

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1145	Issue Date: NOV - 4 2009	CBL: 048 F023001
-----------------------	-----------------------------	---------------------

Location of Construction: 489 Cumberland Ave	Owner Name: Fuller Denny A &	Owner Address: Po Box 7341 <i>City of Portland</i>	Phone: 207-650-3371
Business Name:	Contractor Name: Sylvain & Sevigny Builders	Contractor Address: 145 Whitney Ave. Portland	Phone: 2076503371
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family / 3 units	Proposed Use: Multi Family / Update deck to historic preservation codes, risers and headers will also be replaced.	Permit Fee: \$180.00	Cost of Work: \$16,000.00	CEO District: 2	
Proposed Project Description: Update deck to historic preservation codes, risers and headers will also be replaced.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i>	
		Signature: <i>KC</i>		Signature: <i>[Handwritten Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)					
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
Signature: _____ Date: _____					

Permit Taken By: gg	Date Applied For: 10/15/2009	Zoning Approval			
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation Yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved, w/Conditions <input type="checkbox"/> Denied	
		Date: <i>10/23/09</i> <i>ABM</i>		Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Application for Exemption From Building Code Railing Height Requirements

* Exemptions apply only for designated landmark structures and structures located in historic districts, per BOCA regulations. Requests need approval from both the Historic Preservation and Building Inspections divisions of the Planning Dept.

Erin Keller
Applicant
4180 Clatsop Street
Applicant's Mailing Address
Alisa Sypora 650-8371
Contact Person/Phone Number

11/4/09
Application Date
4180 Clatsop Street
Address of Subject Property

Description of Project (please attach photograph of existing conditions and/or plan of project):

PERMIT ISSUED

Please provide the following information:

NOV - 4 2009

1. Current Use of Property (If multi-family residence, please indicate # of units):

Multi - 3 units

City of Portland

2. Proposed Use, if applicable:

rebuild deck

3. The distance from the porch deck to the ground:

2 feet

4. The number of existing stair risers:

5. The current railing height and/or documented original railing height:

6. The railing height requested:

36" ~~42"~~

Planning Office Use Only:

Historic Preservation Committee/Staff Recommendation:

Staff approved

Inspections Staff Recommendation:

36" required

Exemption Granted Conditional Exemption Exemption Denied

Signature [Signature]

Date: _____

White - Planning Office

Yellow - Inspections

Pink - Applicant

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers


Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

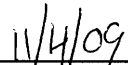
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



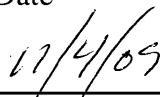
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

PERMIT ISSUED

NOV - 4 2009

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1145	Date Applied For: 10/15/2009	CBL: 048 F023001
------------------------------	--	----------------------------

Location of Construction: 489 Cumberland Ave	Owner Name: Fuller Denny A &	Owner Address: Po Box 7341	Phone: 207-650-3371
Business Name:	Contractor Name: Sylvain & Sevigny Builders	Contractor Address: 145 Whitney Ave. Portland	Phone: (207) 650-3371
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family / Update deck to historic preservation codes, risers and headers will also be replaced.	Proposed Project Description: Update deck to historic preservation codes, risers and headers will also be replaced.
--	---

Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 10/23/2009

Note: **Ok to Issue:**

- 1) See letter dated 10/14/09 for conditions.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/23/2009

Note: Spoke to Marc Sylvain. He confirmed that there are three dwelling units in the building. **Ok to Issue:**

- 1) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/04/2009

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 10/28/2009

Note: **Ok to Issue:**

PERMIT ISSUED

NOV - 4 2009

City of Portland

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU _____ **CTION**
PERMIT

Permit Number: 091145

This is to certify that Fuller Denny A &/Sylvain & Se _____ ny Build _____
 has permission to Update deck to historic preservation codes, doors and windows will also be replaced. _____
 AT 489 Cumberland Ave _____ CB 048 F023001 _____

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Sauter _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

