

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ICTION

Permit Number: 090612

PERMIT ISSUED

This is to certify that TROUT GROUP INVESTMENT LIMITED LIABILITY COMPANY

has permission to correct 3-story deck to conform with deck drawings

AT 497 CUMBERLAND AVE

CB 048 F021001

JUN 19 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Fournier

Health Dept. _____

Appeal Board _____

Other _____
 Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

6/19/09

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0612	Issue Date:	CBL: 048 F021001
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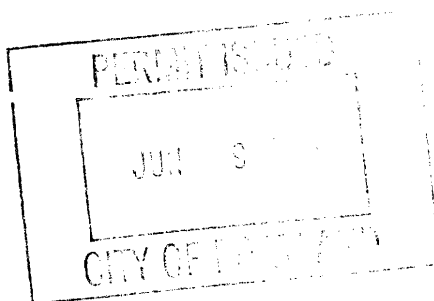
Location of Construction: 497 CUMBERLAND AVE	Owner Name: TROUT GROUP INVESTMENTS	Owner Address: PO BOX 7051	Phone:
Business Name:	Contractor Name: Williams Construction	Contractor Address: 29 Ocean Ave Portland	Phone: 2078384360
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R6

Past Use: Multi - Family 12 unit	Proposed Use: Multi - Family 12 unit - correct 3 story deck to conform w/ deck drawings <i>legal use - 12 chr.</i>	Permit Fee: \$110.00	Cost of Work: \$8,500.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBC 2003</i>	

Proposed Project Description: correct 3 story deck to conform w/ deck drawings (same project as permit # 08-0207 which expired w/ modification).	Signature: <i>(KG)</i>	Signature: <i>(Signature)</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 06/15/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Or w/ conditions</i> Date: <i>6/15/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>STH 6/15/09</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0612	Date Applied For: 06/15/2009	CBL: 048 F021001
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Location of Construction: 497 CUMBERLAND AVE	Owner Name: TROUT GROUP INVESTMENTS	Owner Address: PO BOX 7051	Phone:
Business Name:	Contractor Name: Williams Construction	Contractor Address: 29 Ocean Ave Portland	Phone (207) 838-4360
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi - Family 12 unit - correct 3 story deck to conform w/ deck drawings (same project as permit #08-0007 which expired with modification.)	Proposed Project Description: correct 3 story deck to conform w/ deck drawings (same project as permit #08-0007 which expired with modification.)
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 06/15/2009

Note:**Ok to Issue:**

- 1) Approval is subject to final inspection once work is completed.
- 2) Visible surfaces must be pine or cedar, finished with paint or a solid body stain. Pressure treated may only be used for structural work that will not be visible when completed.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/15/2009

Note:**Ok to Issue:**

- 1) This permit is being issued with the condition that all work is to take place within existing footprint.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) This property shall remain a twelve (12) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 06/19/2009

Note:**Ok to Issue:**

- 1) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code. Cable system must not allow a 4" opening and must be maintained.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 06/16/2009

Note:**Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) All construction shall comply with NFPA 101

Application for Exemption From Building Code Railing Height Requirements

* Exemptions apply only for designated landmark structures and structures located in historic districts, per BOCA regulations. Requests need approval from both the Historic Preservation and Building Inspections divisions of the Planning Dept.

TRUST GROUP INVESTMENTS

Applicant

PO Box 7051, PTD. 04112

Applicant's Mailing Address

TOM WELLSAMS (CONTRACTOR) 838-4360

Contact Person/Phone Number

6/15/09

Application Date

497 CUMBERLAND AVE.

Address of Subject Property

Description of Project (please attach photograph of existing conditions and/or plan of project):

RESTORE PORCH THAT WAS REMOVED & REPLACED W/O H.P. REVIEW AND APPROVAL.

