

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

Permit Number: 061358

PERMIT

This is to certify that RANDOM ORBIT, LLC/Sacramento River Remodeling
has permission to Create 2 bedrooms w/ storage areas - in u
AT 83 SHERMAN ST C 048 D013001

PERMIT ISSUED
OCT 12 2006

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Carr
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
10/12/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1358	Issue Date:	CBL: 048 D013001
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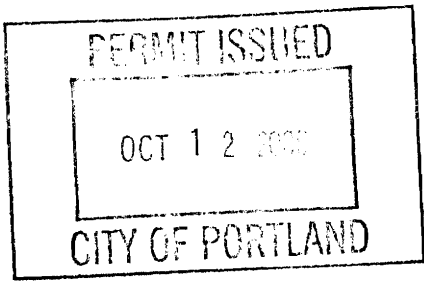
Location of Construction: 83 SHERMAN ST	Owner Name: RANDOM ORBIT, LLC	Owner Address: 10 MERRILL ST	Phone:
Business Name:	Contractor Name: Saco River Remodeling	Contractor Address: 583 River Rd Buxton	Phone 2078370236
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-6

Past Use: eight residential condominiums with artist home occupations <i>use under #06-0684</i>	Proposed Use: eight residential condominiums - create 2 bedroom w/ storage areas in unit #5	Permit Fee: \$130.00	Cost of Work: \$11,000.00	CEO District: 2
Proposed Project Description: Create 2 bedrooms w/ storage areas - in unit #5		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBC 2003</i>	
		Signature: <i>Carey Cross</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 09/12/2006	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/14/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1327	Date Applied For: 09/08/2006	CBL: 045 A011003
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Location of Construction: 137 SPRING ST	Owner Name: YELLOW PINE LLC	Owner Address: 125 NOTTINGHAM RD	Phone:
Business Name:	Contractor Name: Larry Littlefield	Contractor Address: 47 Charlonate Drive Gray	Phone (207) 632-3535
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 7 unit condo/ unit #3 remove 2 existing bathroom walls build one new wall for larger bathroom	Proposed Project Description: unit #3 remove 2 existing bathroom walls build one new wall for larger bathroom
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/14/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a seven family condominium dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

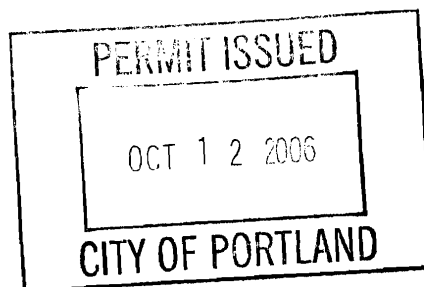
Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/12/2006

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved **Reviewer:** Cptn Greg Cass **Approval Date:** 09/19/2006

Note: **Ok to Issue:**

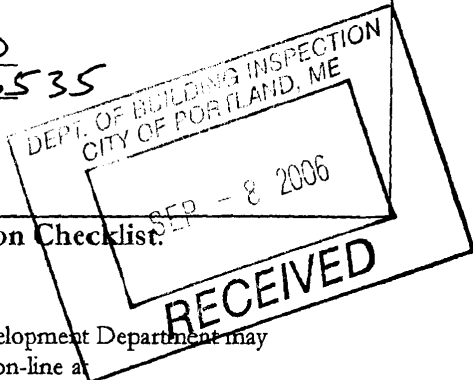




General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>137 SPRING ST., PORTLAND ME.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>45 A 011003</u>	Owner: <u>YELLOW PINE LLC</u>	Telephone: <u>207-632-3535</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>LARRY LITTLEFIELD</u> <u>47 CHARLOMTE DR.</u> <u>GRAY, ME. 04039</u>	Cost Of Work: \$ <u>4,000.-</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: _____ If vacant, what was the previous use? <u>LIVING SPACE</u> Proposed Specific use: _____		
Project description: <u>REMOVE TWO EXISTING BATHROOM WALLS</u> <u>BUILD ONE NEW WALL 76" APPROX. LENGTH</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>LARRY LITTLEFIELD</u> Mailing address: _____ Phone: <u>207-632-3535</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