NOV - 4 2009

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>489 Cumberland Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>048 F 023</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Sylvain & Sevigny Builders</u> Address <u>145 Whitney Ave Portland ME</u> City, State & Zip <u>04102</u>	Telephone: <u>650 3371</u>
Lessee/DBA (If applicable) RECEIVED OCT 15 2009 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name <u>Denny Fuller</u> Address <u>180 Tower Rd</u> City, State & Zip <u>Charlemont, MA 01339</u>	Cost Of Work: \$ <u>16,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>180⁰⁰/100</u>
Current legal use (i.e. single family) <u>Multi-Family</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Apartment</u> <u>Same 3 units</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Replace Decking w/ cedar. Replace risers & treads. Update entire deck to historic preservation codes.</u>		
Contractor's name: <u>Sylvain & Sevigny Builders</u> Address: <u>145 Whitney Ave</u> City, State & Zip: <u>Portland ME 04102</u> Telephone: _____ Who should we contact when the permit is ready: <u>Marc Sylvain</u> Telephone: <u>207 650 3371</u> <u>cell</u> Mailing address: <u>145 Whitney Ave Portland ME 04102</u>		

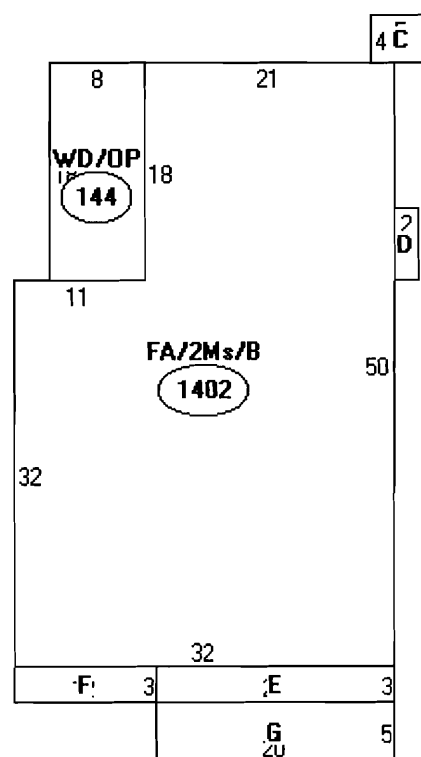
Please submit all of the information outlined on the application. ~~Checklist~~ Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 10/15/09

This is not a permit; you may not commence ANY work until the permit is issued.



Descriptor/Area

A: FA/2Ms/B
1402 sqft

B: WD/OP
144 sqft

C: FBAY
20 sqft

D: OP
12 sqft

E: OP
60 sqft

F: FA/2sMB/B
36 sqft

G: OP
100 sqft

= 1774

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND
HISTORIC PRESERVATION
CERTIFICATE OF APPROPRIATENESS**

This is to certify that

SILVAIN & SEVIGNY BUILDERS

has received approval for

PORCH REBUILDING

at

409 CUMBERLAND AVE.

provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project, call 874-8719.

Scott P. H.

Historic Preservation Manager

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

John Turk, Chair
Rick Romano, Vice Chair
Otis Baron
Scott Benson
Martha Deprez
Michael Hammen
Ted Oldham

October 14, 2009

Marc Sylvain
145 Whitney Ave.
Portland, ME 04102

Re: 469 Cumberland Avenue

Dear Mr. Sylvain:

This office has reviewed and approved your request for a Certificate of Appropriateness for exterior alterations at 469 Cumberland Avenue as specified in your application submitted 9/21/09. Approval is for rebuilding the side porch, subject to the following conditions:

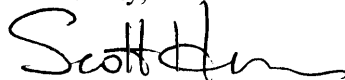
- All finish surfaces of the posts, balusters, trim, and risers is to be finished with paint or solid-body stain.
- Approval is subject to inspection upon completion.

All improvements shall be carried out as shown on the plans and specifications submitted as part of your application. Changes to the approved plans and specifications and any additional work which may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Note: Your project will also require a building permit. Please call Building Inspections (874-8703) to make this determination.

