

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 021298

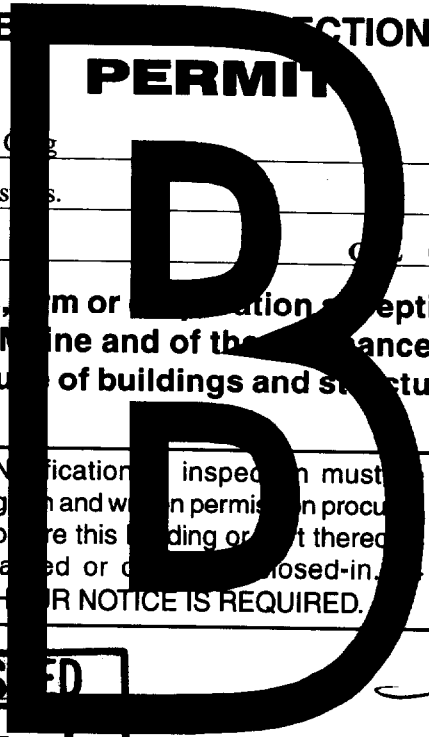
This is to certify that Drug Rehabilitation /Caron, Corp
has permission to Rebuild piazza and exterior stairs.
AT 545 Cumberland Ave 048 E020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.



OTHER REQUIRED APPROVALS
Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

PERMIT ISSUED
DEC 19 2002
CITY OF PORTLAND

[Signature]
Director - Building & Inspection Services

REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1298	Issue Date: DEC 19 2002	CBL: 048 E020001
-----------------------	-----------------------------------	---------------------

Location of Construction: 545 Cumberland Ave	Owner Name: Drug Rehabilitation	Owner Address: Po Box 231	Phone: CITY OF PORTLAND
Business Name: n/a	Contractor Name: Caron, Greg	Contractor Address: 131 Gorham Road Scarborough	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Unit	Proposed Use: Multi Unit / Rebuild piazza and exterior stairs and egress per stair and deck plan A-1 by archetype.	Permit Fee: \$107.00	Cost of Work: \$12,000.00	CEO District: 2
-------------------------	---	-------------------------	------------------------------	--------------------

legal use: 6 D.U. per microfiche - no use change permitted

Proposed Project Description:
Rebuild piazza and exterior stairs.

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R Type: SB BOCA 99
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 11/19/2002	Zoning Approval	
------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>11/22/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>[Signature]</i> Date: _____
---	--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

1/3/03

Checked some tubes &
framing on 1st floor Deck

6/18/03 ^{over NW} nearly completed except for ① 3rd Floor

~~steps~~ rise is $6\frac{1}{2}$, $6\frac{1}{2}$, 5. also needs graspable
handrails. AR

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1298	Date Applied For: 11/19/2002	CBL: 048 E020001
-----------------------	---------------------------------	---------------------

Location of Construction: 545 Cumberland Ave	Owner Name: Drug Rehabilitation	Owner Address: Po Box 231	Phone:
Business Name: n/a	Contractor Name: Caron, Greg	Contractor Address: 131 Gorham Road Scarborough	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Unit (6 DU)/ Rebuild piazza and exterior stairs and egress per stair and deck plan A-1 by archetype.	Proposed Project Description: Rebuild piazza and exterior stairs.
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/22/2002**Note:** 545 Cumberland Ave**Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a six (6) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 12/18/2002**Note:****Ok to Issue:** **Dept:** Fire **Status:** Approved **Reviewer:** Lt. McDougall **Approval Date:** 11/25/2002**Note:****Ok to Issue:** **Comments:**

12/11/2002-tmm: rec'd fax from builder - still need to adhere to section 1025 for fire escapes - need 8" rise and 8" tread.

12/13/2002-gg: received additional plans. /gg

12/18/2002-tmm: rec'd plans showing 8" rise and minimum 8" tread - ok to issue permit.

12/4/2002-tmm: stairs are not correct (9" tread w/8 3/8 rise) - called builder

02 1298

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

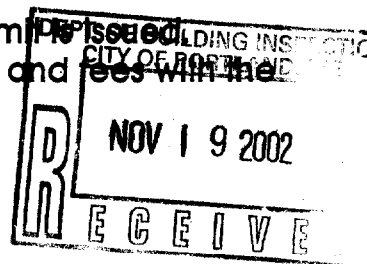
Location/Address of Construction: 545 CUMERLAND AVE		
Total Square Footage of Proposed Structure 460 #	Square Footage of Lot 6689 #	
Tax Assessor's Chart, Block & Lot Chart# 48 Block# E Lot# 20	Owner: DAY ONE	Telephone: 767-0991
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: PARKER CO 20 MUSSEY RD SCARBOROUGH	Cost Of Work: \$ 12,000.00 Fee: \$ 107.00
Current use: RESIDENTIAL (MULTI)		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: SAME		
Project description: REBUILD PIAZZA AND EXTERIOR STAIRS AND EGRESS PER STAIR AND DECK PLAN A-1 BY ARCHETYPE		
Contractor's name, address & telephone: GREG CARON 131-GORHAM RD SCARBOROUGH		
Who should we contact when the permit is ready: DAVID GRIFFIN 883-1500 04074		
Mailing address: 20 Mussey Rd SCARBOROUGH 04074 xx call		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 883-1500		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: W.D. Siffi	Date: 11-18-02
---	-----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Any Reynolds,~~ Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