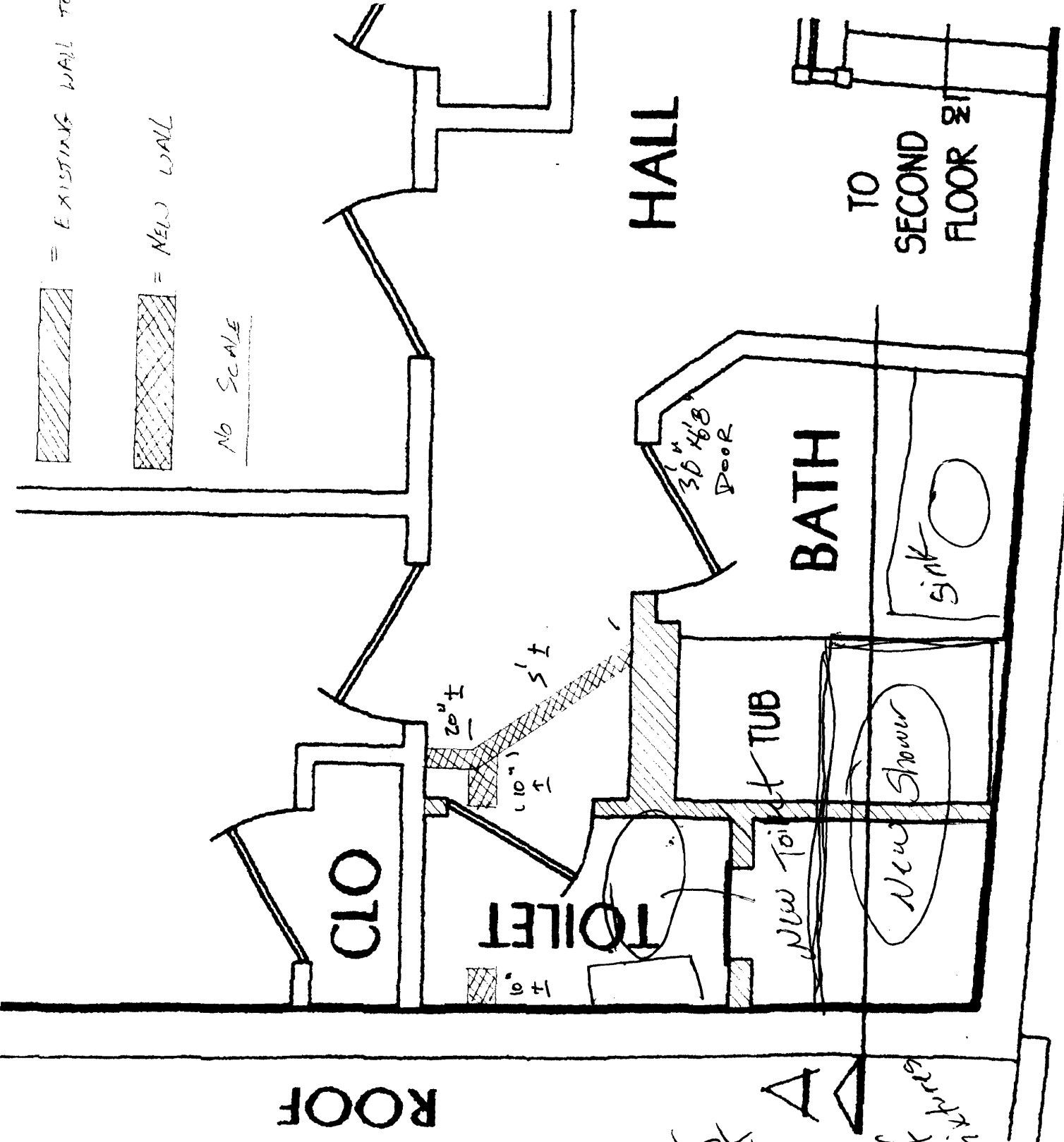
Signature of applicant: <u>[Signature]</u>	Date: <u>9/8/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