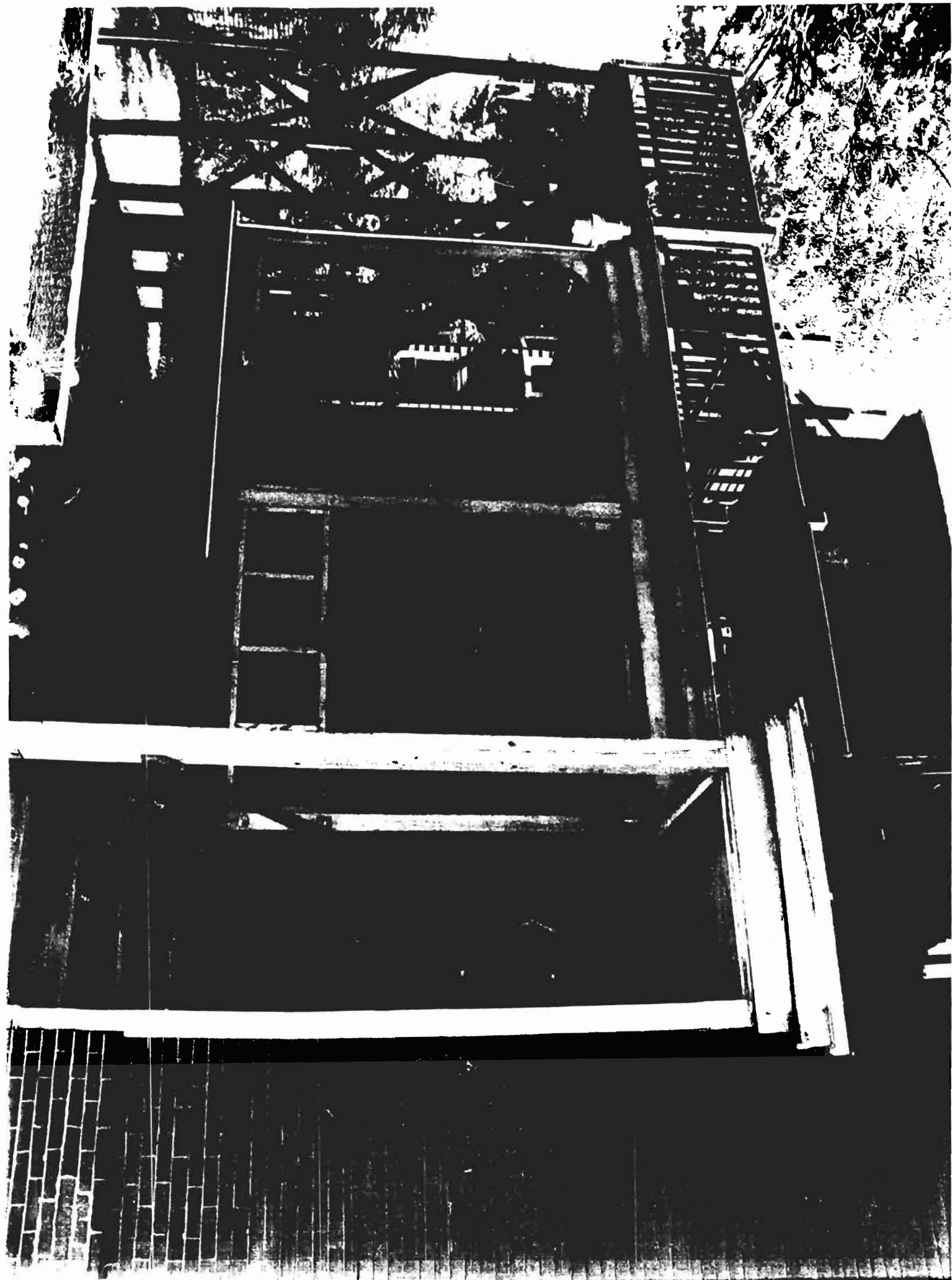
Sincerely,



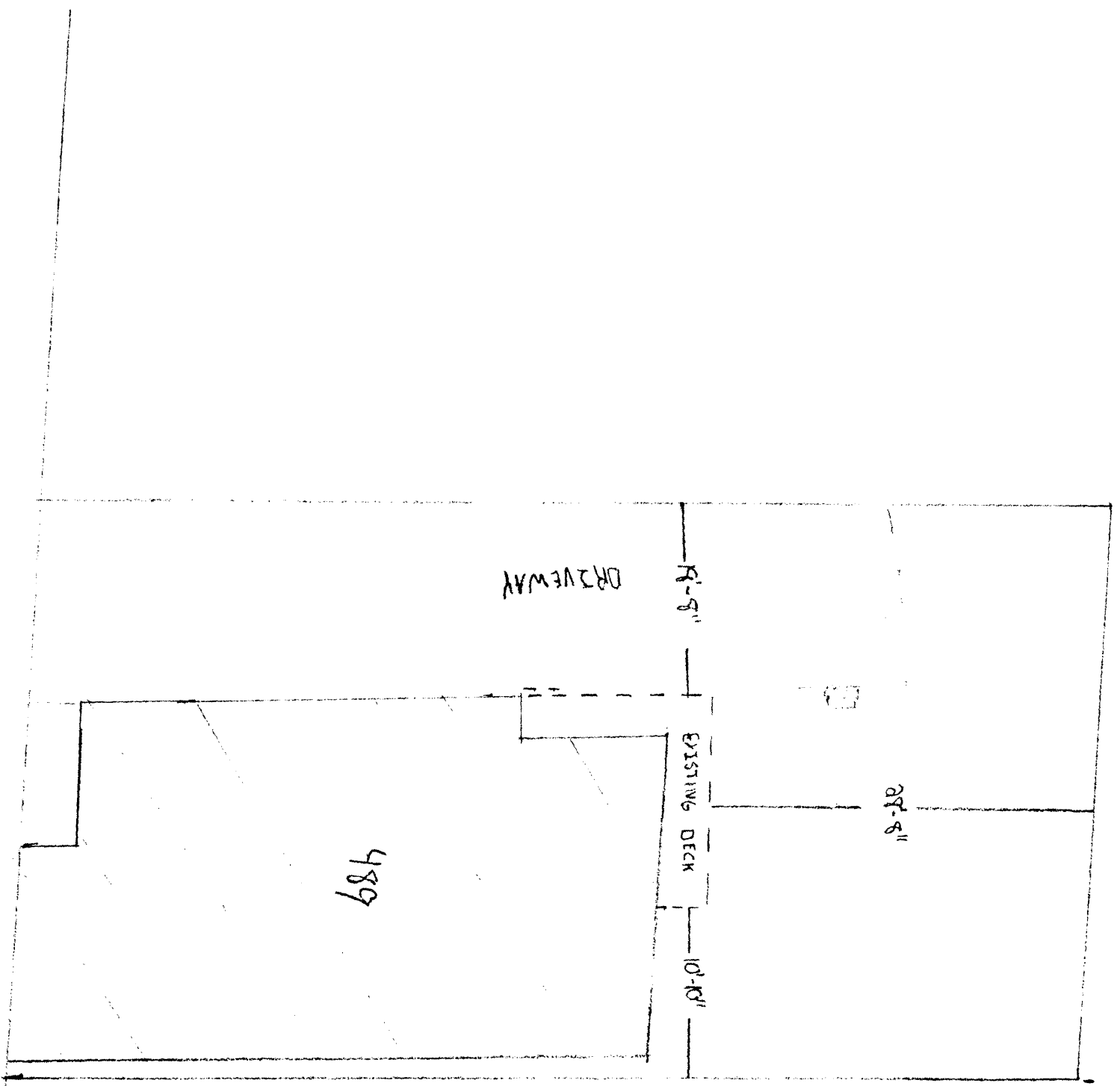
Scott Hanson
Preservation Planner

cc: Denny A. Fuller, Property Owner
Approval File





CUMBERLAND AVE



1500 SF

R-L
lot size 5000 sq ft
front setback N/A
OK rear - 20' min - 25' 5" S 100'
OK side lot - 10' 8" S main 144'
lot coverage 65% = 3250.
main building - 1774