~~N/A~~ **Re-Bar Schedule Inspection:** Prior to pouring concrete

~~N/A~~ **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical Prior to any insulating or drywalling

Final/Certificate of Occupancy Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X w. d. B. P.
Signature of applicant/designee

12/23/02
Date

[Signature]
Signature of Inspections Official

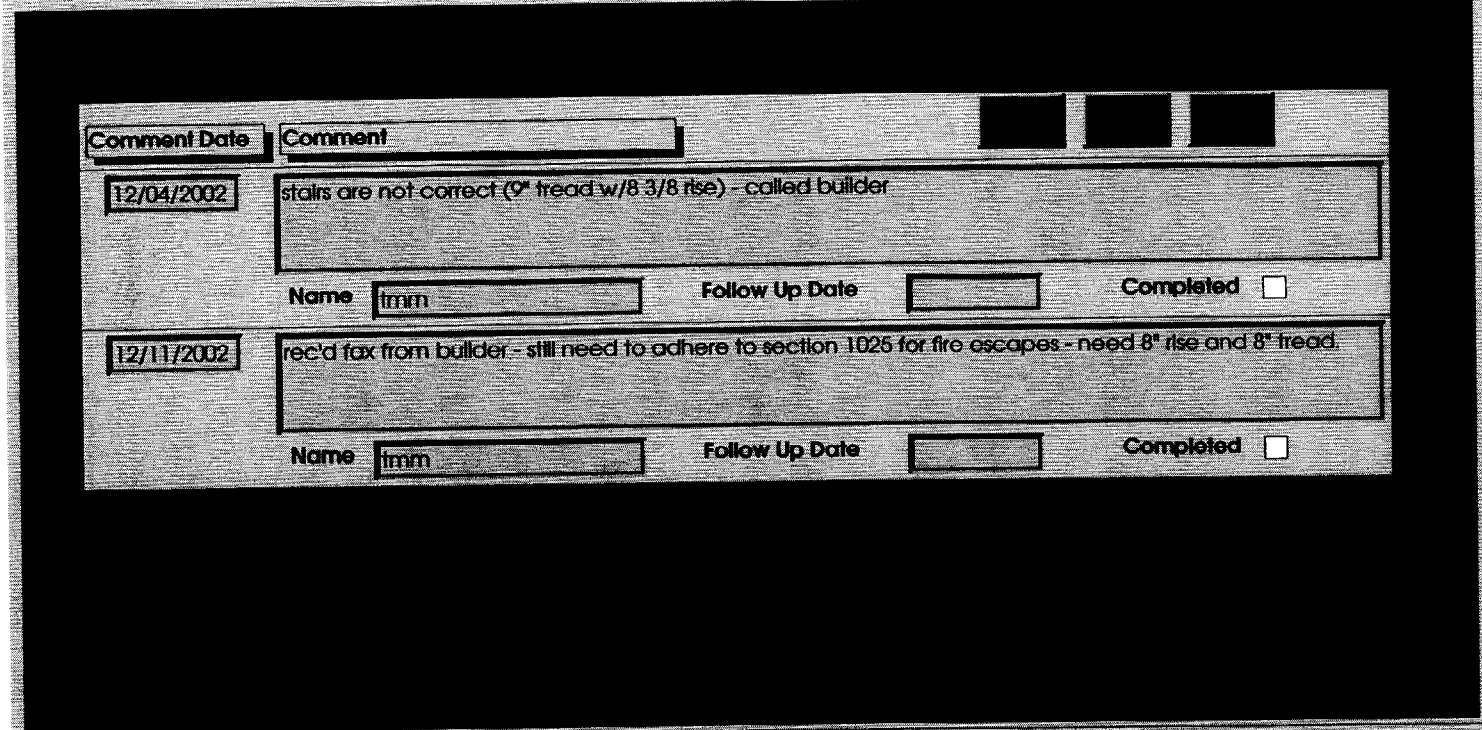
12/23/02
Date

CBL: 048 E 020 Building Permit #: 021298



Prmt **Text93** 7780 **Constr Type** New Num1 21298

Permit Nbr 02-1298 Location of Construction 545 Cumberland Ave Appl. Date 11/19/2002
Status Hold Permit Type Alterations - Multi Family Issue Date
CBL 048 E020001 Territory Nbr 2 Estimated Cost \$12,000.00 Date Closed