= EXISTING WALL TO BE REMOVE

= NEW WALL

NO SCALE



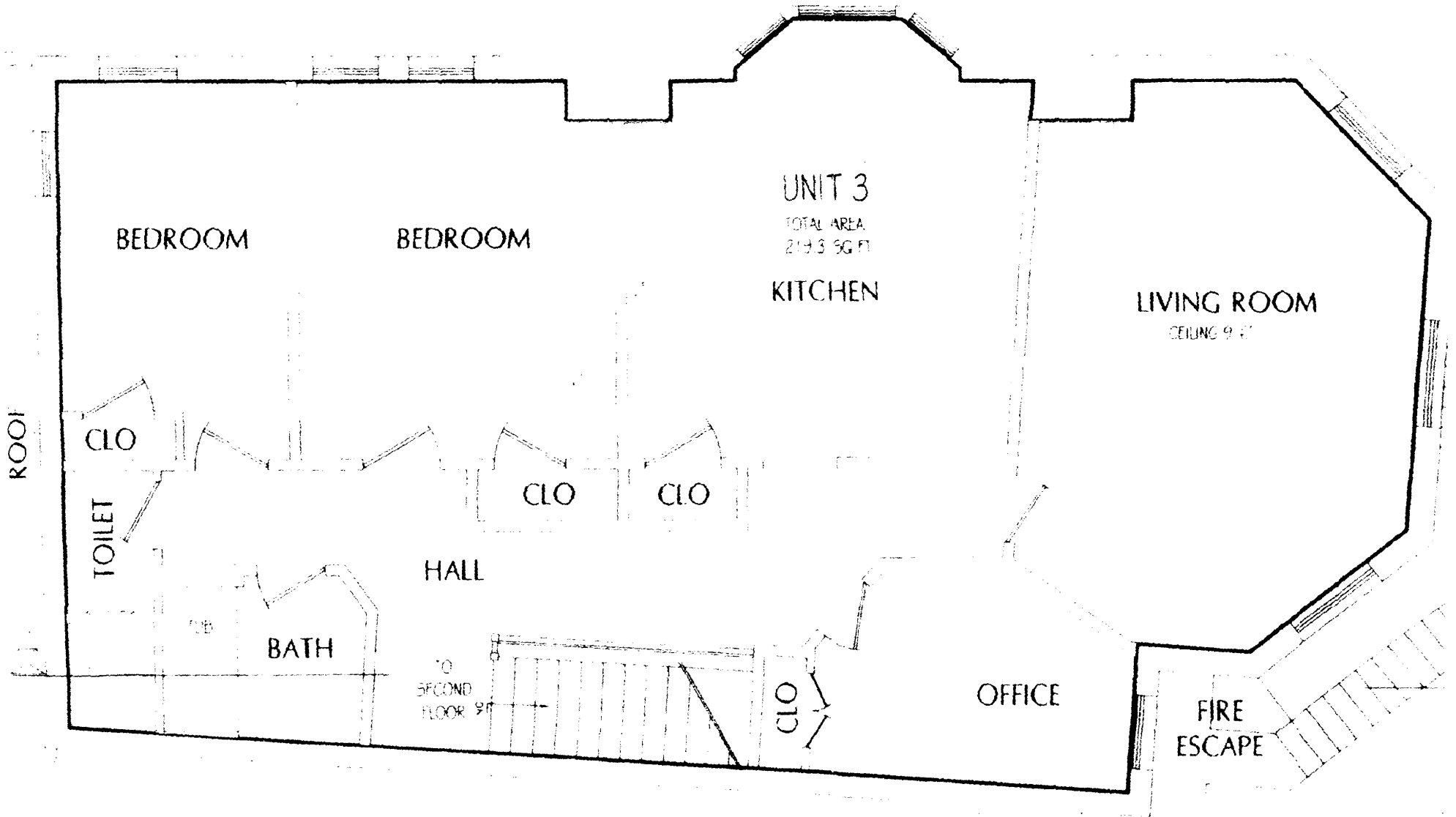
ROOF

HALL

TO SECOND FLOOR

All Ceiling
Ceiling
Walls
10'

30" x 30" floor
all fixtures



LEGEND
 CLO = Closet
 LCB = Limited Common Element
 CE = Common Element
 — = Unit Delimiter Line