Please provide the following information:

1. Current Use of Property (If multi-family residence, please indicate # of units):

12 UNIT

2. Proposed Use, if applicable: SAME

3. The distance from the porch deck to the ground: 28" - 30"

4. The number of existing stair risers: 4

5. The current railing height and/or documented original railing height: 28" (OPEN AREAS OF RAILING ORIG. 7")

6. The railing height requested: 36" BUT WITHOUT THE CABLE USED ON UPPER FLOORS TO MEET 4" OPEN SPACE LIMIT, 1ST FLOOR ONLY.
(1ST FLOOR RAILING - OPEN "STAIR" DESIGN)

Planning Office Use Only:

Historic Preservation Committee/Staff Recommendation: RECOMMENDS NO CABLE ON FIRST FLOOR PORCH RAILING AS THIS RAILING IS AT EYE LEVEL AND IS ONLY 28"-30" FROM GRADE.

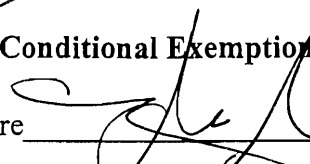
Inspections Staff Recommendation: _____

Exemption Granted

Conditional Exemption

Exemption Denied

Signature



Date:

6/19/09

White - Planning Office

Yellow - Inspections

Pink - Applicant

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0007	Date Applied For: 12/31/2007	CBL: 048 F021001
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Location of Construction: 497 CUMBERLAND AVE	Owner Name: TROUT GROUP INVESTMENTS	Owner Address: PO BOX 7051	Phone: () 774-6548
Business Name:	Contractor Name: Williams Construction	Contractor Address: 29 Ocean Ave Portland	Phone: (207) 838-4360
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Multiple family apartment building with 3 story deck	Proposed Project Description: Reconstruct 3 story front deck to conform to historic preservation and current codes.
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Dept: Historic	Status: Approved	Reviewer: Scott Hanson	Approval Date: 01/03/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 01/03/2008
Note: Scott Hanson confirmed that the current size of the front porches is the same as what previously existed.			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a twelve family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being issued with the condition that the work will take place within the existing footprint.			
3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
Dept: Building	Status:	Reviewer: Tammy Munson	Approval Date:
Note: need compliant guardrail			Ok to Issue: <input type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Greg Cass	Approval Date: 01/03/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The requiredn two means of egress shall not be impacted by this project.			

Comments: 9/23/2008-gg: Per Section 105.3.2 of the International Codes adopted by the City of Portland, this application for building permit has been abandoned and is therefore expired. /gg



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>497 CUMBERLAND AVE</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>048-F-021-001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>TROUT GROUP INVESTMENTS</u> Address <u>P.O. BOX 7051</u> City, State & Zip <u>PORTLAND ME 04112</u>	Telephone: <u>207-774-6548</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,500</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>APARTMENT</u> Number of Residential Units <u>12</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>CORRECT 3 STORY DECK TO CONFORM TO DECK DRAWINGS & WHATEVER NECESSARY TO SATISFY CODE AND HISTORICAL SOCIETY</u>		
Contractor's name: <u>WILLIAMS CONSTRUCTION</u>		
Address: <u>29 OCEAN AVE</u>		
City, State & Zip <u>PORTLAND ME 04103</u>		Telephone: _____
Who should we contact when the permit is ready: <u>THOMAS J. WILLIAMS</u>		Telephone: <u>1-207-838-4360</u>
Mailing address: _____		

