

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		CBL:
Permit No: 01-0863	Issue Date: 7/3/2001	048 F005001

Location of Construction: 80 Sherman St	Owner Name: Roman Catholic Bishop Of	Owner Address: Po Box 11559	Phone: 207-878-0254
Business Name: n/a	Contractor Name: Mike Russo	Contractor Address: 29 Hale St. Portland	Phone: 2078380080
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone: R-6

Past Use: Res. / Church	Proposed Use: Same: Interior Alterations to Include 2 New Bathrooms and 1 New Elevator	Permit Fee: \$630.00	Cost of Work: \$100,500.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-4 Type: 305	

Proposed Project Description:
Interior Alteratons to Add 2 Bathrooms And 1 Elevator

Signature: *[Signature]* **PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 07/13/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/19/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires A Separate Review Date:
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT REPORT

DATE: 18 July 2001 ADDRESS: 80 Sherman ST. CBL: 0418-F-005

REASON FOR PERMIT: Interior ALTERATIONS To add 2 bath rooms 1 SLV

BUILDING OWNER: Roman Catholic Bishop of PTD

PERMIT APPLICANT: _____ (CONTRACTOR Mike Russo)

USE GROUP: A-4 CONSTRUCTION TYPE: 30 CONSTRUCTION COST: 100,500. PERMIT FEES: 600.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *18, *11, 21
*24, *28, *38, *39-40

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "**ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING.**"
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

29. All requirements must be met before a final Certificate of Occupancy is issued.

30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements.

33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

34. Bridging shall comply with Section 2305.16.

35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38. Elevators shall be approved by The State of Maine Elevator Inspectors

39. All work is to be done as per approved plans with conditions

40. State Fire Marshall approval required for this project

P. Samuel Moffat, Building Inspector

cc: A. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

01-0863

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 80 Sherman St

Total Square Footage of Proposed Structure	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>48</u> Block# <u>F</u> Lot# <u>5</u>	Owner: <u>Roman Catholic Church</u> <u>Ocean Ave</u> <u>Portland, Me</u>	Telephone: <u>Jim Somma</u> <u>878-0254</u>
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Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>M. Russo Construction</u> <u>Mike Russo 29 Hale St</u> <u>838-0080 Portland, ME 04163</u>	Cost Of Work: <u>\$100,500</u> Fee: \$ <u>630.</u>
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Current use: Church

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: Same

Project description:
Install 2 New Bathroom
Install 1 New elevator

Contractor's name, address & telephone: M. Russo Construction

Who should we contact when the permit is ready: MIKE RUSSO

Mailing address: 29 Hale St
Portland, ME 04163

Phone: 838-0080

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael A Russo</u>	Date: <u>7/13/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

7/13
24

Sacred Heart / Saint Dominic Church

Elevator / Toilet Room Addition

May 23, 2001

CLIENT:

Sacred Heart
/ St. Dominic Parish
80 Sherman Street
Portland, Maine 04101
Tel.: 207.772.6182

ARCHITECT:

Patric Santerre
12 Belknap Street
Portland, Maine 04103
Tel.: 207.791.2848

STRUCTURAL ENGINEERS:

Becker Structural Engineers, Inc.
19 Commercial Street
Portland, Maine 04101
Tel.: 207.879.1838

CONSTRUCTION MANAGER:

Michael Russo
29 Hale St.
Portland, Maine 04103
Tel.: 207.838.0080

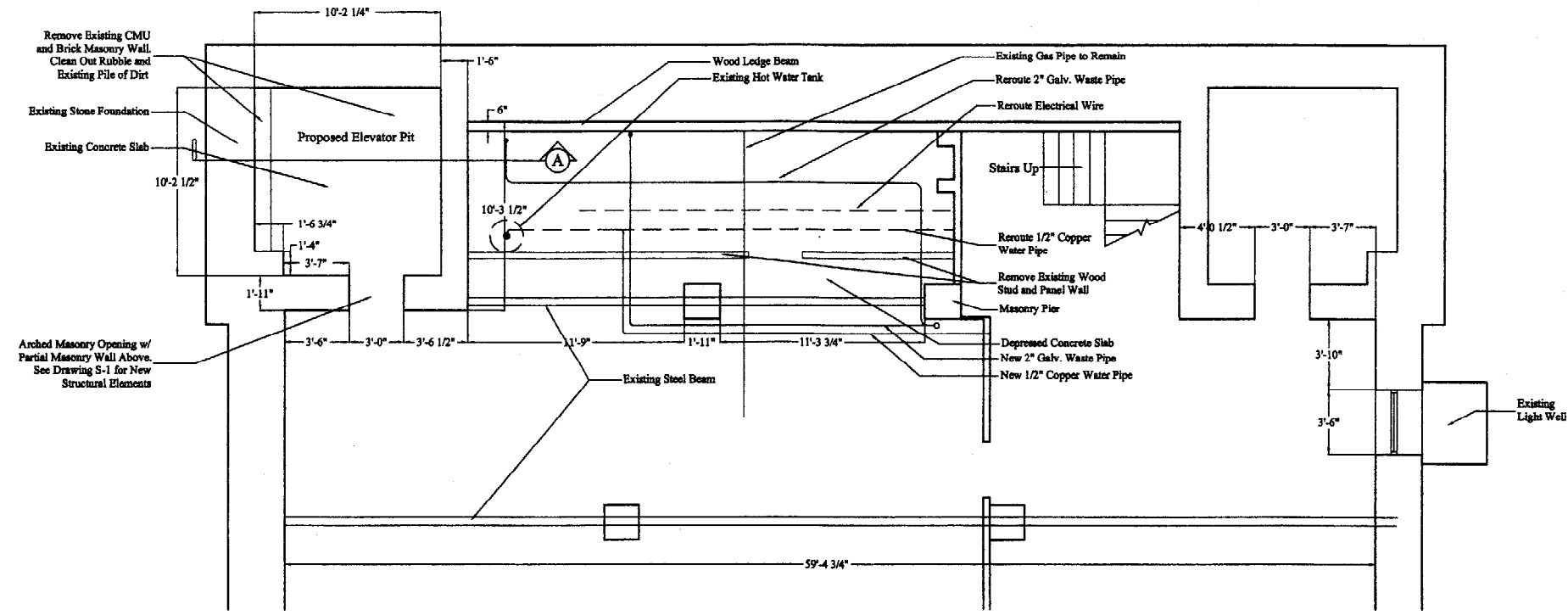
DRAFTING SERVICE:

FMC CADD
75 Bishop Street
Portland, Maine 04103
Tel.: 207.878.8511

100% Construction Documents

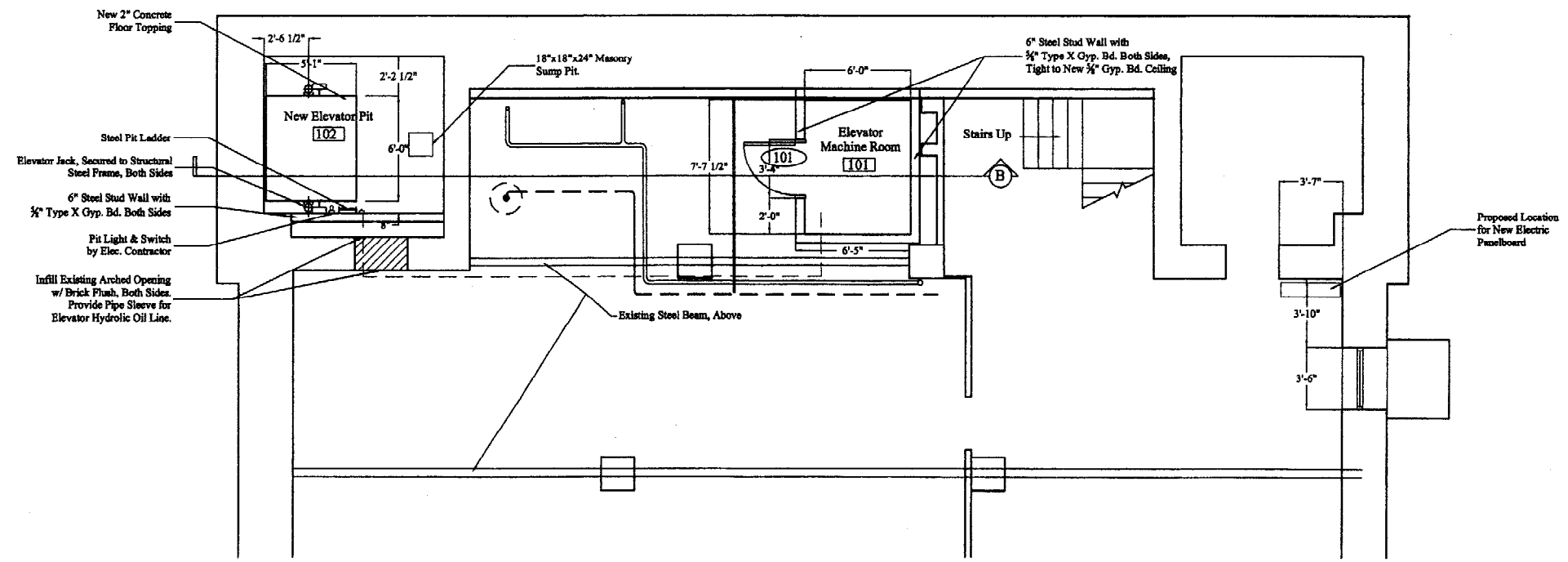
*Plans reviewed on
Large plans / 18/July/01.*

25



Sub-Basement Level - Demolition Plan

1/4" = 1'-0"



Sub-Basement Level - New Construction Plan

1/4" = 1'-0"

patric santerre
architect - product designer

12 belknap street
portland, maine
04103

telfax: 207.791.2848

General Notes:

1. All dimensions shown are approximations that the Contractor should verify.

2. Contractor to remove and patch all exposed electrical outlets, wall switches, and light fixtures in areas being concealed or remodeled. Disconnect service or reuse for new lights and outlets.

3. Contractor to reroute kitchen ventilation duct and install new toilet rooms and elevator machine room ventilation system.

4. Contractor to procure all pertinent local state and fire marshal building code permits.

PROJECT:

Sacred Heart /
St. Dominic Parish
80 Sherman Street
Portland, Maine 04101

DATE: APRIL-2001

100% CONSTRUCTION DOCUMENTS

SCALE:

1/4" = 1'-0"



TITLE:

Sub-Basement
Demo & New
Layout Plans

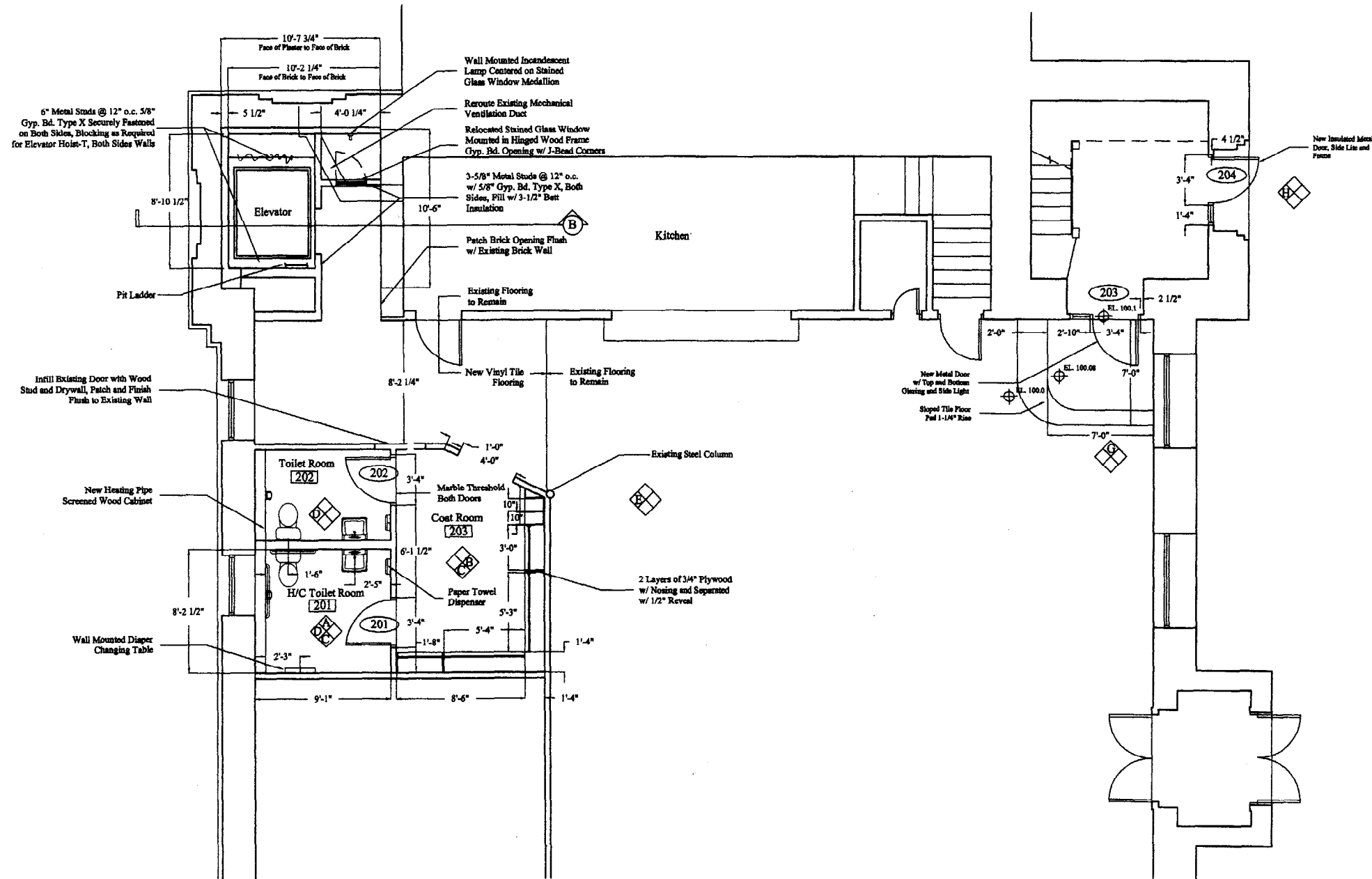
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A-10

patric santerre
architect - product designer

12 belknap street
portland, maine
04103

telex: 207.791.2848



Basement Hall Level - New Construction Plan

1/4" = 1'-0"

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PROJECT:
Sacred Heart /
St. Dominic Parish
80 Sherman Street
Portland, Maine 04101

DATE: APRIL - 2001

100% CONSTRUCTION
DOCUMENTS

SCALE:

1/4" = 1'-0"



TITLE:
New Basement
Layout Plan

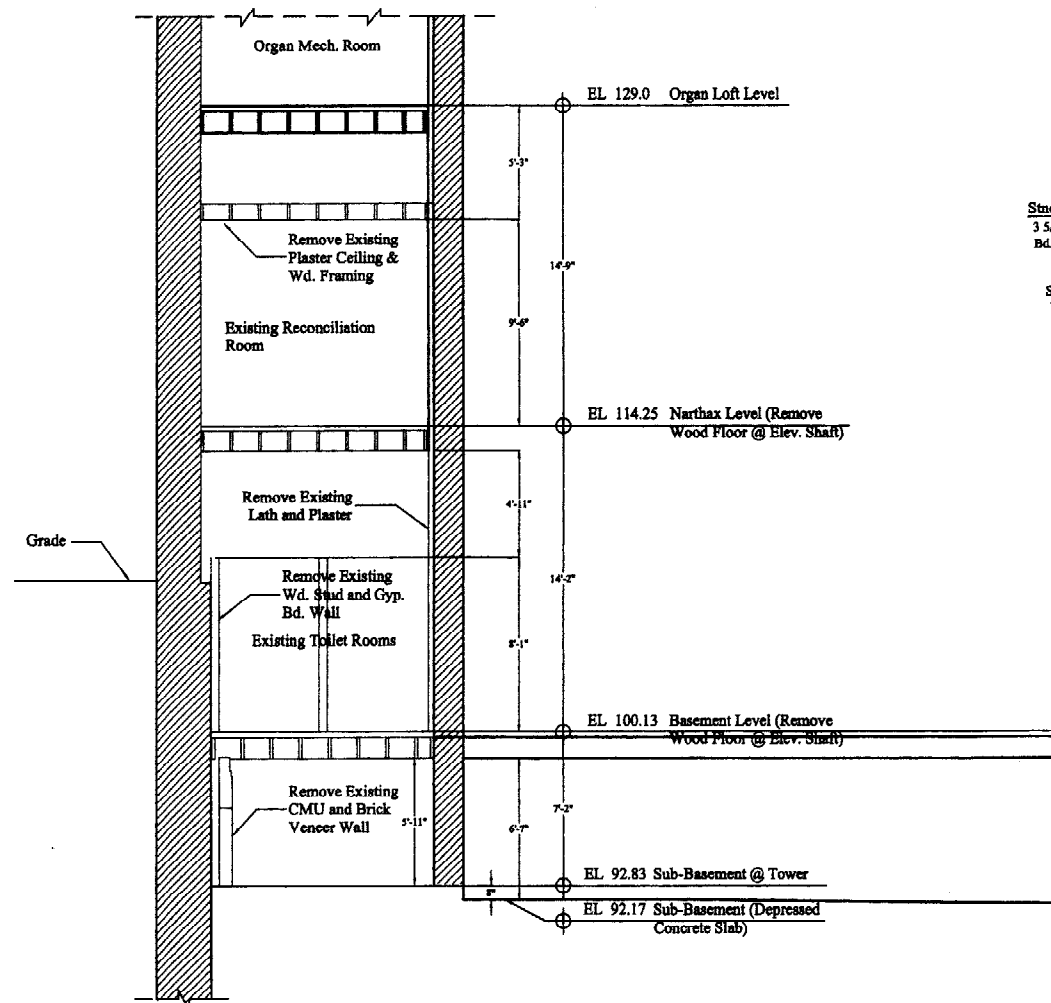
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A-21