Comment Date	Comment	Name	Follow Up Date	Completed
12/04/2002	stairs are not correct (9" tread w/8 3/8 rise) - called bulder	imm		<input type="checkbox"/>
12/11/2002	rec'd fax from bulder - still need to adhere to section 1025 for fire escapes - need 8" rise and 8" tread.	imm		<input type="checkbox"/>

CreatedBy gg CreateDate 11/20/2002 ModBy imm ModDate 12/04/2002

Prmt Text193 7780 Constr Type New Num1 21298

Permit Nbr 02-1298 Location of Construction 545 Cumberland Ave Appl. Date 11/19/2002
Status Pending Permit Type Alterations - Multi Family Issue Date
CBL 048 E020001 Territory Nbr 2 Estimated Cost \$12,000.00 Date Closed

Comment Date Comment

12/04/2002

stairs are not correct (9" tread w/8 3/8 rise) - called builder

Name imm Follow Up Date Completed

12/11/2002

rec'd tax from builder - still need to adhere to section 1025 for fire escapes - need 8" rise and 8" tread.

Name imm Follow Up Date Completed

12/13/2002

received additional plans - /gg

Name gg Follow Up Date Completed

12/18/2002

rec'd plans showing 8" rise and minimum 8" tread - ok to issue permit.

Name imm Follow Up Date Completed

CreatedBy gg CreateDate 11/20/2002 ModBy imm ModDate 12/18/2002

ADDITIONAL FEES: 2-1298

Department: Zoning Status: Approved with Conditions Approver: Marge Schmuckal

Address: 545 Cumberland Ave Approval Date: 11/22/2002

Issue Date: 11/20/2002

OK to Issue Permit Name: Marge Schmuckal Date: 11/22/2002 Page #:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a six (6) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approval.

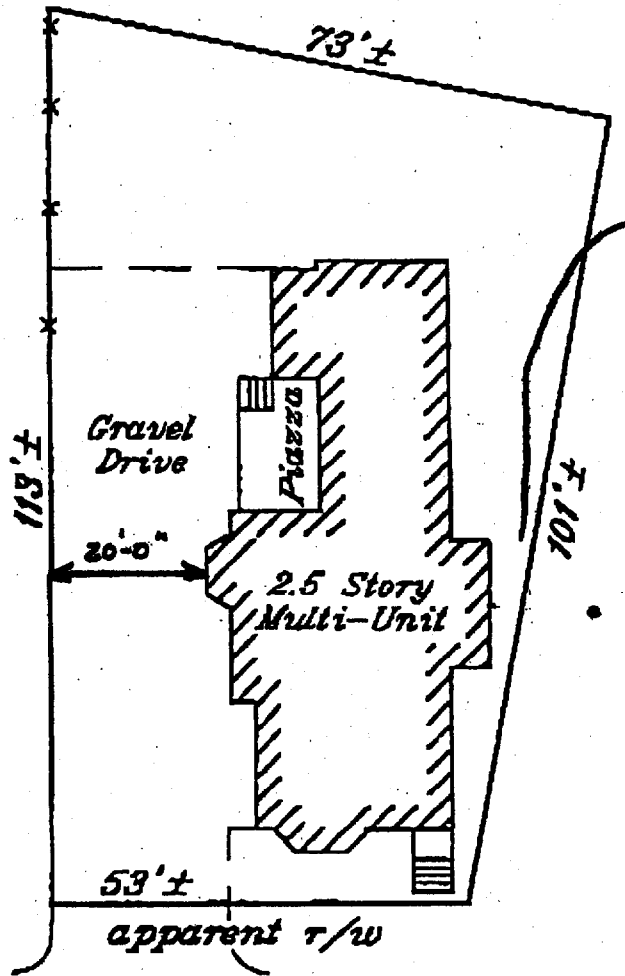
Issue Date: 11/20/2002 By: gg Update Date: 11/22/2002 By: mes