Sheet 3 UNIT 3 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

4/1

L.W. Littlefield Remodeling

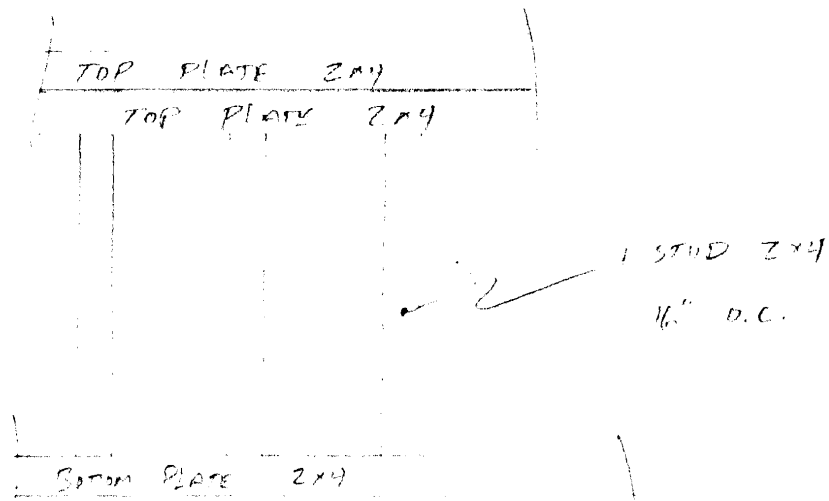
47 Charlonate Dr.

Gray, ME. 04039

632-3535

657-5570 (fax)

1.) Typical wall construction :



2.) No load bearing walls or structural elements (beams etc.) will be involved in this project.

3. Existing door to toilet area is be removed and will not be relocated.

SACO RIVER REMODELING, INC.
583 RIVER RD.
BUXTON, ME 04093

Jim Shula 929-4006
Rick Cote 929-5605
Toll Free 1-800-450-4006

October 4, 2006

Tammy Munson
Code Enforcement Officer, Plan Reviewer
389 Congress Street
Portland, ME 04101

48-D-13

Dear Tammy,

The following drawings are being faxed at this time:

- revised door schedule/floor plan showing a 3' wide cased opening in place of the partition door leading into the south room.*
- framing detail drawings of the floor joist to wall support and of the stairway stringers and surrounding walls*
- an elevation drawing showing ceiling heights in the two rooms being created*

If you have any more questions, please do not hesitate to call.

Thank you,

Jim Shula

Saco River Remodeling Inc.