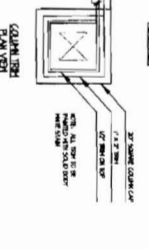
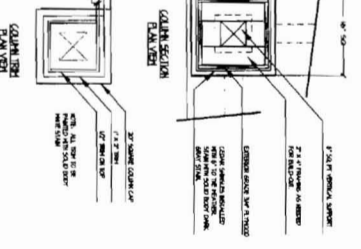
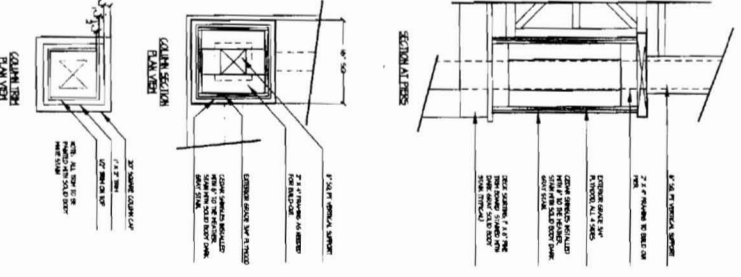
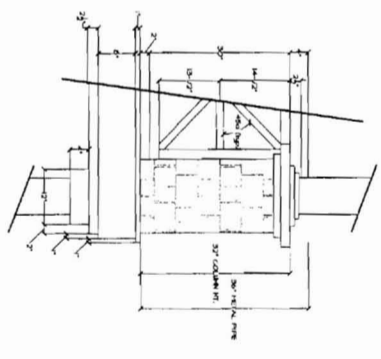
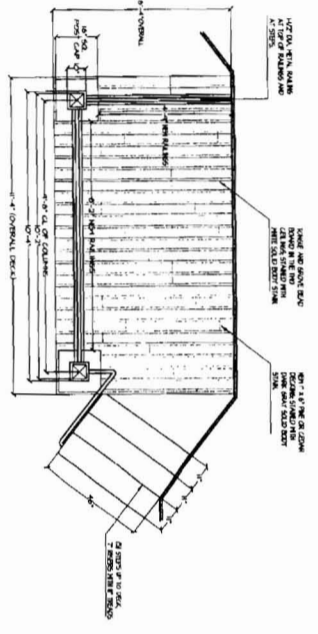
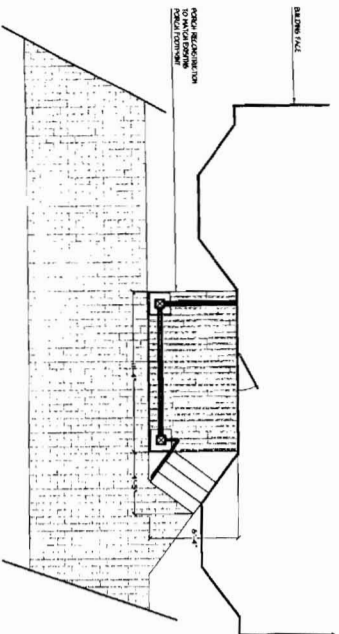
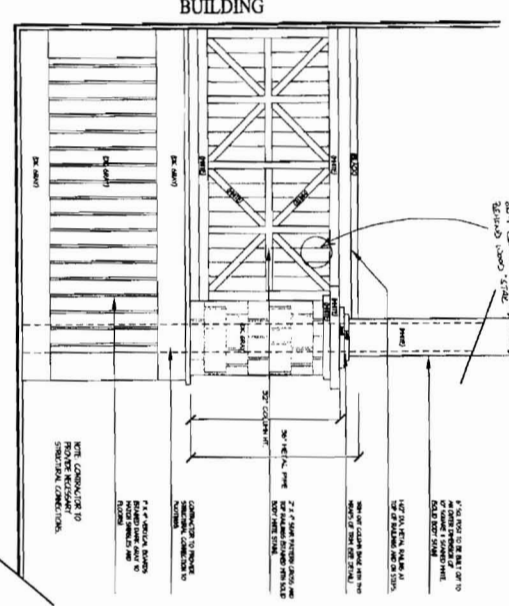
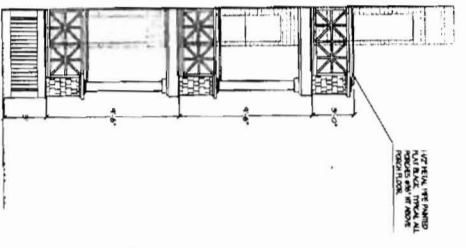
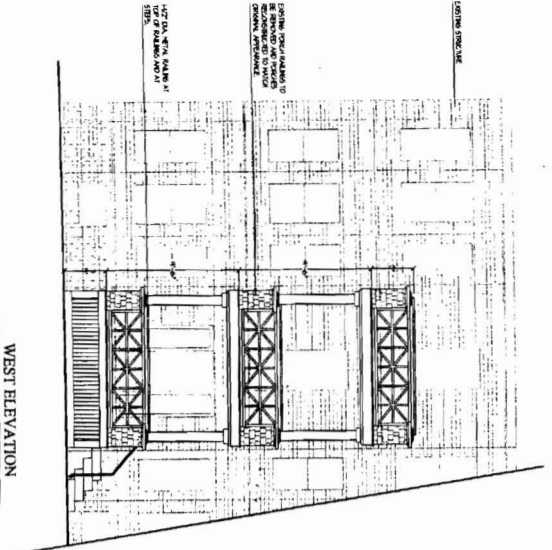
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Lawrence Robins, Manager Date: 6-15-09

