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

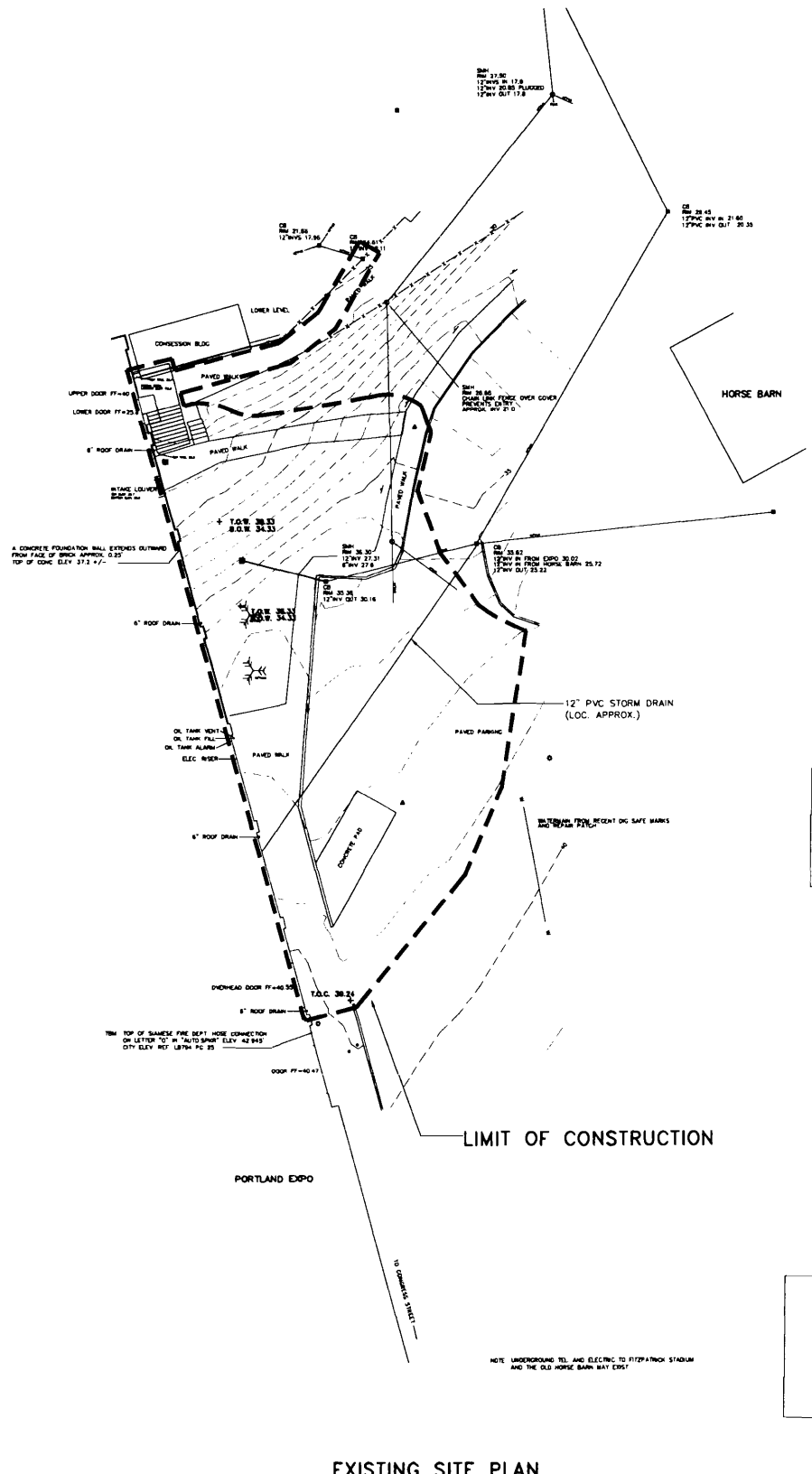
A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

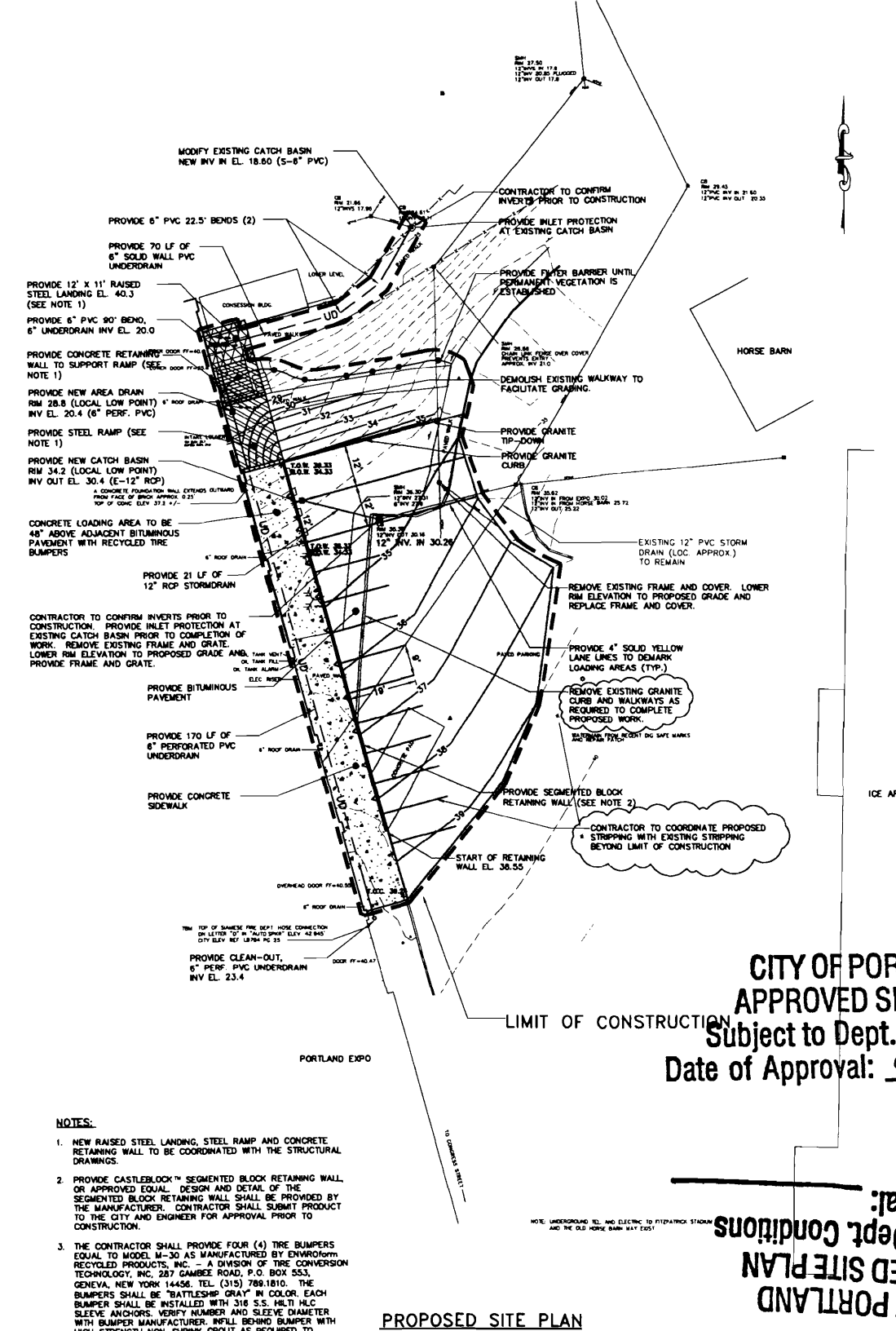
IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