patric santerre

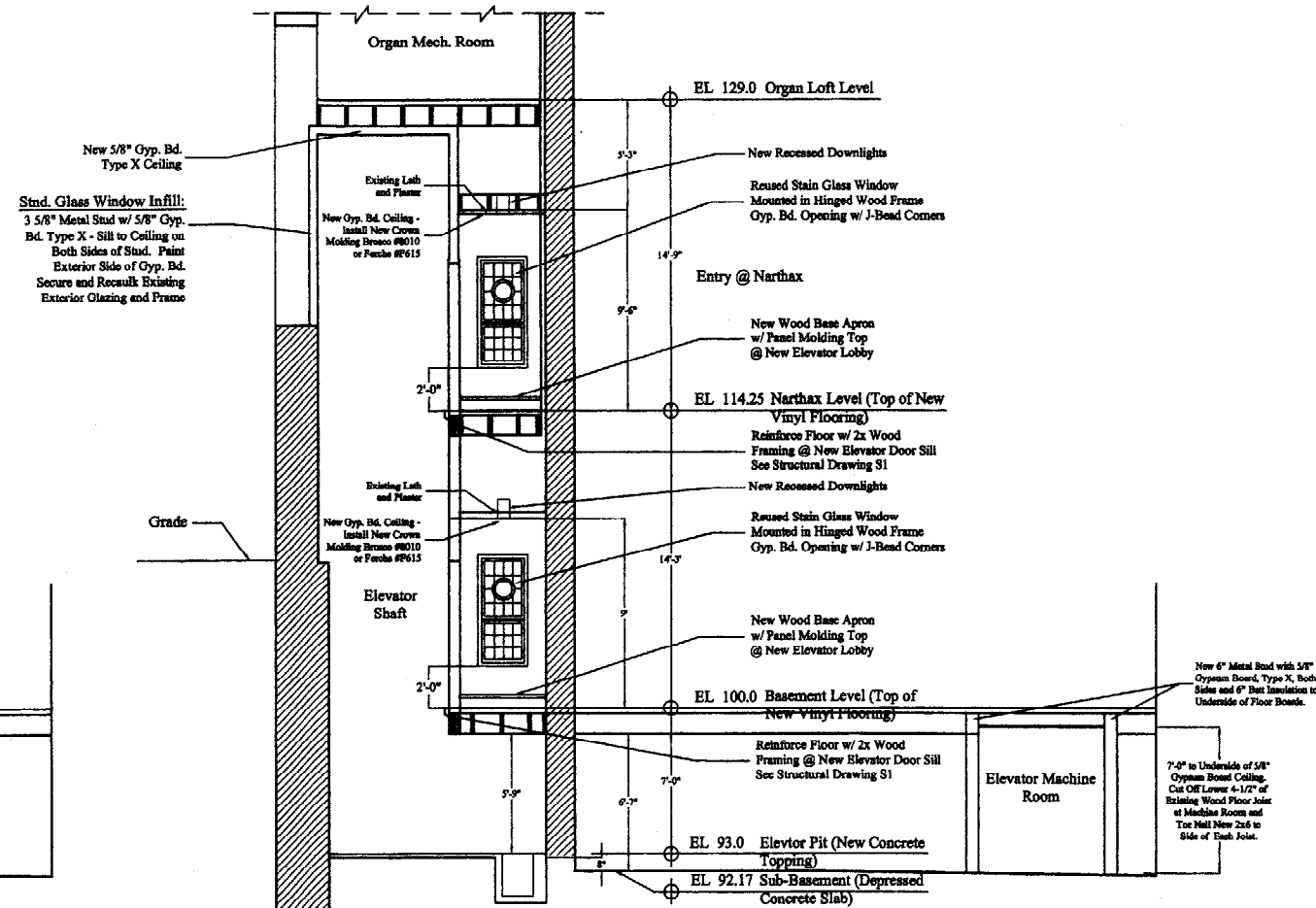
architect - product designer

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portland, maine
04103

telfax: 207.791.2848



A Section Thru Existing Tower



B Section Thru New Elevator Shaft

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PROJECT:
Sacred Heart /
St. Dominic Parish
80 Sherman Street
Portland, Maine 04101