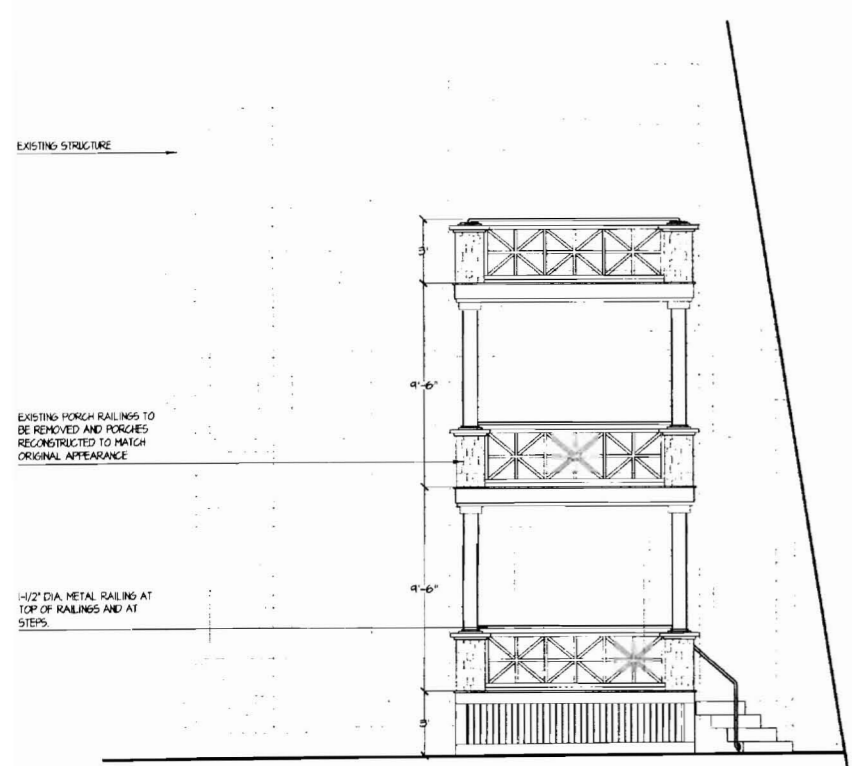
This is not a permit; you may not commence ANY work until the permit is issued.