D:\203848 City of Portland-General Engineering Services\88 Portland Expo\02 Project Deliverables\2009.02.20 issued for Bid\Drawings\203848-0201.dwg, Apr. 29, 2009 - 2:04pm



EXISTING SITE PLAN
SCALE: 1" = 20'



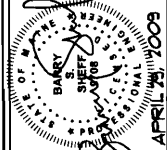
PROPOSED SITE PLAN
SCALE: 1" = 20'

- NOTES:**
1. NEW RAISED STEEL LANDING, STEEL RAMP AND CONCRETE RETAINING WALL TO BE COORDINATED WITH THE STRUCTURAL DRAWINGS.
 2. PROVIDE CASTLEBLOCK™ SEGMENTED BLOCK RETAINING WALL OR APPROVED EQUAL. DESIGN AND DETAIL OF THE SEGMENTED BLOCK RETAINING WALL SHALL BE PROVIDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT PRODUCT TO THE CITY AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL PROVIDE FOUR (4) TIRE BUMPERS EQUAL TO MODEL M-30 AS MANUFACTURED BY ENVIRONMENTAL RECYCLED PRODUCTS, INC. - A DIVISION OF TIRE CONVERSION TECHNOLOGY, INC. 287 GAMBEL ROAD, P.O. BOX 553, GENEVA, NEW YORK 14456. TEL: (315) 789-1810. THE BUMPERS SHALL BE "BATTLESHIP GRAY" IN COLOR. EACH BUMPER SHALL BE INSTALLED WITH 3/16 S.S. H.L.C SLEEVE ANCHORS. VERIFY NUMBER AND SLAVE DIAMETER WITH BUMPER MANUFACTURER. INFILL BEHIND BUMPER WITH HIGH STRENGTH NON-SHRINK GROUT AS REQUIRED TO CREATE FLUSH MOUNTING SURFACE. THE FINAL LOCATION SHALL BE AS DIRECTED BY THE CITY OF PORTLAND IN THE LOADING DOCK AREA.

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 4/30/09

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 4/30/09

41 HUTCHINS DRIVE
PORTLAND, MAINE 04102
800.426.4262 | www.woodandcurran.com
WOODARD & CURRAN
COMMITMENT & INTEGRITY DRIVE RESULTS



REV	DESCRIPTION	DATE	BY	CHECKED BY
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02	ISSUED FOR BID	02/20/09	ARV	RMS
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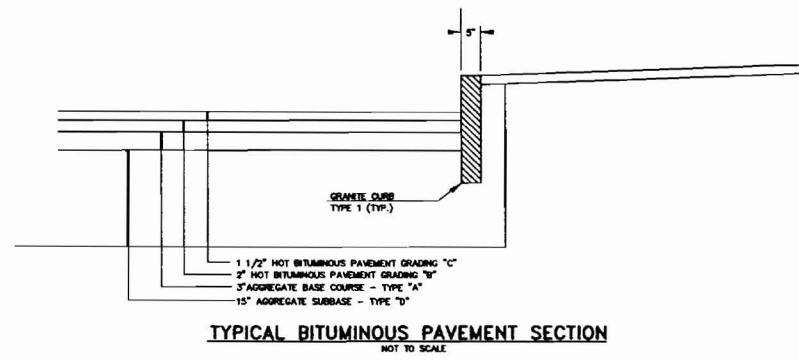
**EXISTING AND PROPOSED
SITE PLANS**

CITY OF PORTLAND
PORTLAND EXPO
DRAINAGE IMPROVEMENTS

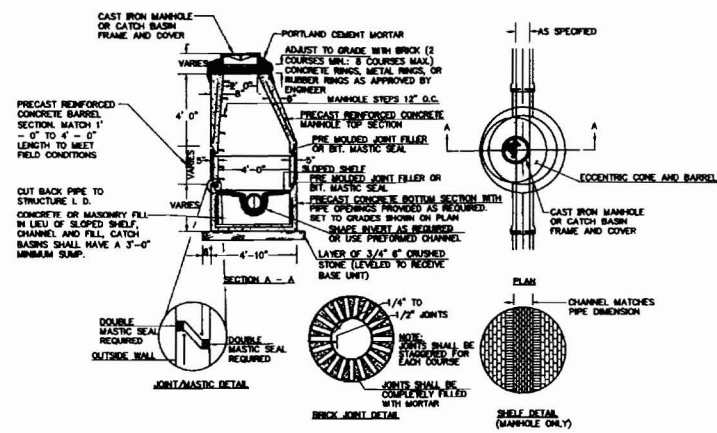
JOB NO: 203848.98
DATE: AUGUST 2007
SCALE: 1" = 20'
SHEET: 1 OF 5