DATE: APRIL-2001

100% CONSTRUCTION
DOCUMENTS

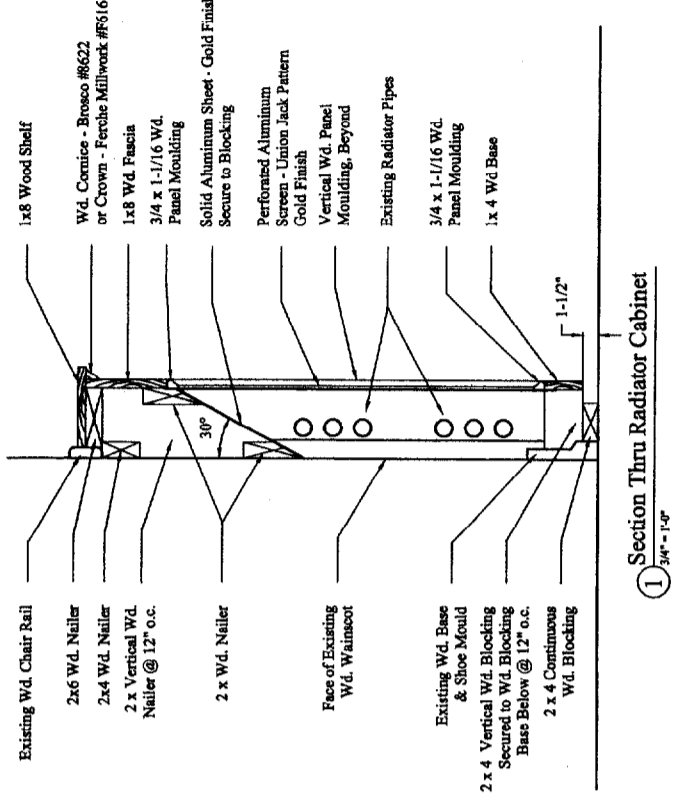
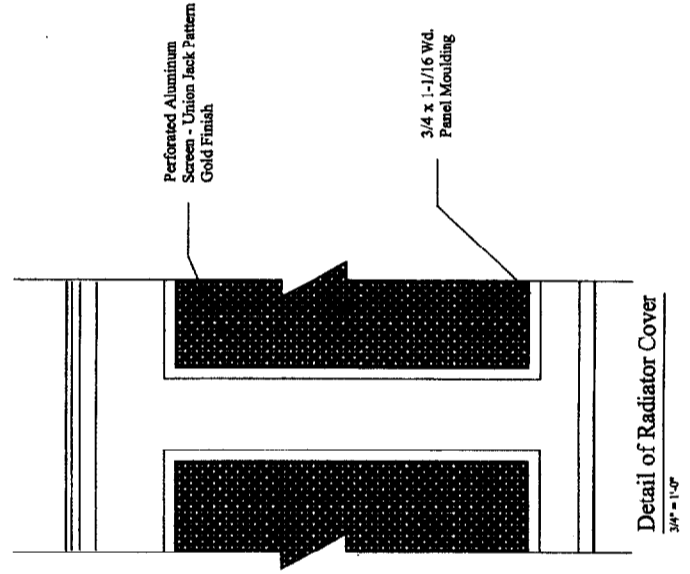
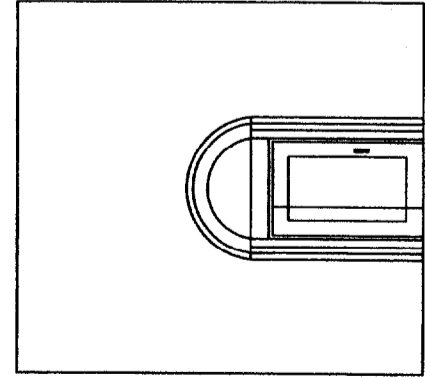
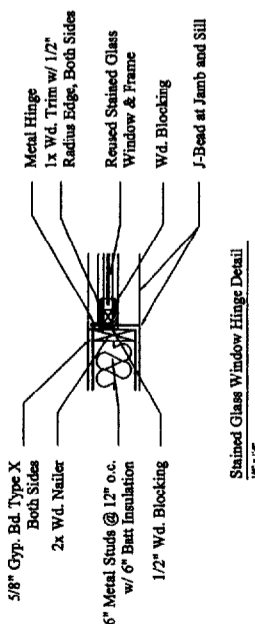
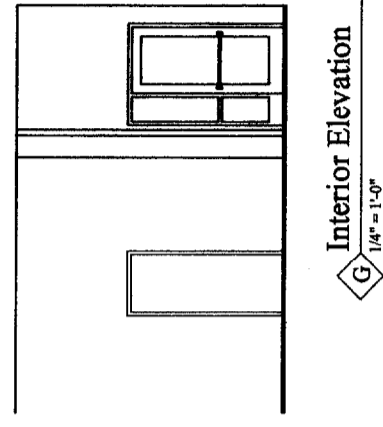
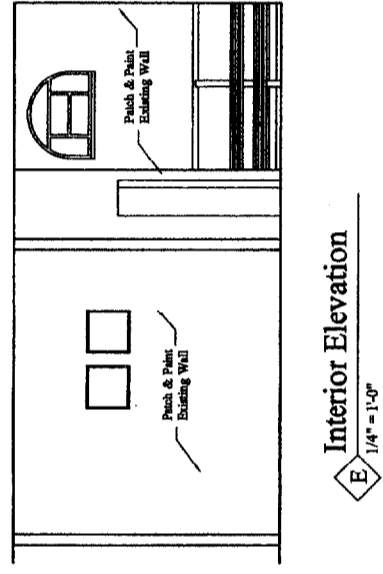
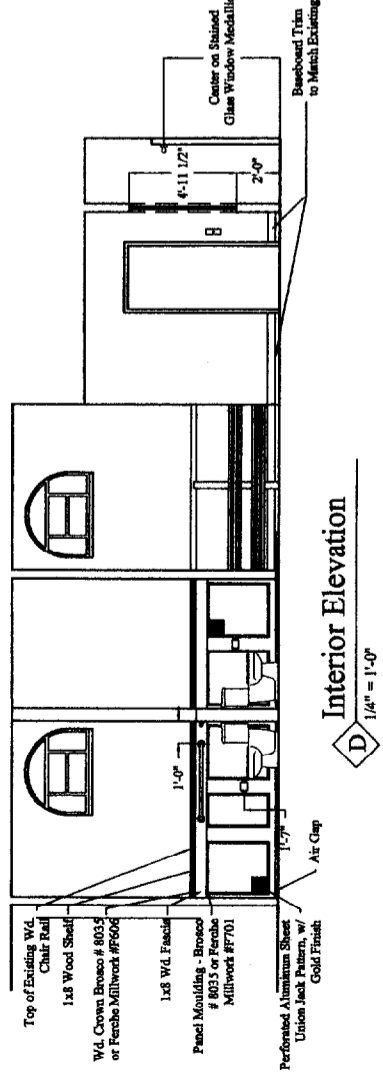
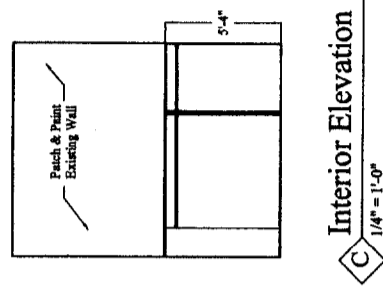
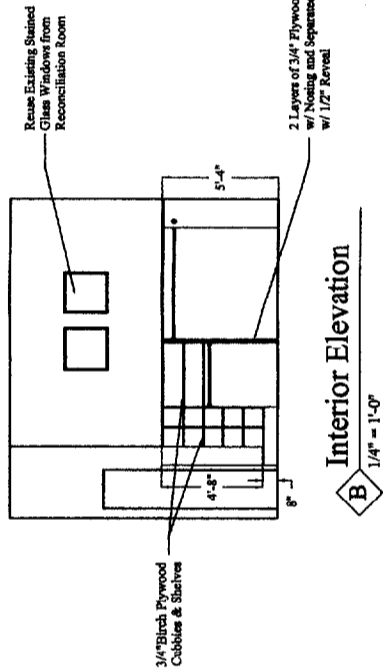
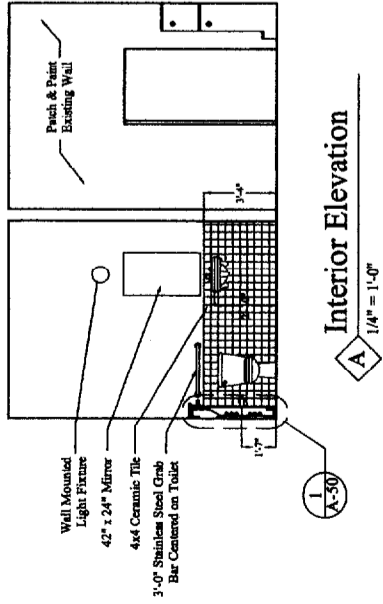
SCALE:

1/4" = 1'-0"



TITLE:
Building Cross
Sections

SHEET NO:
A-40



patric santerre
architect - product designer
12 belknap street
portland, maine
04103
tel/fax: 207.791.2848

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3. Contractor to reroute kitchen ventilation duct and install new toilet rooms and elevator machine room ventilation system.
4. Contractor to procure all pertinent local state and fire marshal building code permits.

PROJECT:
Sacred Heart /
St. Dominic Parish
80 Sherman Street
Portland, Maine 04101

DATE: APRIL-2001
100% CONSTRUCTION
DOCUMENTS

SCALE:
AS NOTED

TITLE:
Interior Elevations
& Details
SHEET NO:
A-50

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12 belknap street
portland, maine
04103

teifax: 207.791.2848

BECKER
structural engineers, inc

19 Commercial Street Portland, ME 04101
Ph: 207.879.1838 Fax: 207.879.1822

General Notes:

GENERAL NOTES

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE REINFORCING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THE LOCATION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS, SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL 9th EDITION, AND THE CODE OF STANDARD PRACTICE, LATEST EDITION.
- STRUCTURAL STEEL: CONFORM TO ASTM A992 UNLESS NOTED OTHERWISE (UNO). STRUCTURAL STEEL SHAPES MAY ALSO CONFORM TO ASTM A572, GRADE 50.
- STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B 46 KSI.
- FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIAMETER ASTM A325M HIGH STRENGTH BOLTS (UNO) EXCEPT WHERE SLIP CRITICAL CONNECTIONS ARE REQUIRED AND NOTED BY A325SC ON THE DRAWINGS. PROVIDE A490 (SC) CONNECTIONS AT ALL MOMENT CONNECTIONS, BRACED FRAMES, RELIEVING ANGLES AND AS OTHERWISE NOTED.
- WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN).
- ALL STEEL SHALL BE FABRICATED AND SHIPPED AS BARE UN-PAINTED STEEL, EXCEPT STEEL PERMANENTLY EXPOSED TO WEATHER.
- ANCHOR BOLTS SHALL BE ASTM A307 HEADED BOLTS OF THE DIAMETERS AND DIMENSIONS DETAILED UNLESS OTHERWISE NOTED ON THE DRAWINGS. HIGH STRENGTH ANCHOR BOLTS SHALL BE ASTM A325 OR ASTM A490 AS INDICATED.
- PROVIDE 3/8" MINIMUM STIFFENER PLATES EACH SIDE OF WEB AT BEAMS FRAMING OVER COLUMNS AND AT BEAMS SUPPORTING COLUMNS ABOVE.
- PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS.
- COAT ALL COLUMNS BELOW SLAB WITH BITUMINOUS MASTIC.

MASONRY NOTES

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1-92.
- ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90 GRADE N, TYPE 1 STANDARD WEIGHT BLOCKS INCLUDING STRETCHERS AND CORNER BLOCKS. MINIMUM PRISM STRENGTH OF BLOCK SHALL BE $f_m = 1500$ PSI IN 28 DAYS.
- MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270, TYPE M OR S.
- GROUT SHALL CONFORM TO ASTM-C476.
- PROVIDE 1-#5 AROUND SIDES OF ALL WALL OPENINGS IN FULLY GROUTED CELL.