cell 837-0236

JOHN LABAIE
83 SHERMAN ST UNIT 5

PORTLAND, ME

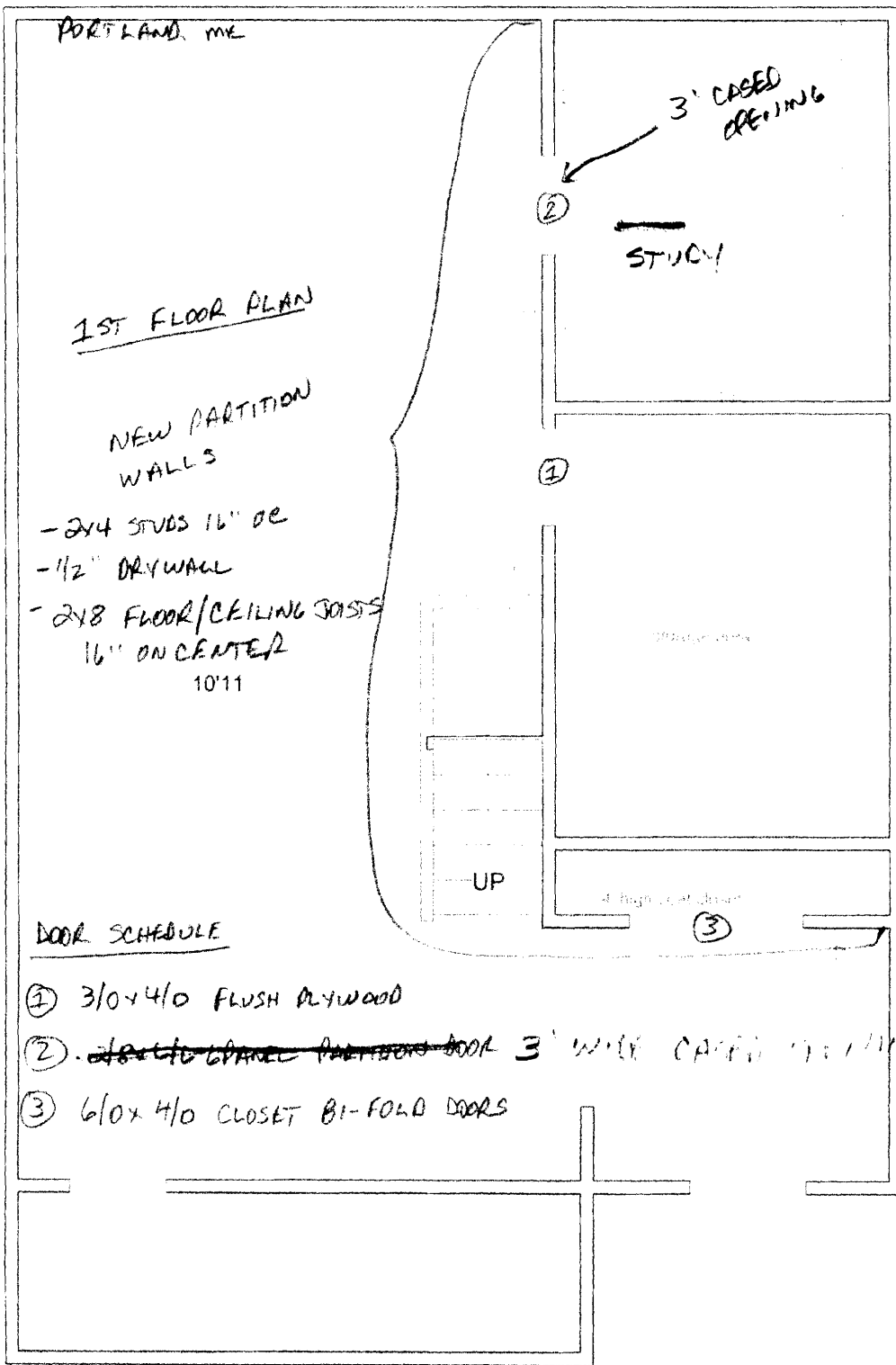
1ST FLOOR PLAN

NEW PARTITION
WALLS

- 2x4 STUDS 16" OC
- 1/2" DRYWALL
- 2x8 FLOOR/CEILING JOISTS
16" ON CENTER
10'11"

DOOR SCHEDULE

- ① 3/4 x 4/0 FLUSH PLYWOOD
- ② ~~4/8 x 4/0 6 PANEL PARTITION DOOR~~ 3' WIDE CASED DOOR
- ③ 6/0 x 4/0 CLOSET BI-FOLD DOORS



349
30'2

10'2

11'2

349

2'

7'