C-01

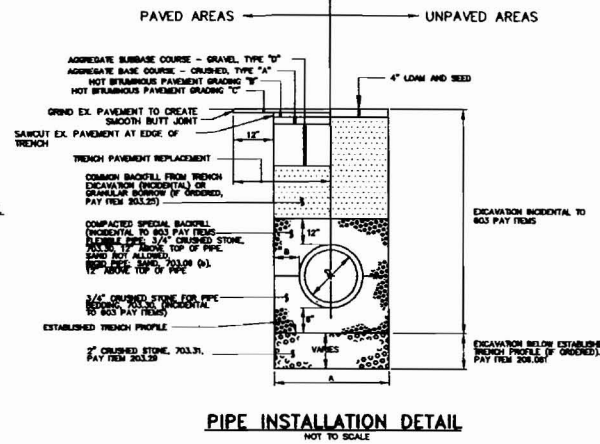
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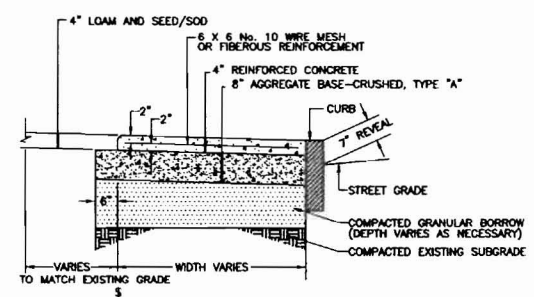
TYPICAL BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



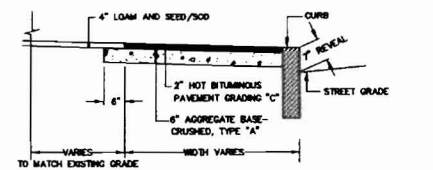
PRECAST CONCRETE MANHOLE TYPE "A"
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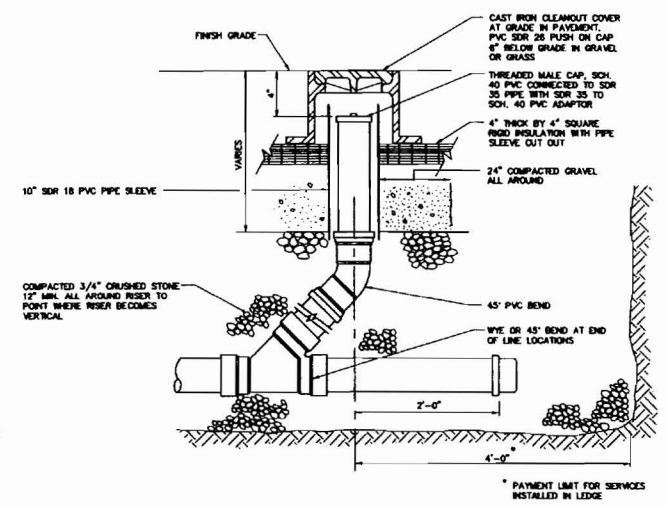
PIPE INSTALLATION DETAIL
NOT TO SCALE



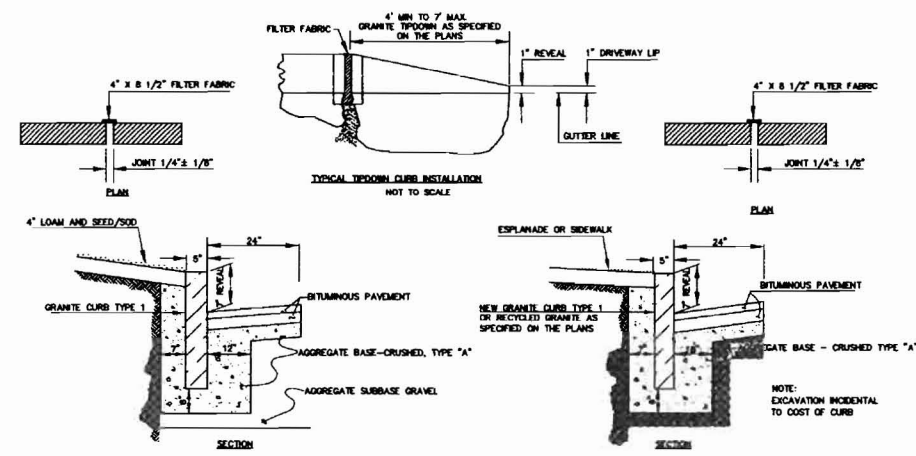
REINFORCED CONCRETE SIDEWALK DETAIL - NO ESPLANADE
NOT TO SCALE



BITUMINOUS SIDEWALK DETAIL - NO ESPLANADE
NOT TO SCALE



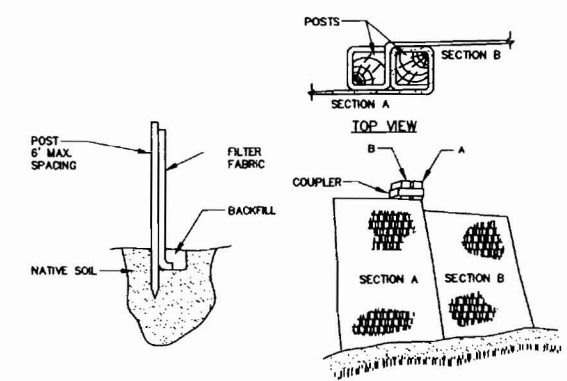
CLEANOUT DETAIL
N.T.S.



INSTALLATION OF CURB
NOT TO SCALE

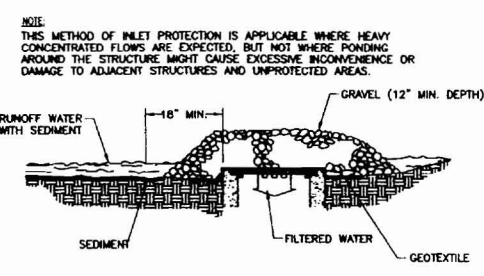
CURB REPLACEMENT DETAIL
NOT TO SCALE

TYPICAL INSTALLATION OF CURB
NOT TO SCALE



- INSTALLATION:
1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

FILTER BARRIER
NOT TO SCALE



GRAVEL AND GEOTEXTILE DROP INLET SEDIMENT FILTER
NOT TO SCALE

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SITE PLAN DETAILS

CITY OF PORTLAND
PORTLAND, MAINE

PORTLAND EXPO
DRAINAGE IMPROVEMENTS

JOB NO.: 203448 98
DATE: AUGUST 2007
SCALE: AS NOTED
SHEET: 2 OF 5

C-02

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GENERAL REQUIREMENTS:

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LAYOUT BEFORE CONSTRUCTION. IF EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THE ATTACHED DRAWINGS, NOTIFY ENGINEER BEFORE PROCEEDING.

FIELD VERIFY LOCATION OF ALL UTILITIES. UTILITY RELOCATION AND/OR REROUTING MAY BE REQUIRED. LOCATIONS OF UTILITIES ARE NOT SHOWN ON THE DRAWINGS.

CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER WITH RESPECT TO WORK HOURS, AVAILABLE WORK AREAS, ETC.