n/s
Randall



n/s
dron



n/s
Flannigan

545 Cumberland Avenue

DEED BOOK: 15705 PAGE 299

MUNI REF: MAP 48
BLOCK E
LOT 20

OWNER

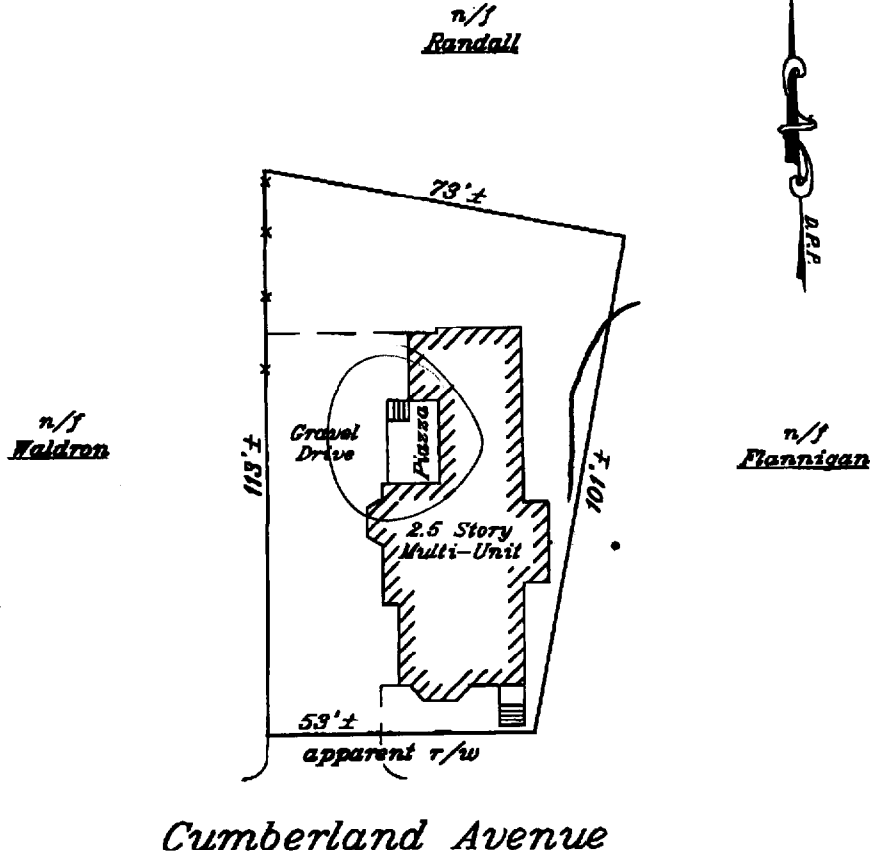
DAY ONE
POB 231
CAPE ELIZABETH
767-0991

For Mortgage Lender Use Only

General Notes: (1) Distances shown are taken from provided title references shown below. (2) The purpose of this inspection is to render an opinion as follows: A) dwelling and accessory structures compliance with respect to municipal zoning setbacks and B) flood zone determination by horizontal staking on below referenced FEMA Map. (3) This inspection accepts and all technical standards as set forth by State of Maine Board of Licensure for Professional Land Surveyors. (4) This inspection is to be used only by the below listed lender, title attorney and title insurer and shall not be used by another party for boundary line locations or land title opinions. (5) A boundary survey should be performed to render a professional opinion pertaining to boundary line locations, easements, rights of way, encumbrances and/or encroachments.

Address: 645 Cumberland Avenue
Portland, Maine

Inspection Date: February 22, 2002
 Scale: 1" = 30'



Applicant: INI, LLC Requesting Party: Portland Title LLC
 Owner: Same Attorney: Jonathan Goldberg Esq
 Lender: Maine Bank & Trust File No. 20211442 Field Book: 223-21

Title References:
 Deed Book: 15705 Page: 299
 Plan Book: _____ Page: _____ Lot: _____
 County: Cumberland

Municipal References:
 Map: 4B Block: E Lot: 20

The dwelling does not fall within a Special Flood Hazard Zone Per FEMA Community Map No. 230051
 Panel: 0019B Zone: C Date: July 17, 1988

The dwelling was in compliance with municipal zoning setback requirements at the time of construction.

Comments:

Nadeau & Lodge, Inc.
 Professional Land Surveyors

918 Brighton Avenue
 Portland, Maine 04102
 Ph. (207)878-7870 Fax (207)878-7871

Jonathan Nadeau
 2-25-02

This Is Not A Boundary Survey

Not For Recording

MEANS OF EGRESS

Table 7.2.8.4.1(a) Fire Escape Stairs

Feature	Serving More than 10 Occupants	Serving 10 or Fewer Occupants
Minimum widths	22 in. (55.9 cm) clear between rails	18 in. (45.7 cm) clear between rails
Minimum horizontal dimension of any landing or platform	22 in. (55.9 cm) clear	18 in. (45.7 cm) clear
Maximum riser height	9 in. (22.9 cm)	12 in. (30.5 cm)
Minimum tread, exclusive of nosing	9 in. (22.9 cm)	8 in. (20.3 cm)
Minimum nosing or projection	1 in. (2.5 cm)	No requirement
Tread construction	Solid 3/4 in. (1.9 cm) diameter perforations permitted	Flat metal bars on edge or square bars secured against turning, spaced 1 1/4 in. (3.2 cm) maximum on centers
Winders	None	Permitted subject to capacity penalty
Risers	None	No requirement
Spiral	None	Permitted subject to capacity penalty
Maximum height between landings	12 ft (3.7 m)	No requirement
Headroom, minimum	6 ft 8 in. (203 cm)	Same
Access to escape	Door or casement windows, 24 in. x 6 ft 6 in. (61 cm x 198 cm); or double-hung windows, 30 in. x 36 in. (76 cm x 91 cm) clear opening	Windows providing a clear opening of at least 20 in. (50.8 cm) in width, 24 in. (61 cm) in height, and 5.7 ft ² (0.53 m ²) in area
Level of access opening	Not over 12 in. (30.5 cm) above floor; steps if higher	Same
Discharge to ground	Swinging stair section permitted if approved by authority having jurisdiction	Swinging stair, or ladder if approved by authority having jurisdiction
Capacity, number of persons	0.5 in. (1.3 cm) per person, if access by door; 1.0 in. (2.5 cm) per person, if access by climbing over windowsill	10; if winders or ladder from bottom balcony, 5; if both, 1