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

MATCHING EXISTING
 3/8" HANDRAIL & GAMBREL
 HEIGHT

Replacing balusters
 w/ white cedar

Duplicating Fountains
 Arch detail

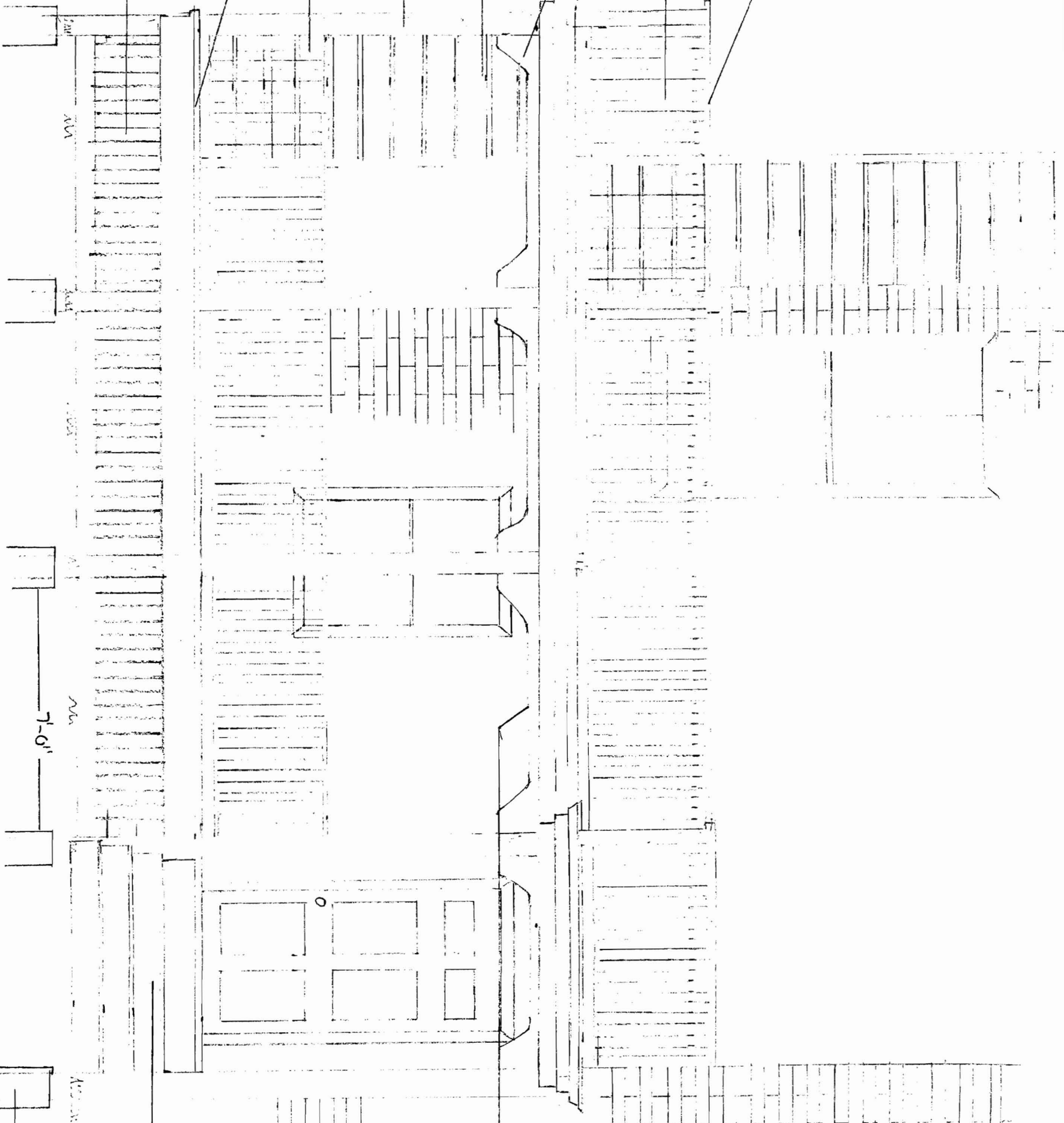
Replacing Stair
 treads w/ white cedar

Replacing 4x4's
 w/ white cedar

Balusters to match
 2nd floor at 3/8" spacing

Replacing 5/4 decking
 w/ white cedar

Installing 1x3 lattice
 w/ white cedar