DURING THE WORK, CONTRACTOR SHALL MINIMIZE DISTURBANCE TO OWNER'S DAILY OPERATIONS DUE TO DUST, DEBRIS, EXCESSIVE NOISE, ETC. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS NECESSARY TO PROTECT THE OWNER'S PERSONNEL, PROPERTY AND THE GENERAL PUBLIC FROM INJURY.

ALL MATERIAL SHALL BE FURNISHED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.

CARE SHALL BE TAKEN WHEN WORKING WITH OR AROUND ALL EXISTING MATERIALS. DAMAGE TO EXISTING MATERIALS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. RESTORE ALL AREAS DISTURBED BY THE WORK TO MATCH EXISTING CONSTRUCTION/FINISH.

THE CONTRACTOR SHALL OBTAIN ALL STATE, LOCAL, UTILITY, ETC. PERMITS REQUIRED FOR COMPLETION OF WORK. ANY AND ALL FEES ASSOCIATED WITH THIS WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR.

ANY WORK DETERMINED TO BE DEFECTIVE/UNCOMPLYING BY THE ENGINEER SHALL BE REPAIRED, REWORKED AND/OR COMPLETED AS PER THE APPROVAL OF THE ENGINEER.

EARTHWORK AND BACKFILL:

NEW CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SUBGRADE AND SLABS SHALL BEAR ON A MINIMUM OF 18 INCHES OF COMPACTED SELECT FILL PLACED IN MAXIMUM 6" LIFTS (MIN. 95% COMPACTION AS PER ASTM D1557) ON ROLLER-COMPACTED, UNDISTURBED NATIVE SOIL. REMOVE ALL UNSUITABLE MATERIAL IF IT IS FOUND AT FOOTING SUBGRADE ELEVATION AND REPLACE WITH COMPACTED SELECT FILL, AS APPROVED BY THE ENGINEER.

PLACE A MINIMUM OF 24" OF SELECT FILL ADJACENT TO ALL NEW WALLS FOR FULL HEIGHT OF WALLS. ALL SELECT FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 6" LIFTS (MIN. 95% COMPACTION AS PER ASTM D1557).

SELECT FILL SHALL BE CLEAN, NON-FROST SUSCEPTIBLE MATERIAL MEETING THE FOLLOWING GRADATION

SEIVE SIZE (INCHES)	PERCENT FINES BY WEIGHT
4	100
10	90-100
20	25-30
40	0-30
100	0-5

KEEP EXCAVATION DRY AND STABLE BY SUMPING AND PUMPING OF SEEPAGE WATER AS REQUIRED.

DO NOT PLACE BACKFILL AGAINST WALLS IN A MANNER THAT WILL CAUSE DIFFERENTIAL PRESSURE ON WALLS. UNTIL CONCRETE HAS OBTAINED COMPRESSIVE STRENGTH EQUAL TO 28-DAY COMPRESSIVE STRENGTH, AS CONFIRMED BY CYLINDER BREAK RESULTS AND AS APPROVED BY THE ENGINEER.

SOIL COMPACTION TESTING SHALL BE PERFORMED BY A QUALIFIED INDEPENDENT TESTING AGENCY (PAID FOR BY OWNER). TESTING FREQUENCY SHALL BE APPROVED BY THE ENGINEER.

REINFORCED CONCRETE:

COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS - 4000 PSI; AIR CONTENT 6% ±; W/C RATIO 0.45 MAXIMUM; SLUMP 4" MAXIMUM AFTER ALL WATER HAS BEEN ADDED. SUBMIT TEST RESULTS TO THE ENGINEER.

CONCRETE DESIGN SHALL BE AS PER ACI 318 BUILDING CODE. ALL CONCRETE SHALL BE DESIGNED, PLACED, AND CURED (MIN 7 DAYS) AS PER ALL APPLICABLE SECTIONS OF THE CODE.

REINFORCEMENT: ASTM A615 GRADE 60 - ALL SPLICES CLASS B (U.N.O.).

REINFORCEMENT SHALL BE DETAILED, FABRICATED, AND PLACED AS PER ACI 318 DETAILING MANUAL.

PROVIDE 3/4" CHAMFER ON EXPOSED EDGES OF CONCRETE, U.N.O.

CONCRETE TESTING OF SLUMP, AIR CONTENT AND TEMPERATURE SHALL BE PERFORMED AS PER ACI REQUIREMENTS FOR ALL TRUCKLOADS BY A QUALIFIED INDEPENDENT TESTING AGENCY (PAID FOR BY OWNER). CAST ONE SET OF 3 COMPRESSION TEST CYLINDERS (ASTM C39) FOR THE FIRST TRUCK LOAD AND FOR EACH 50 CY. THEREAFTER OF EACH TYPE OF CONCRETE PLACED IN ANY ONE DAY, AS DIRECTED BY THE ENGINEER. BREAK CYLINDERS (ASTM C39) AS FOLLOWS: 1 AT 7 DAYS, 2 AT 28 DAYS, 1 HELD IN RESERVE FOR FUTURE TESTING.

EXTERIOR SLAB FINISH: TEXTURF WITH STIFF-BRISTLE BROOM DRAGGED TRANSVERSELY.

SLAB SEALER: EQUAL TO "STARSEAL PS CLEAR" BY WEXON CHEMICALS, A SPECIAL WATER-WHITE SOLUTION OF ACTIVE SILICATES WITH PENETRATING AND WETTING AGENTS TO FORM A CHEMICAL AND WEAR RESISTANT, DUST FREE, WATER REPELLANT, HARDENED CONCRETE SURFACE. APPLICATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

BONDING AGENT/ DOWEL GROUT: PROVIDE PROXY BONDING AGENT TO BOND FRESH CONCRETE TO HARDENED CONCRETE AND FOR DOWELS DRILLED INTO EXISTING CONCRETE. PROVIDE BONDING AGENT AND DOWEL GROUTING ADHESIVE EQUAL TO SIKADUR 32 HI-MOD BY SIKA, MEETING ASTM C-881. APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

BOTTOM OF ALL FOUNDATIONS SHALL BE AT LEAST 4'-6" BELOW FINISHED GRADE.

STRUCTURAL STEEL LANDING AND GUARDRAILS:

ALL STRUCTURAL STEEL, BOLTS, AND HARDWARE SHALL BE HOT-DIP GALVANIZED IN COMPLIANCE WITH ASTM A 123, ASTM A 153, ASTM A36 AS APPLICABLE. PROVIDE MINIMUM 1.5 OZ/FT² ZINC COATING. GALVANIZE AFTER FABRICATION. PROVIDE HOT-DIP GALVANIZING WITH 0.05 TO 0.09 PERCENT NICKEL IN THE KETTLE.