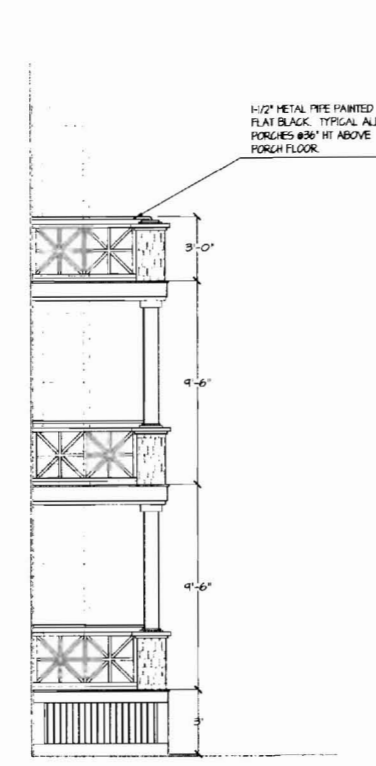
497 CUMBERLAND AVENUE
PORTLAND, MAINE

Deck Reconstruction
1. 5-28-07
2. 7-21-07
3. 8-2-07
4. 10-4-07

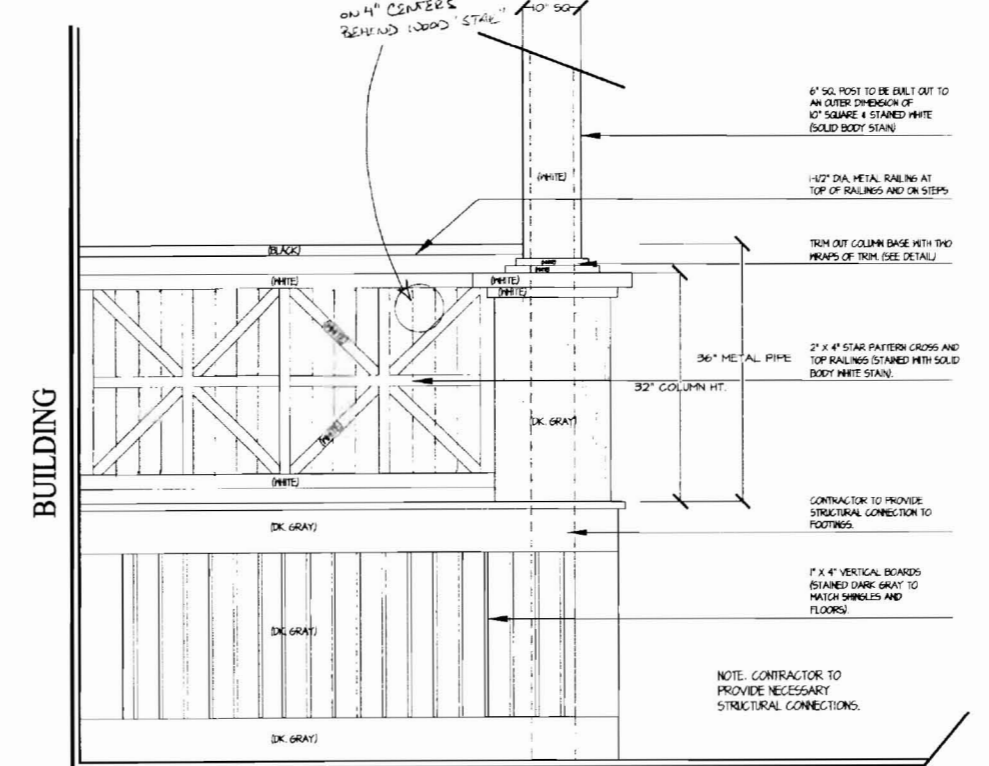
A-101



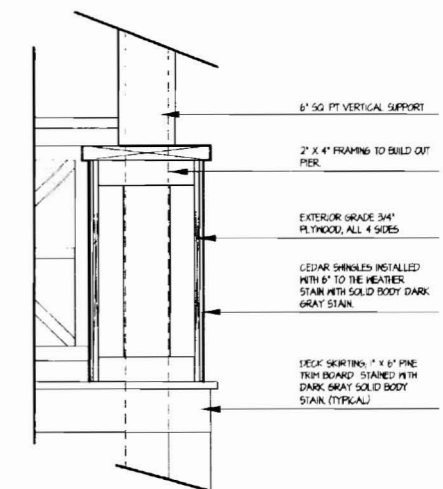
WEST ELEVATION
Scale 1" = 4'-0"



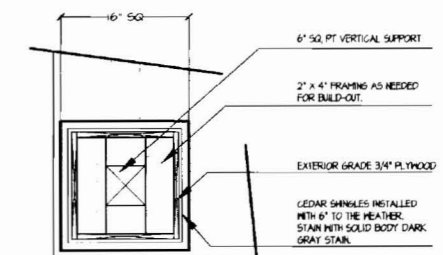
NORTH ELEVATION
Scale 1" = 4'-0"