Table 7.2.8.4.1(b) Replacement Fire Escape Stairs

Feature	Serving More than 10 Occupants	Serving 10 or Fewer Occupants
Minimum widths	22 in. (55.9 cm) clear between rails	Same
Minimum horizontal dimension of any landing or platform	22 in. (55.9 cm)	Same
Maximum riser height	9 in. (22.9 cm)	Same
Minimum tread, exclusive of nosing	10 in. (25.4 cm)	Same
Tread construction	Solid 3/4 in. (1.9 cm) diameter perforations permitted	Same
Winders	None	Permitted subject to 7.2.2.2.4
Spiral	None	Permitted subject to 7.2.2.2.5
Risers	None	None
Maximum height between landings	12 ft (3.7 m)	Same
Headroom, minimum	6 ft 8 in. (203 cm)	Same
Access to escape	Door or casement windows, 24 in. x 6 ft 6 in. (61 cm x 198 cm); or double-hung windows, 30 in. x 36 in. (76 cm x 91 cm) clear opening	Windows providing a clear opening of at least 20 in. (50.8 cm) in width, 24 in. (61 cm) in height, and 5.7 ft ² (0.53 m ²) in area
Level of access opening	Not over 12 in. (30.5 cm) above floor; steps if higher	Same
Discharge to ground	Swinging stair section permitted if approved by authority having jurisdiction	Same
Capacity, number of persons	0.5 in. (1.3 cm) per person, if access by door; 1.0 in. (2.5 cm) per person, if access by climbing over windowsill	10

2000 Edition

PARKER COMPANY
20 Mussey Road
Scarborough, ME 04074

FAX COVER SHEET

TO: TAMMY MUNSON

NUMBER OF PAGES: 2
(including cover sheet)

FROM: Dave Griffin

DATE: 12-11-02

SUBJECT: 545 CUMBERLAND BUILDING PERMIT REQUEST

TAMMY:

THIS MEMO IS TO ADVISE THAT THERE WAS A MEETING HELD AT THE JOB SITE BY THE FOLLOWING PEOPLE TO DISCUSS THE RE-BUILD OF THE EXISTING FIRE ESCAPE ON THE WEST SIDE OF THE SUBJECT SITE. ATTENDEES LISA MUNDERBACK (DAY ONE), BILL FLOYD (CONSULTANT), DAVID LLOYD (ARCHITECT), LT. McDUGAL (PORT FIRE DEPT). IT WAS DECIDED TO ADHERE TO CODE 101 TABLE 7.2.B.4.1 FOR RISER AND TREAD DIMENSIONS BECAUSE THE EGRESS WAS TO BE USED AS A FIRE ESCAPE SERVING 4 OCCUPANTS.

NOTE THAT DRAWING AS SUBMITTED SHOWS HAND RAIL HT. AT 3'-0" AND GUARD RAIL HT AT 3'-6" WHICH IS TYPICAL FOR ALL RAILINGS.