APPLY GALVANIZING REPAIR PAINT TO ALL FIELD WELDS AND DAMAGED GALVANIZED AREAS. USE HIGH-ZINC-DUST-CONTENT PAINT FOR RE-GALVANIZING WELDS IN GALVANIZED STEEL WITH DRY FILM CONTAINING NOT LESS THAN 94 PERCENT ZINC DUST BY WEIGHT, AND COMPLYING WITH DOD-P-21035 OR SSPC-PAINT 20.

ALL WIDE FLANG STEEL SHAPES SHALL CONFORM TO ASTM A-992. ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A-36.

STRUCTURAL STEEL TUBULAR SHAPES SHALL CONFORM TO ASTM A-500 GRADE B.

STEEL PIPE SHALL CONFORM TO ASTM A53.

ALL CONNECTIONS SHALL USE 3/4" DIA ASTM A-325 GALVANIZED BOLTS, UNLESS NOTED OTHERWISE.

WELDING SHALL CONFORM TO AWS D11. MANUAL WELDING ELECTRODES SHALL CONFORM TO A233-E70 SERIES, GRADE SAW-2.

ANCHOR BOLTS SHALL COMPLY WITH ASTM A-307. ANCHOR BOLTS SHALL BE GALVANIZED.

STEEL GRATING:

GRATING SHALL BE STEEL DOVE TAIL DT SERIES BY OHIO GRATINGS, INC. OR APPROVED EQUAL PROVIDE 7-DT-2 GRATING WITH 1 1/2" x 3 1/8" BARS.

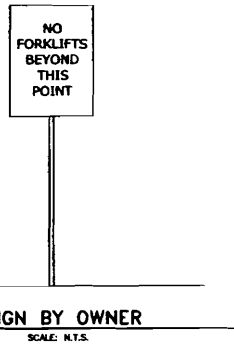
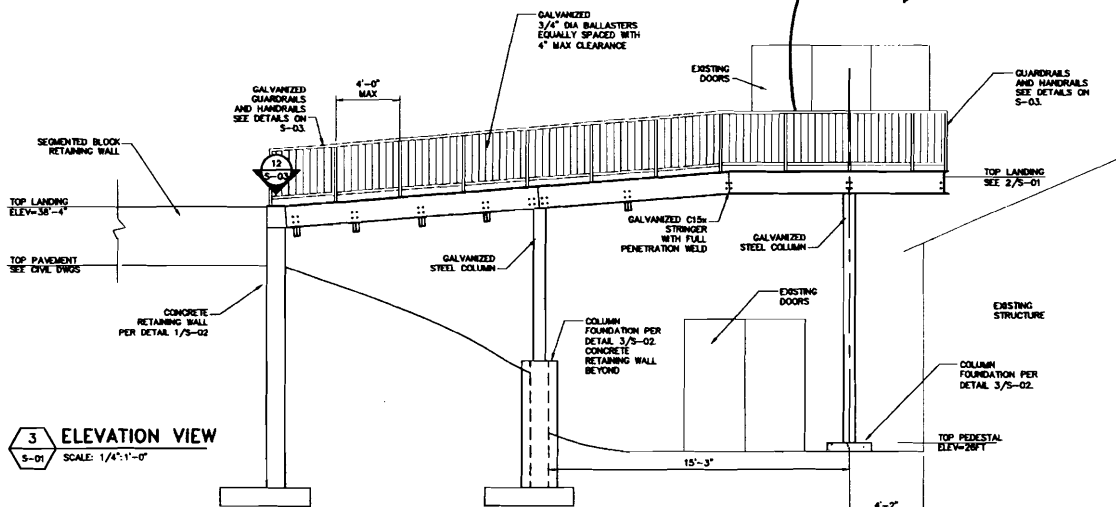
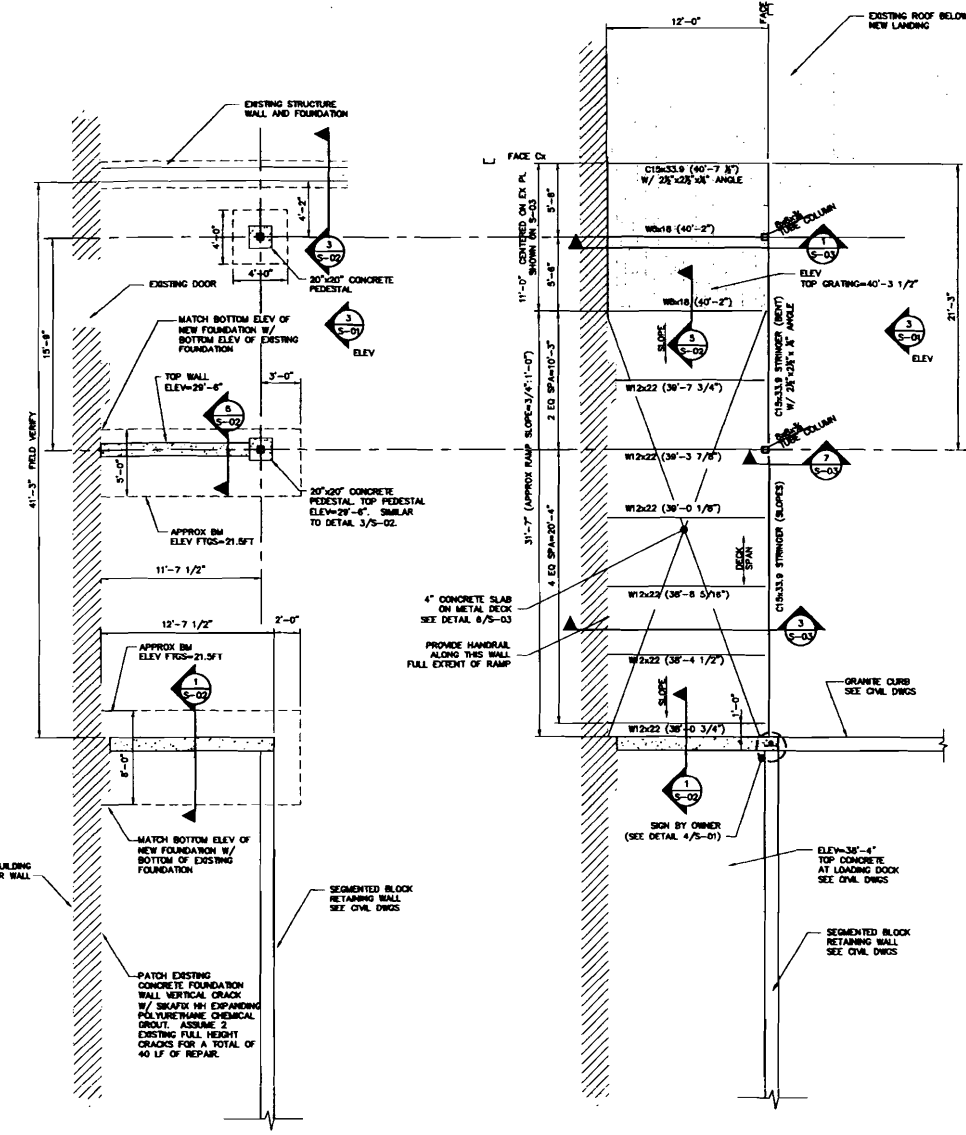
BEARING BARS SHALL BE RECTANGULAR BAR ON 1 3/16" CENTERS MAXIMUM WITH DOVE TAIL SLOTS TO ACCEPT CROSS BARS.