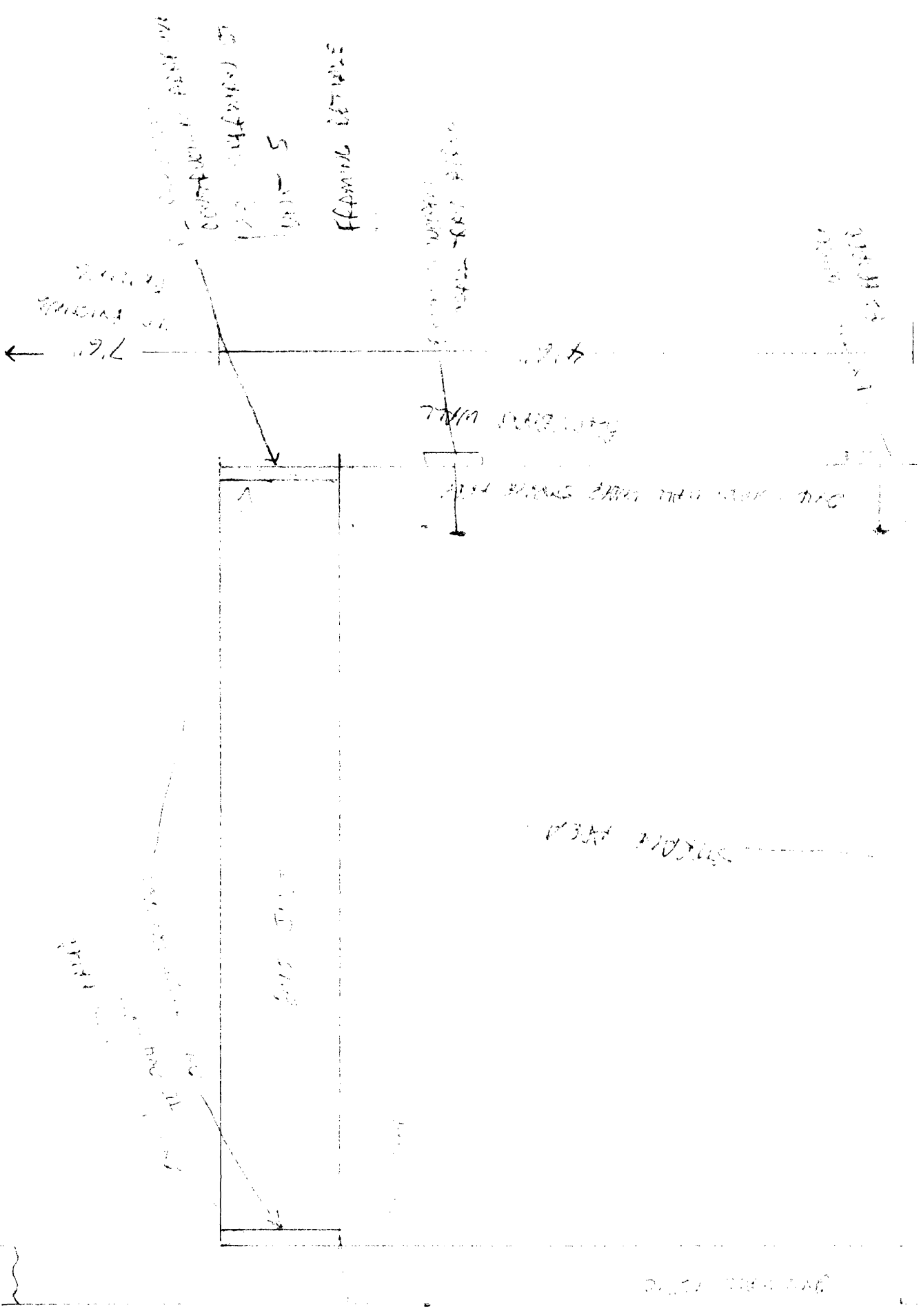
4'7

4'5

4' 4'

15'3

8'



20 SEASONS

UNIT 5

STAIR FRAMING NOTES

1/2" GRADE (1/2" SLOPE)

3-1/2" STRUERS



1/2"

1/2"

HE

1/2"

2x2 TIPS

1/2"

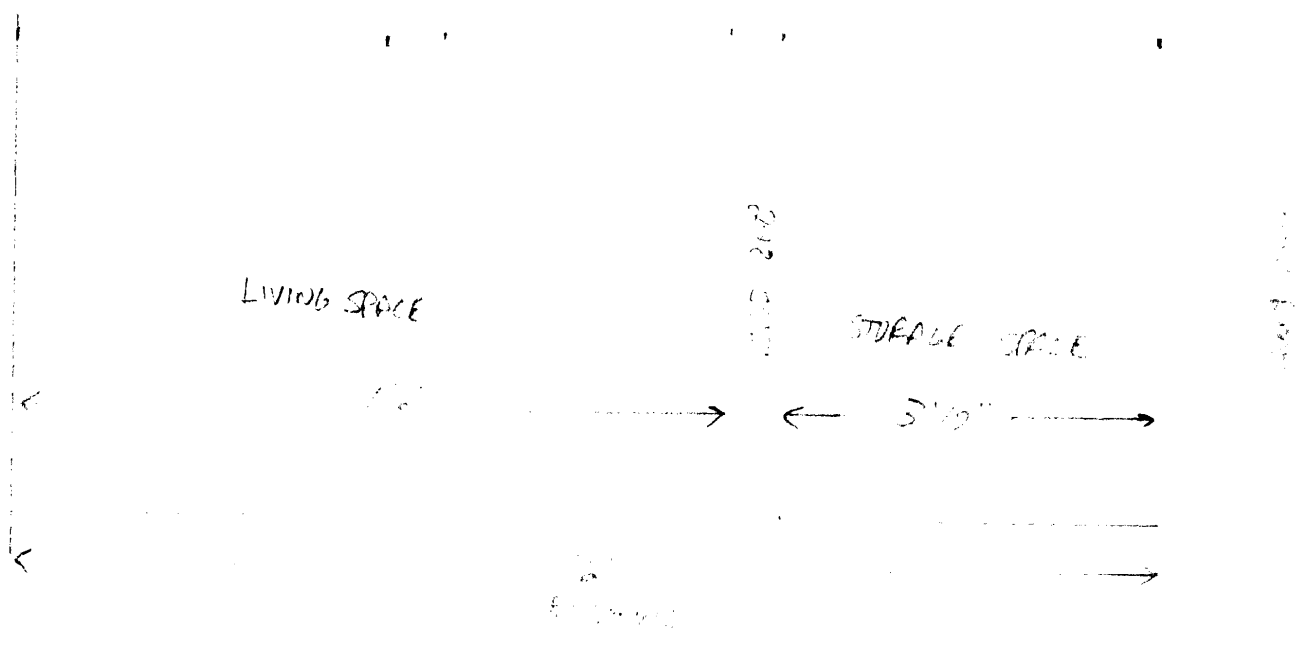
1/2"