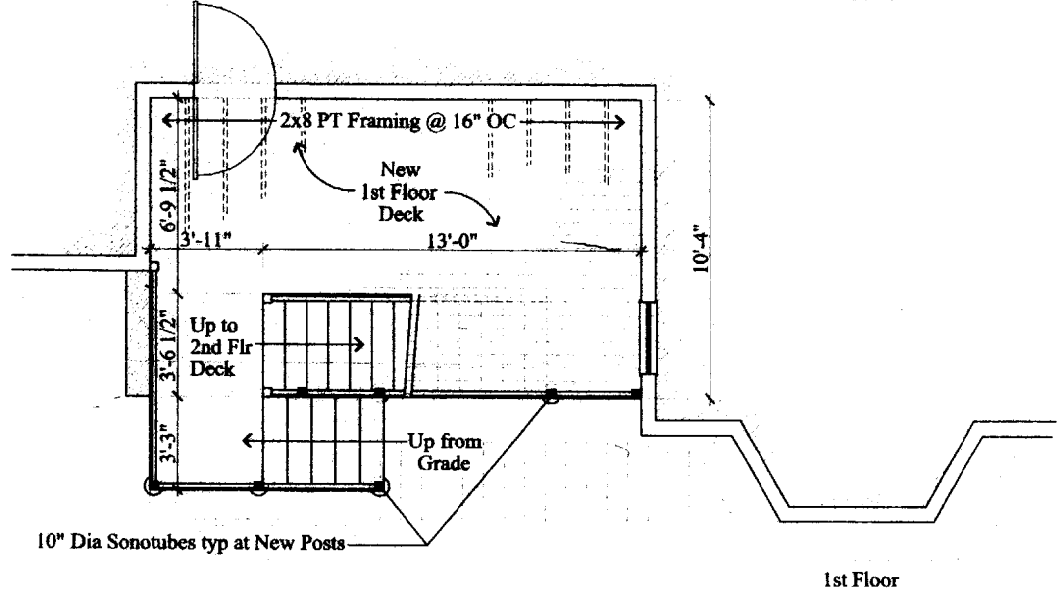
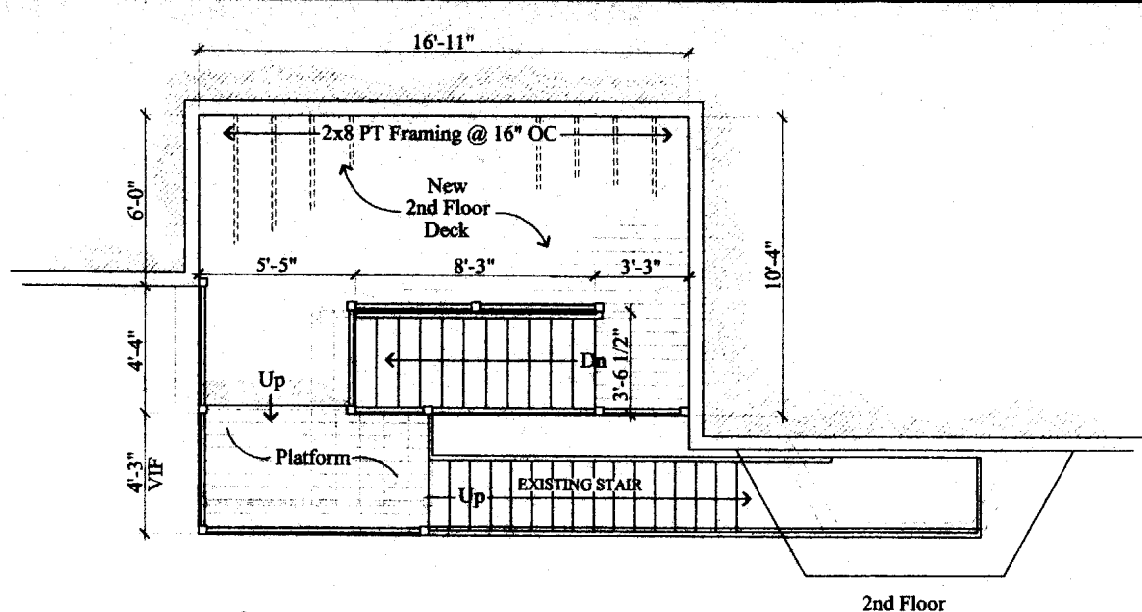
IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ME.