CROSS BARS SHALL BE RECTANGULAR BARS, SLOTTED AND LOCKED IN DOVE TAIL FASHION AT RIGHT ANGLES, AND IN THE SAME PLANE AS THE TOP SURFACE OF THE BEARING BARS. SPACE CROSS BARS AT 4" o/c.

LOADING: GRATING TO CARRY A PEDESTRIAN LOADING EQUAL TO 100 PSF OVER A 6'-0" CLEAR SPAN WITH A DEFLECTION NOT TO EXCEED 3".

FINISH SHALL BE GALVANIZED.

GRATING SHALL BE FABRICATED IN ACCORDANCE WITH NAAM METAL BAR GRATING MANUAL AND SHALL CONFORM TO WITH THE SPACING REQUIREMENTS OF ADA WHEN INSTALLED WITH THE ELONGATED OPENING PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.



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PROPOSED FIRE ESCAPE AND CONCRETE RETAINING WALLS

CITY OF PORTLAND
PORTLAND, MAINE

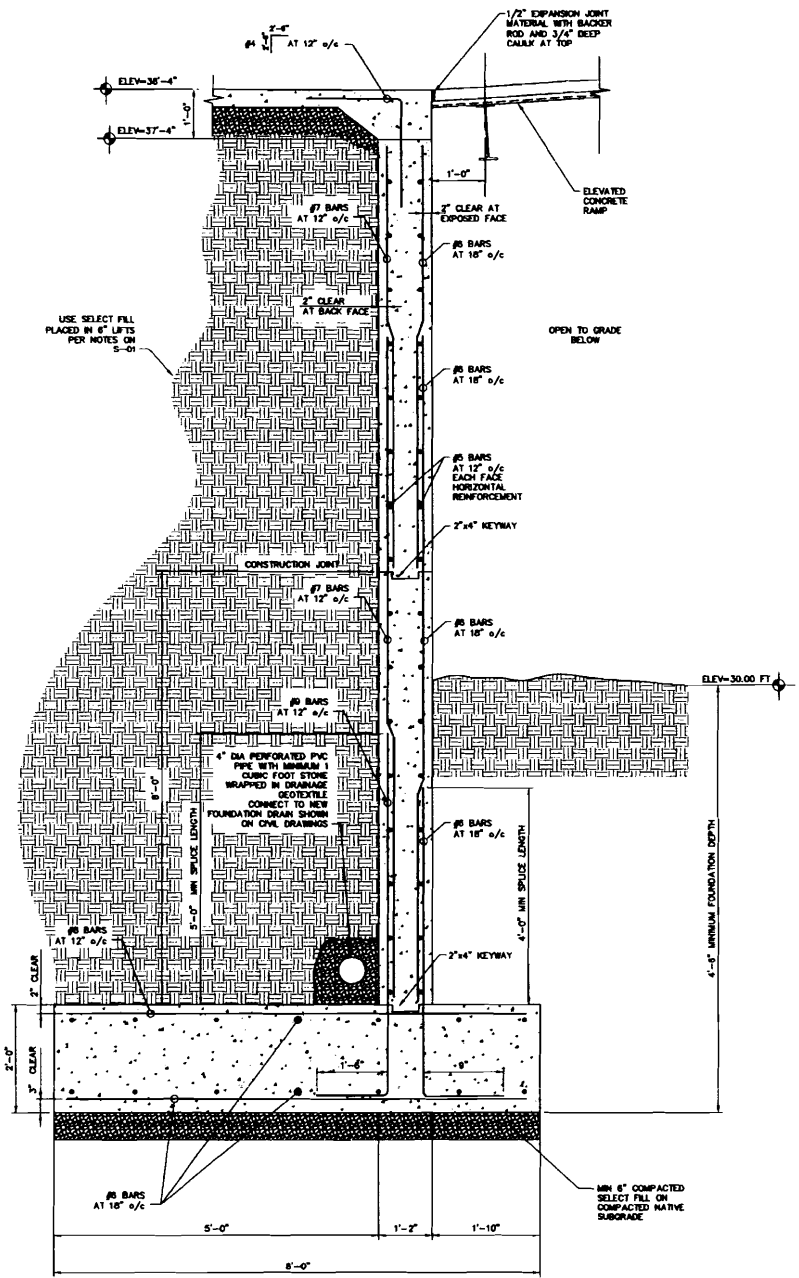
PORTLAND EXPO
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JOB NO.: 203648.98
DATE: AUGUST 2007
SCALE: SEE PLAN
SHEET 3 OF 5