1/2"

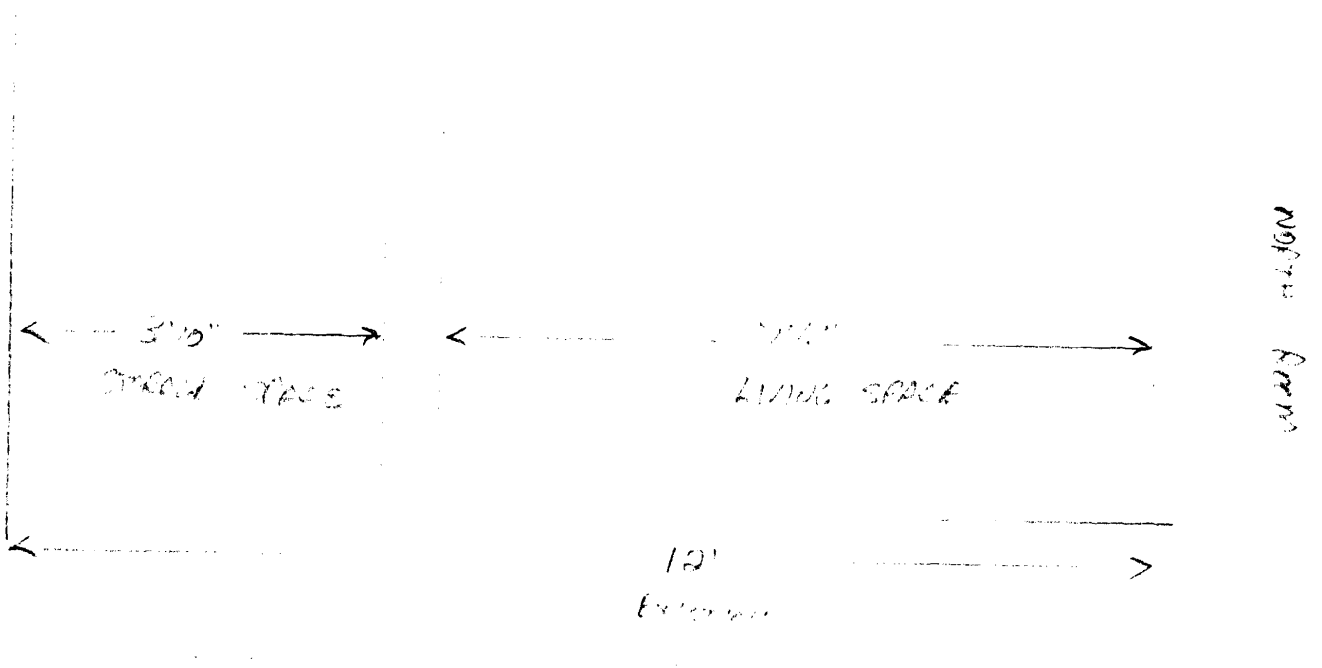
1/2"

1/2"

1/2"



12' Extension
 12' Extension



12' Extension

JOHN LABAIE
83 SHERMAN ST UNIT 5

PORTLAND, ME

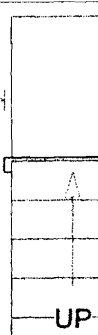
1ST FLOOR PLAN

NEW PARTITION
WALLS

- 2x4 STUDS 16" OC
- 1/2" DRYWALL
- 2x8 FLOOR/CEILING JOISTS
16" ON CENTER

DOOR SCHEDULE

- ① 3/0x4/0 FLUSH PLYWOOD
- ② ~~2/0x4/0 FLUSH PLYWOOD~~ 3' WIDE CASED OPENING
- ③ 6/0x4/0 CLOSET BI-FOLD DOORS



4' high coat closet

storage area

STUDY

3' CASED OPENING

30'2"

34'9"

10'11"

23'3"

14'1"

9'2"

10'2"

11'2"

2'

7'

4'5"

34'9"

4'7"