CONCRETE NOTES

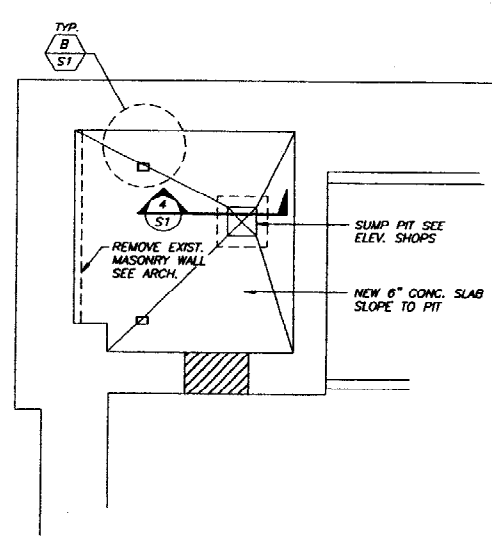
- CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - 95)" AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-95)".
- GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR OWNER'S CLERK OF THE WORKS SHALL HAVE AVAILABLE ON SITE AT ALL TIMES A COPY OF ACI FIELD REFERENCE MANUAL SP-15(95).
- CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN THE PRESENCE OF A REPRESENTATIVE OF AN APPROVED TESTING AGENCY.
- CONCRETE MIX DESIGN:
INTERIOR SLABS ON GRADE:
A. STRENGTH: 4000 PSI @ 28 DAYS
B. AGGREGATE: 3/4"
C. W/C RATIO: 0.48 MAX
D. ENTRAINED AIR: 6% MAX, 3% MIN
E. SLUMP: 4" MAX
A. ADD AIR ENTRAINING ADMIXTURE AT MANUFACTURERS PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING THE ABOVE NOTED AIR CONTENTS.
B. ADDITIONAL SLUMP MAY BE ACHIEVED BY THE ADDITION OF A MID-RANGE OR HIGH RANGE WATER REDUCING ADMIXTURE. MAXIMUM SLUMP AFTER ADDITION OF ADMIXTURE SHALL BE 8 INCHES.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
- REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. PROVIDE LAPPED BARS AT NECESSARY SPLICES OR HOOKED BARS AT DISCONTINUOUS ENDS. PROVIDE CLASS - B TENSION LAP SPLICES FOR ALL REINFORCING UNLESS OTHERWISE SHOWN ON PLAN.
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- CONSTRUCTION JOINTS SHOWN ON DRAWINGS ARE MANDATORY. CHANGES ADDITION OR CHANGES SHALL NOT BE MADE EXCEPT WITH THE SUBMITTAL OF A WRITTEN REQUEST TOGETHER WITH DRAWINGS OF THE PROPOSED JOINT LOCATIONS FOR APPROVAL OF THE STRUCTURAL ENGINEER.
- ANCHOR BOLTS SHALL BE HEADED BOLTS CONFORMING TO ASTM A307 UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE "S-SHAR" 5000-PSI NON-SHRINK GROUT BY U.S. GROUT CORP.
- CONCRETE ANCHORS SHALL BE POWERFAST ADHESIVE ANCHORS BY POWERS/FARL, NEW ROCHELLE, NY (914) 235-8300.



Structural Framing Plan

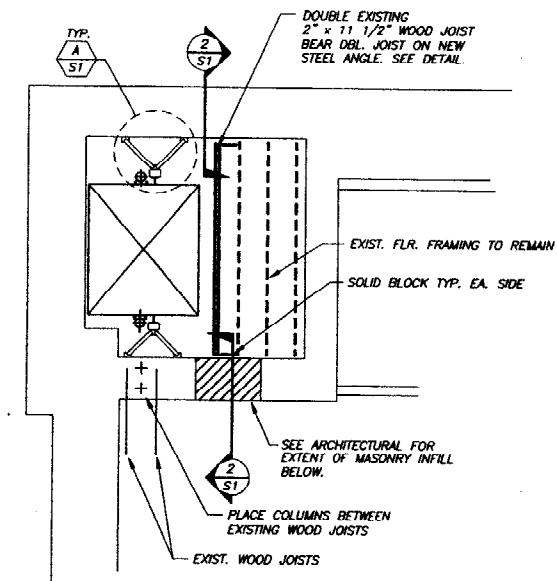
SHEET NO:

S1



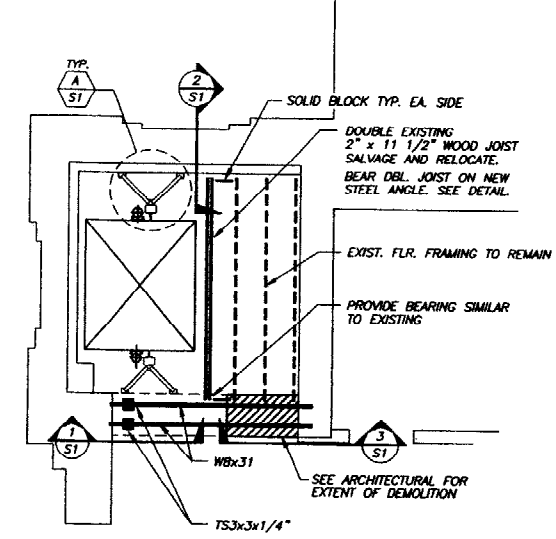
SUB-BASEMENT STRUCTURAL PLAN

1/4"=1'-0"