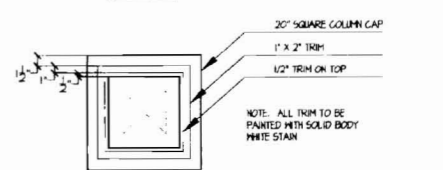
RAIL AND COLUMN LAYOUT
NOT TO SCALE



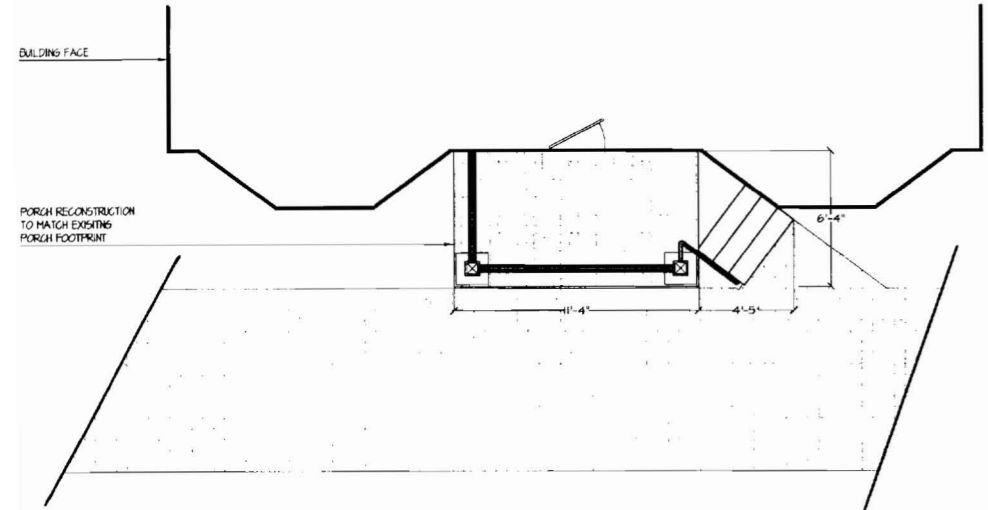
SECTION AT PIERS



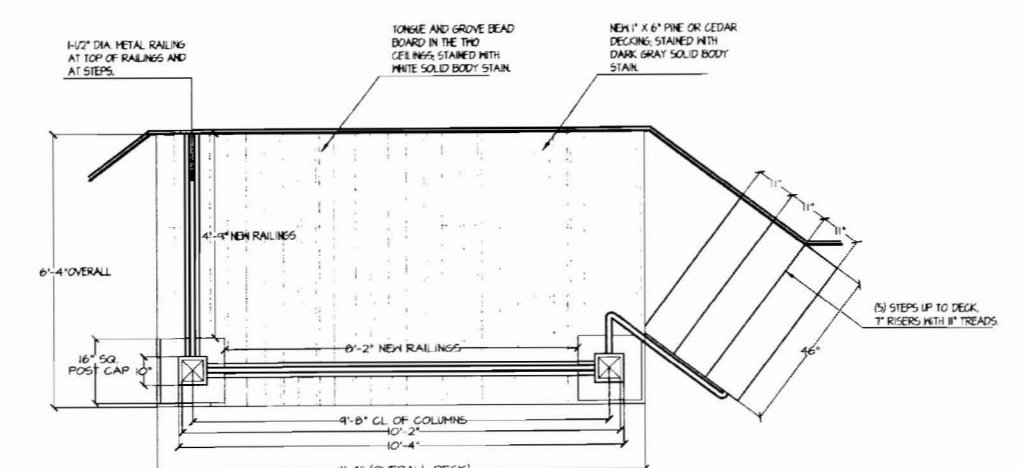
COLUMN SECTION PLAN VIEW



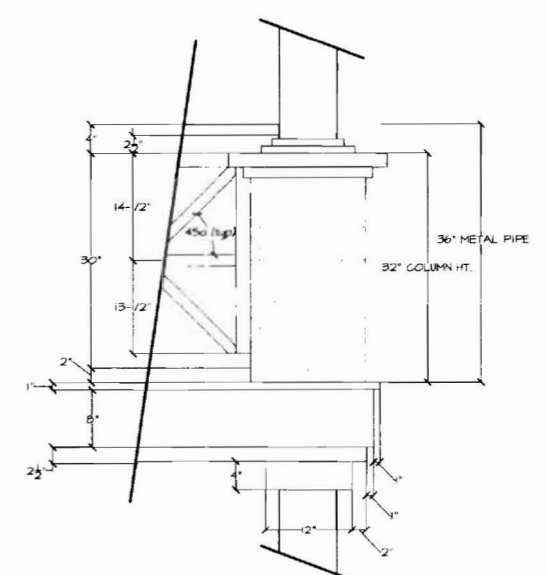
COLUMN TRIM PLAN VIEW



PLAN VIEW
Scale 1" = 4'-0"



COLUMN AND RAIL PLAN VIEW
NOT TO SCALE



DECK TRIM DIMENSIONS
NOT TO SCALE

497 CUMBERLAND AVENUE
PORTLAND, MAINE

Deck Reconstruction

1	6-28-07
2	7-21-07
3	9-27-07
4	10-4-07

A-101