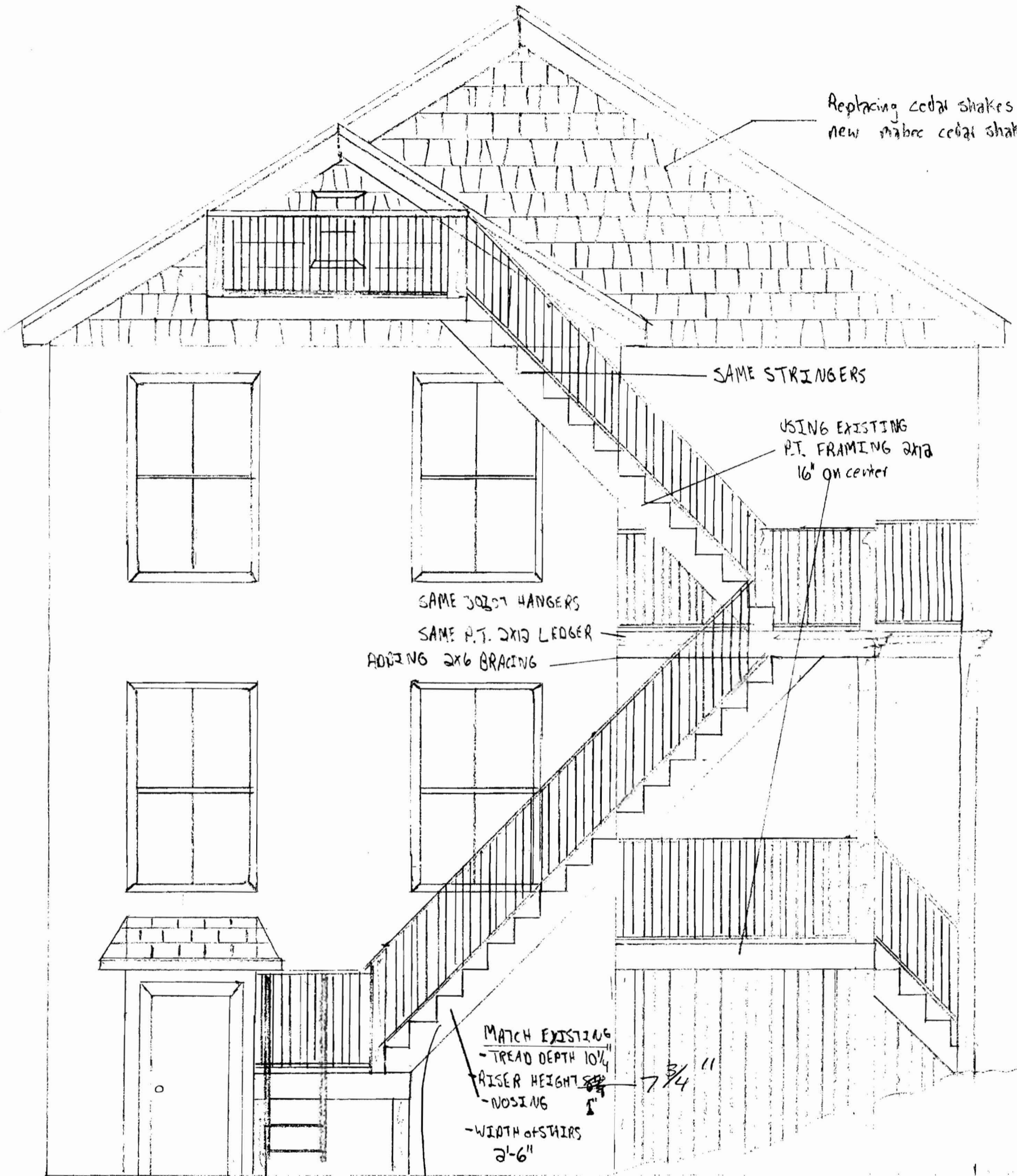
Replacing Fountains Porch
 ceiling w/ T&G Pine

MATCH EXISTING
 TREAD DEPTH 9 1/4" //
 RISER HEIGHT 2 1/8" 7"
 POSITIONS ON TREAD 1"
 WIDTH OF STAIRS 4'-3"

8" SONA TUBES
 4'-0" DEEP/ ALSO USING
 SOME EXISTING

DRIVEWAY SIDE
 409 CUMBERLAND AVE

3/8" = 1'-0" SCALE



Rebuilding stairs in existing
opening - 10 1/4" T + 7 3/4" R is
best fit in opening

489 CUMBERLAND AVE.
BACKSIDE ELEVATION