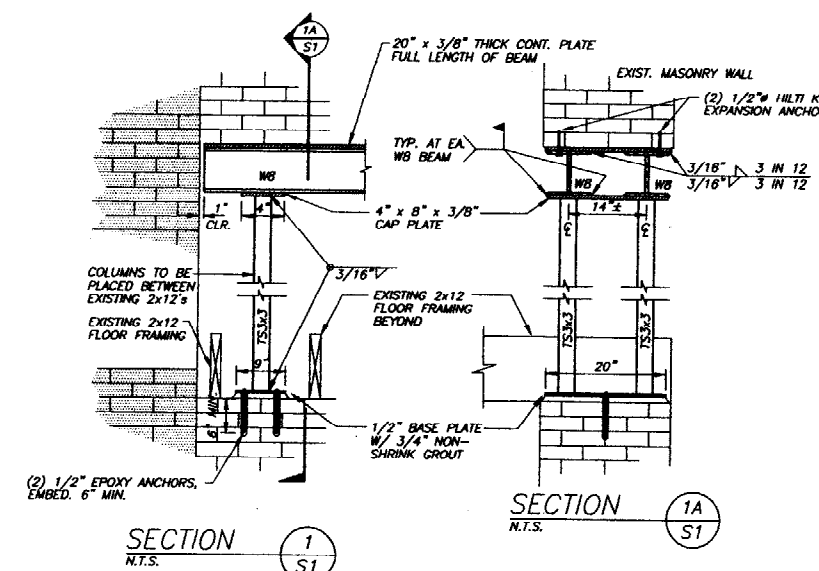
BASEMENT NEW STRUCTURAL ELEVATOR FRAMING

1/4"=1'-0"



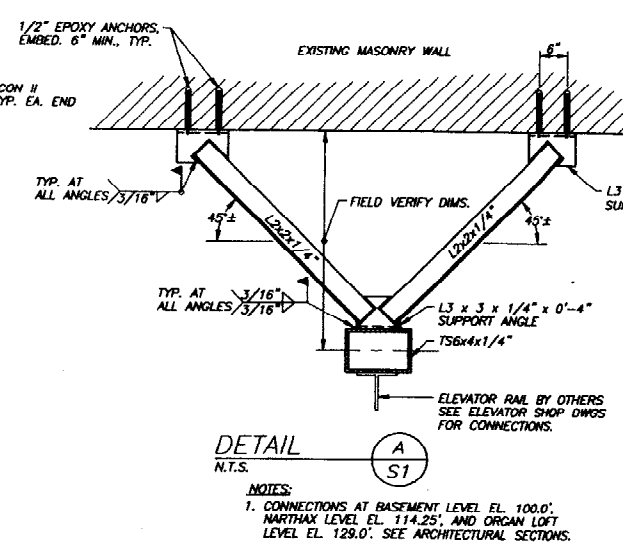
NARTHAX NEW STRUCTURAL ELEVATOR FRAMING

1/4"=1'-0"



SECTION 1

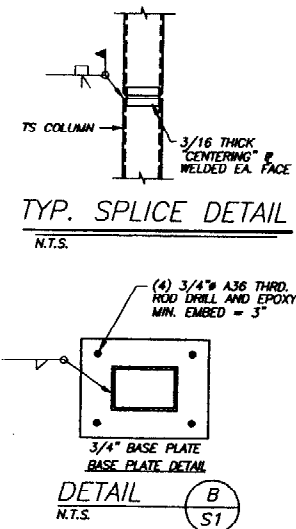
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DETAIL A

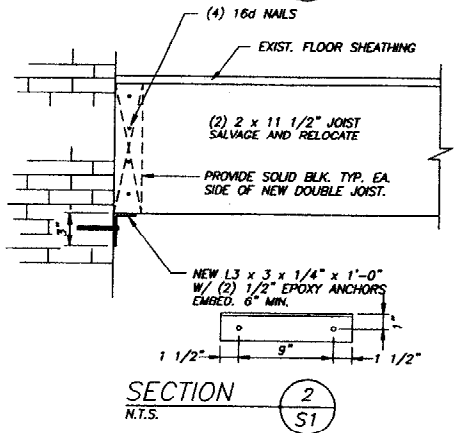
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- NOTES:
1. CONNECTIONS AT BASEMENT LEVEL EL. 100.0', NARTHAX LEVEL EL. 114.25', AND ORGAN LOFT LEVEL EL. 129.0'. SEE ARCHITECTURAL SECTIONS.



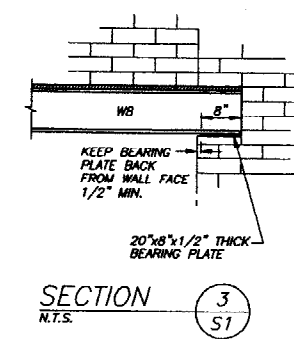
DETAIL B

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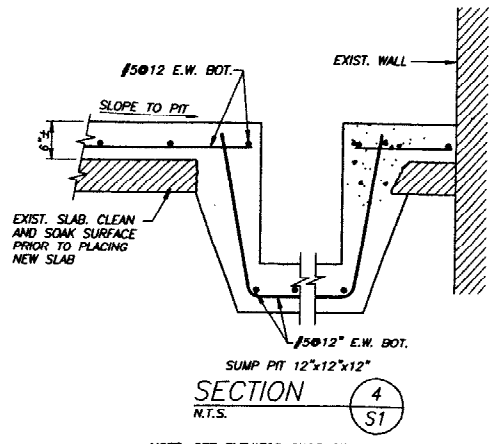
SECTION 2

N.T.S.



SECTION 3

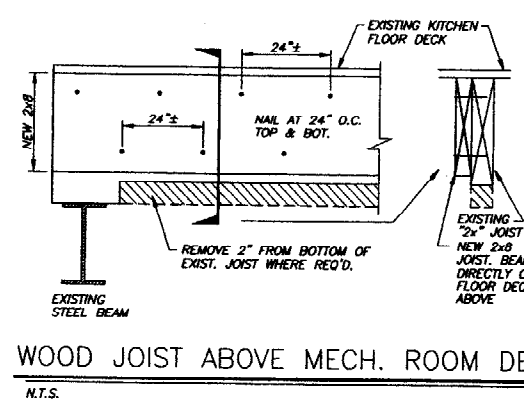
N.T.S.



SECTION 4

N.T.S.

NOTE: SEE ELEVATOR SHOP DWGS FOR PIT DIMS.



WOOD JOIST ABOVE MECH. ROOM DETAIL

N.T.S.