DAVE GRIFFIN

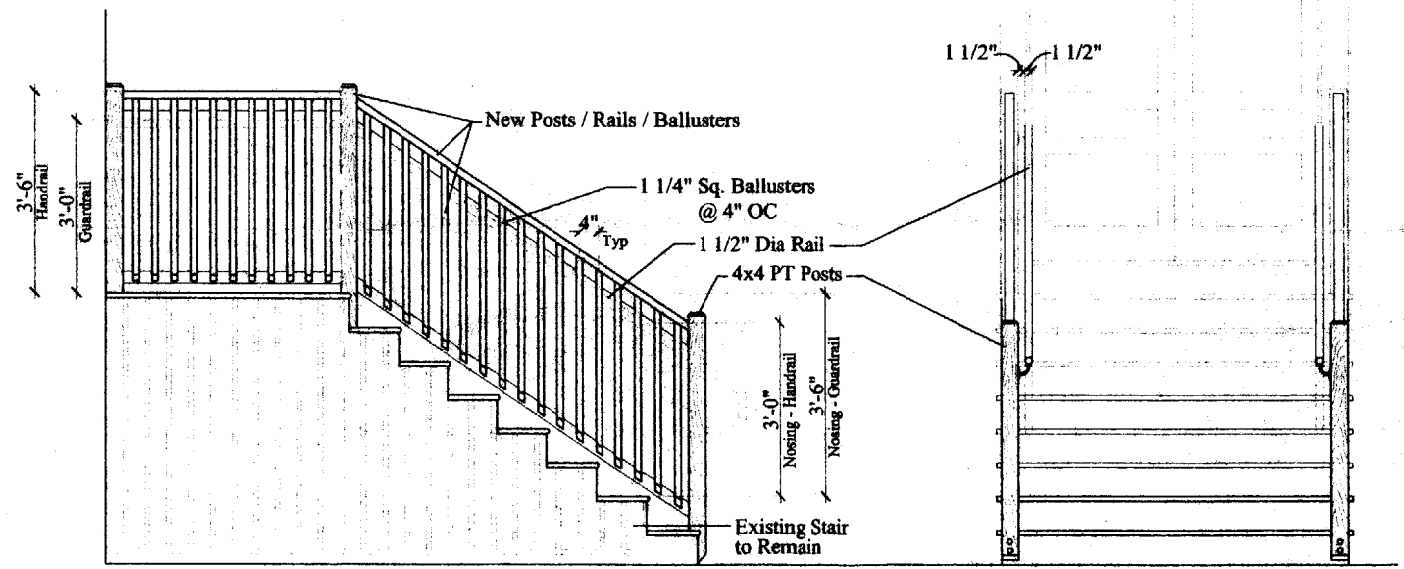
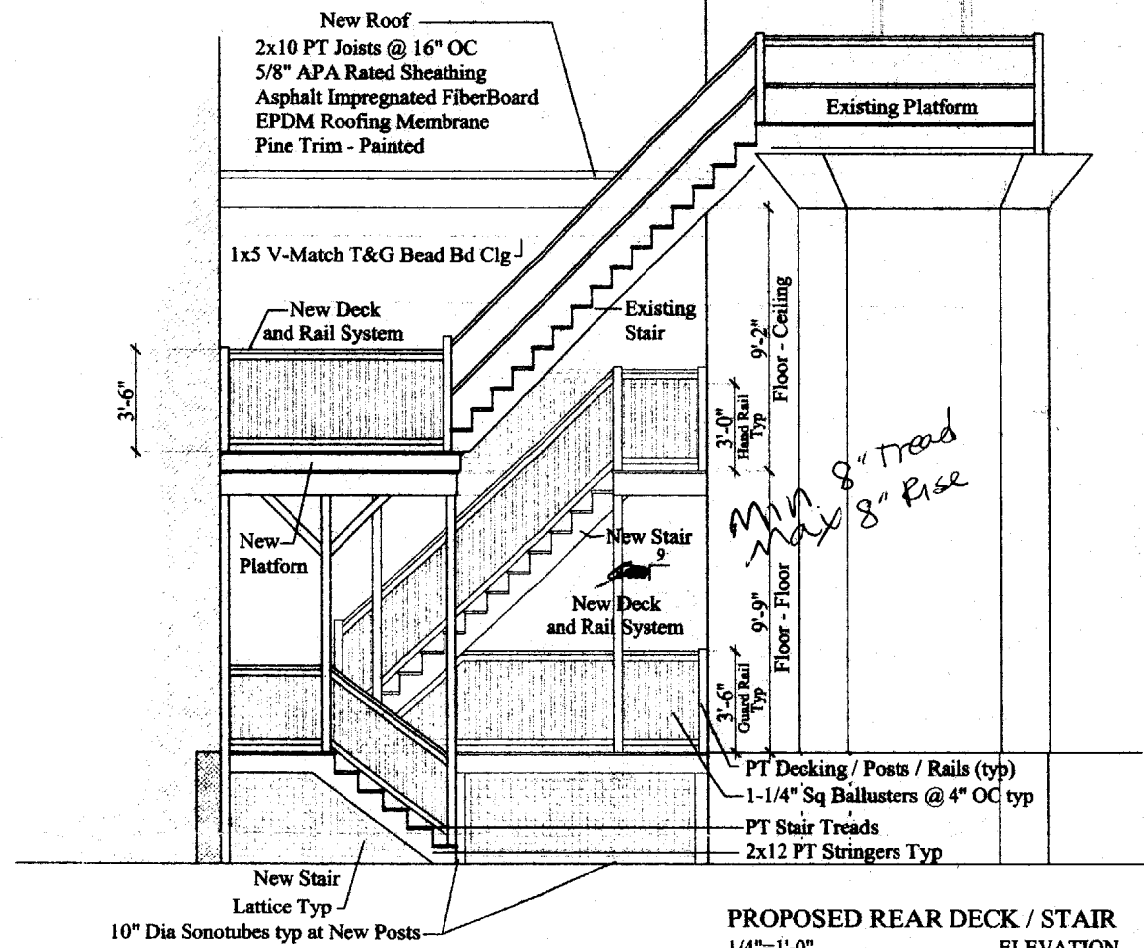
If you do not receive all of the above pages, please call (207) 883-1500.