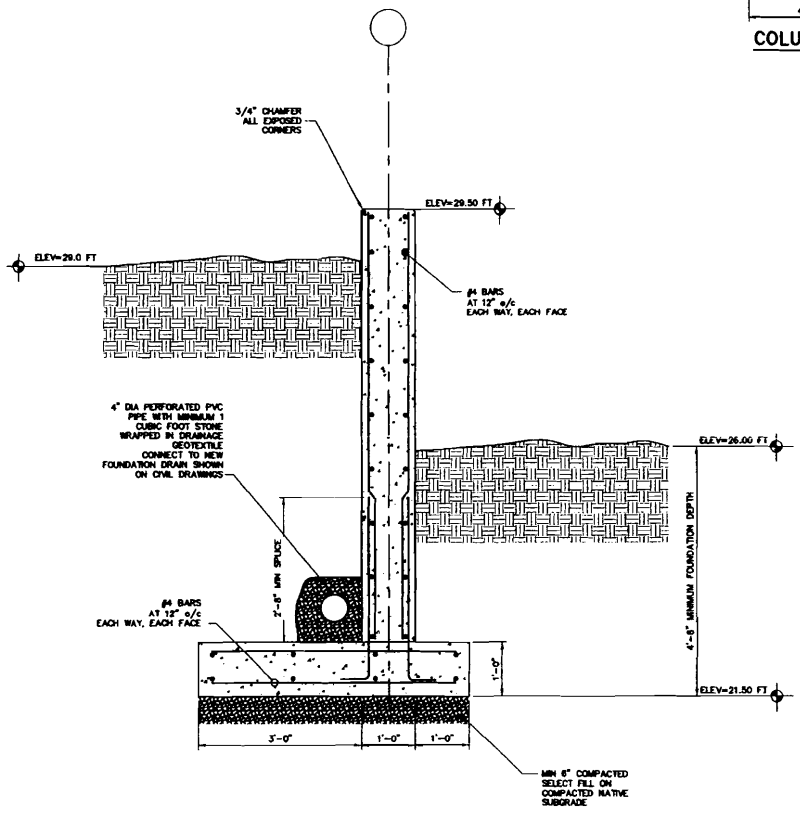
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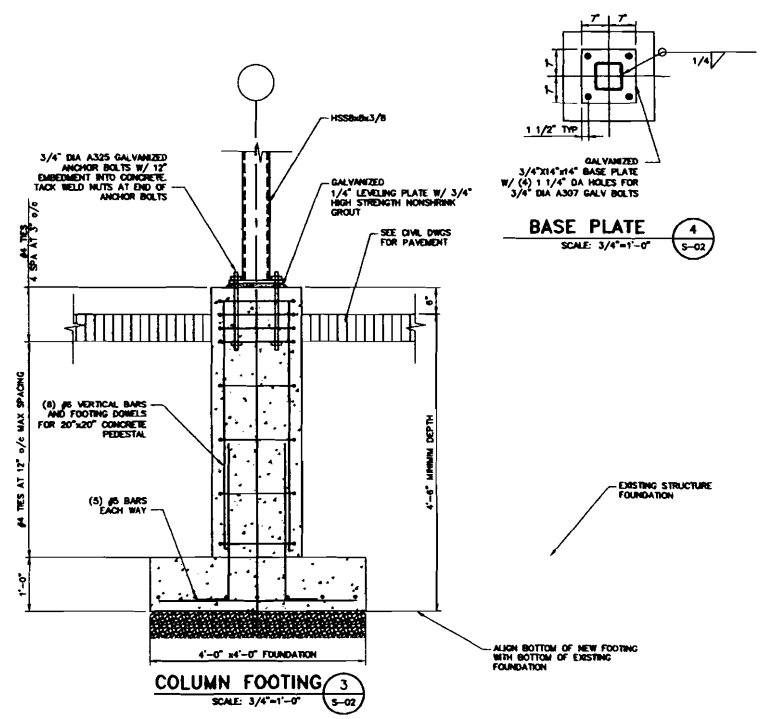
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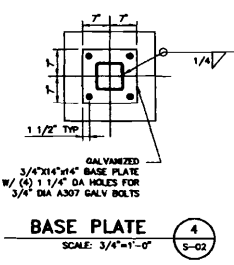
CONCRETE RETAINING WALL 1
SCALE: 3/4"=1'-0" 5-02



CONCRETE RETAINING WALL 2
SCALE: 3/4"=1'-0" 5-02



COLUMN FOOTING 3
SCALE: 3/4"=1'-0" 5-02



BASE PLATE 4
SCALE: 3/4"=1'-0" 5-02

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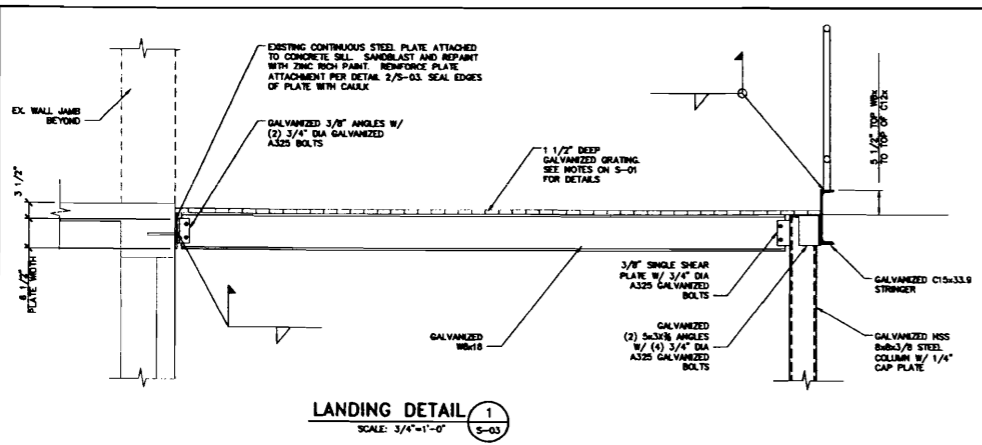
PROPOSED FIRE ESCAPE AND CONCRETE RETAINING WALLS

CITY OF PORTLAND
 PORTLAND, MAINE
 PORTLAND EXPO
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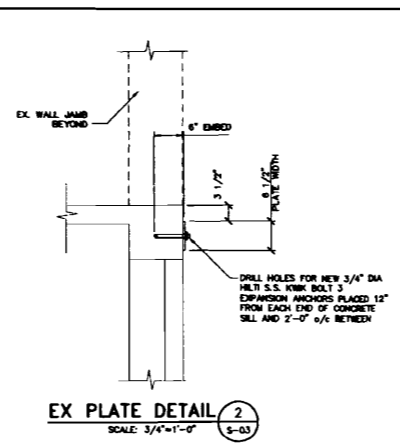
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 SHEET: 4 OF 5