Property Management Services
Telephone: (207) 883-1500/883-4573 Facsimile: (207) 883-3358
Cellular: (207) 671-3699 E-mail: wdgriff@concentric.net

874-2716



PROPOSED REAR DECK / STAIR PLANS
1/4"=1'-0"



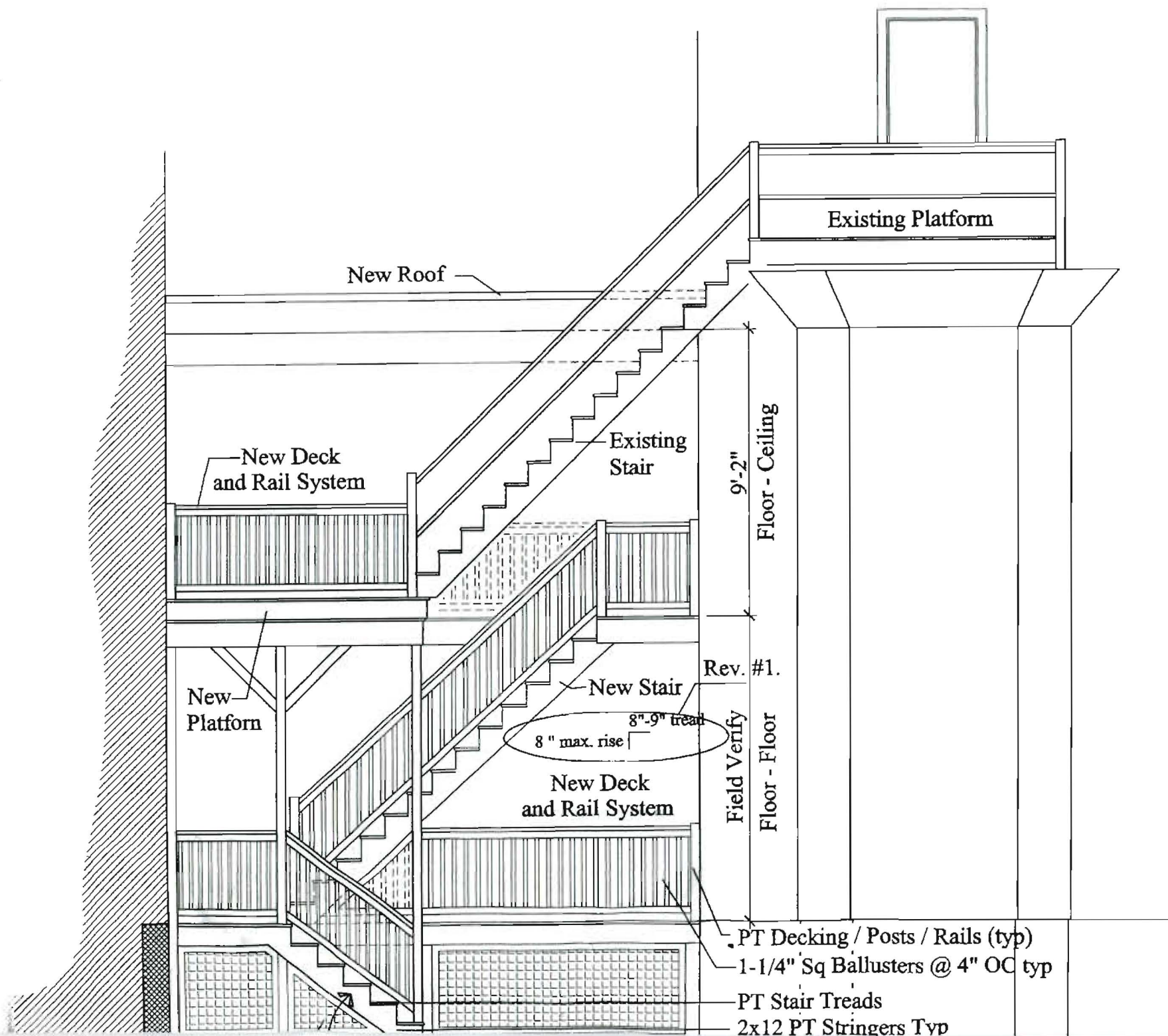
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf, Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

DAY ONE
545 Cumberland Avenue
Portland, Maine 04101

Project:	
Date: January 30, 2002	Scale: As Noted
Drawn By:	Checked By:
Revisions:	

STAIR / DECK
PLANS and DETAILS

A1



- PT Decking / Posts / Rails (typ)
- 1-1/4" Sq Ballusters @ 4" OC typ
- PT Stair Treads
- 2x12 PT Stringers Typ

DEPT. OF BUILDING INC.
 CITY OF PORTLAND
RECEIVED
 DEC 13 2002

ARCHETYPE, P.A.
 ARCHITECTS

48 Union Wharf, Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

To - Tammy or Seanie
 #02 12998
 DAY ONE

545 Cumberland Avenue
 Portland, Maine 04101



CITY OF PORTLAND, MAINE

Department of Building Inspections

Nov. 19 2022

Received from Parker Company

Location of Work 545 Cumberland Ave

Cost of Construction \$ _____

Permit Fee \$ 109.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 048 E 030

Check #: 1688 Total Collected \$ 109.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Dray