S-02

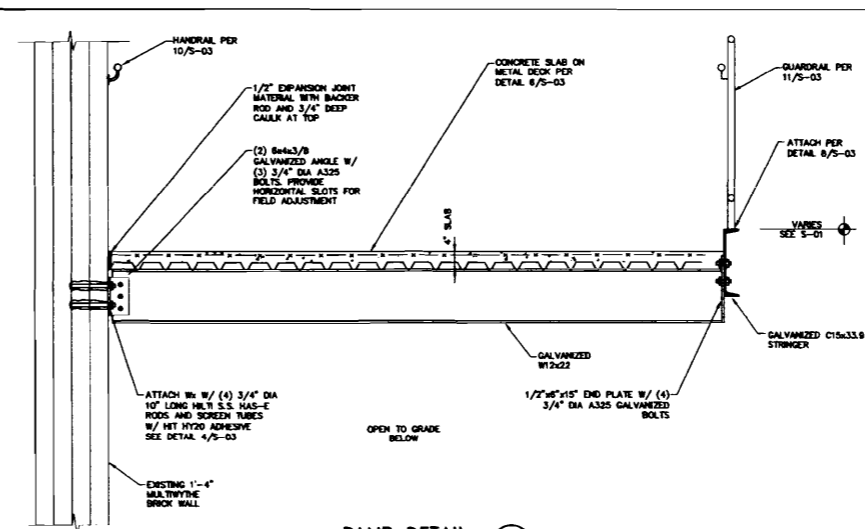
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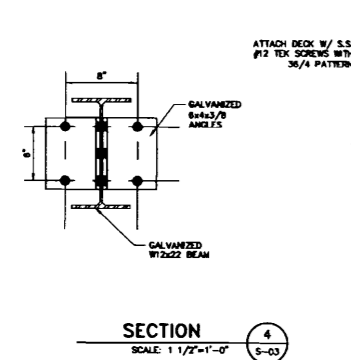
LANDING DETAIL 1
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S-03



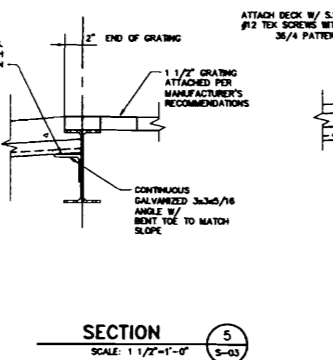
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S-03



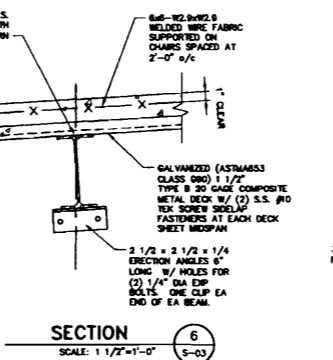
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S-03



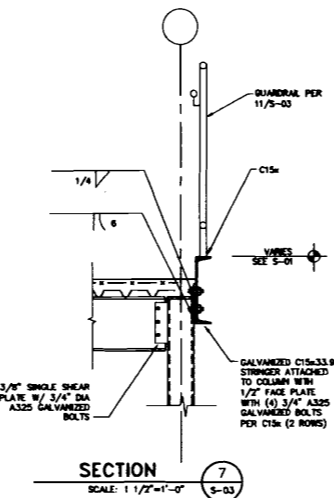
SECTION 4
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S-03



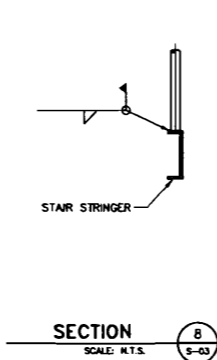
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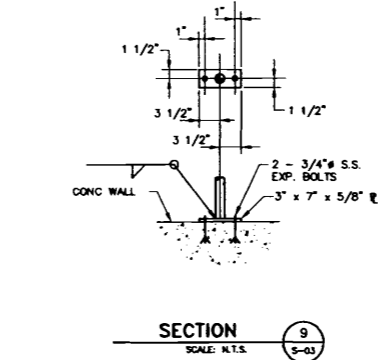
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S-03



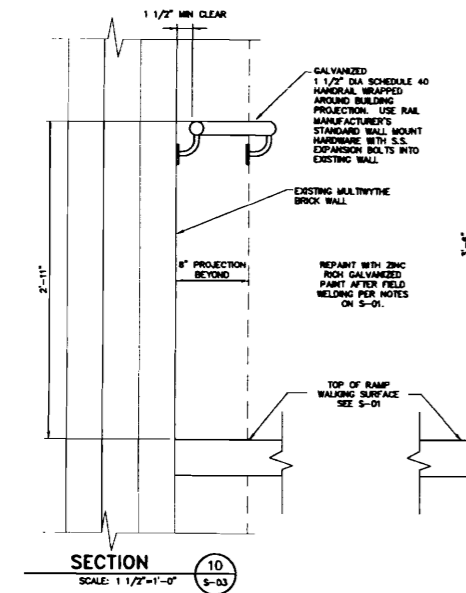
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S-03



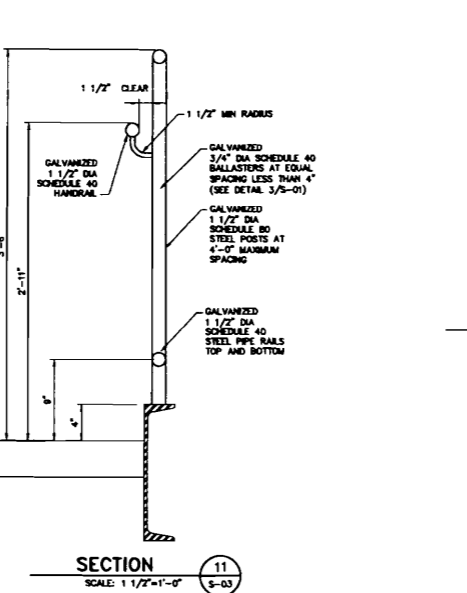
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S-03



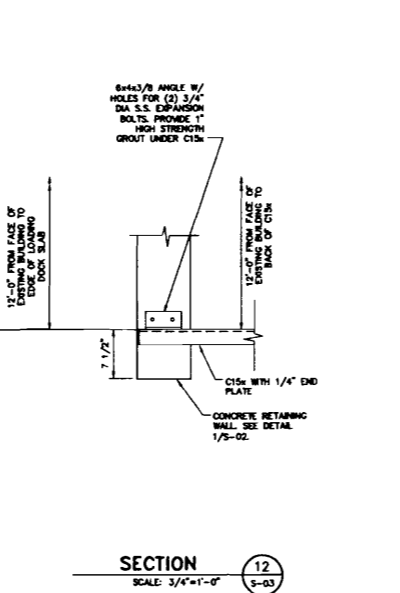
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S-03



SECTION 10
SCALE: 1 1/2"=1'-0"
S-03



SECTION 11
SCALE: 1 1/2"=1'-0"
S-03



SECTION 12
SCALE: 3/4"=1'-0"
S-03

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JOB NO.: 203484-08
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SCALE: SET PLAN
SHEET: 3 OF 5

S-03