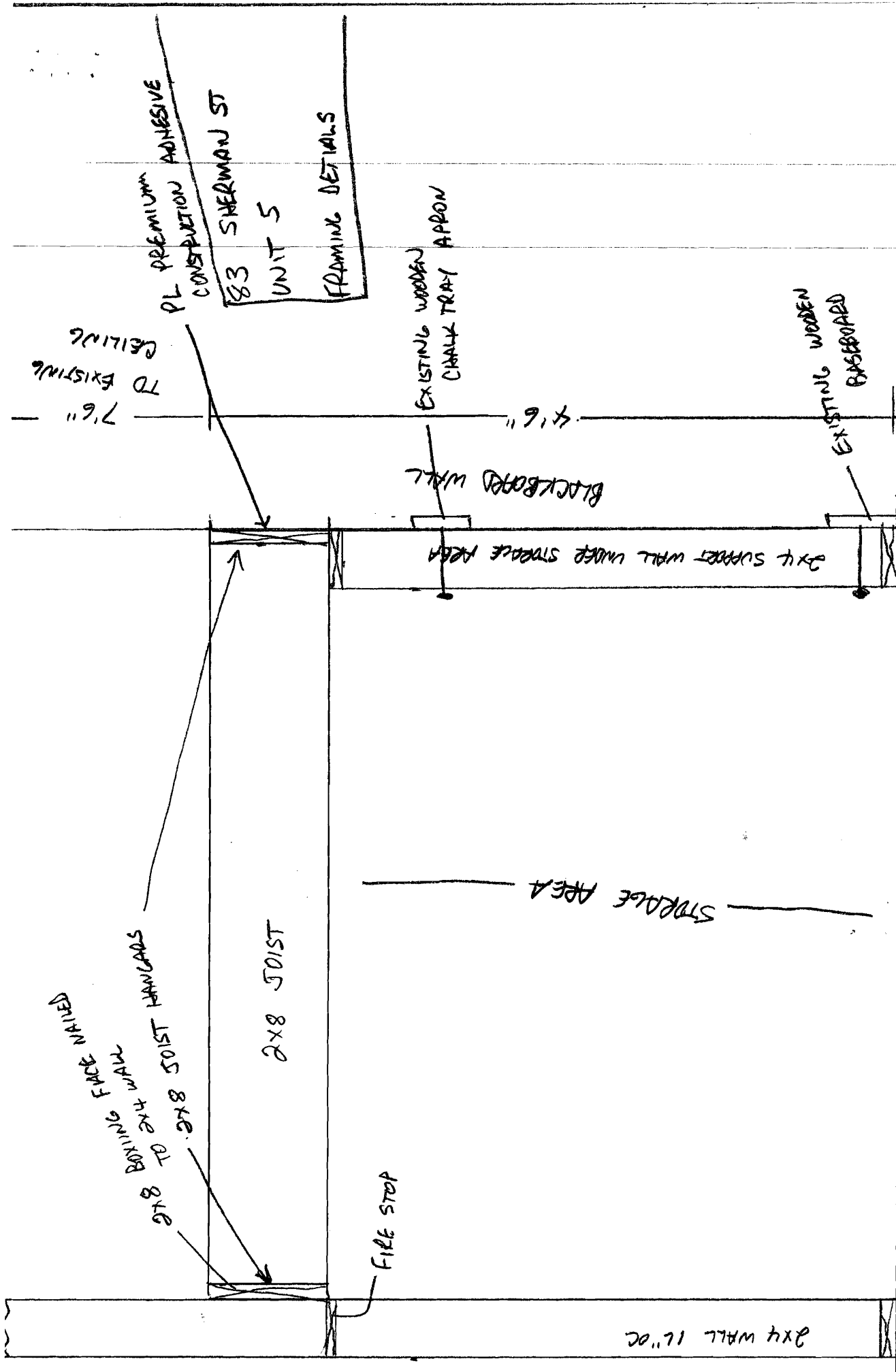
15'3"

8'

4'

4'

23'3"



PL PREMIUM ADHESIVE
CONSTRUCTION

83 SHERMAN ST
UNIT 5
FRAMING DETAILS

7'6" TO EXISTING
CEILING

EXISTING WOODEN
CHALK TRAY APRON

EXISTING WOODEN
BASEBOARD

BLACKBOARD WALL

2x4 SUPPORT WALL UNDER STORAGE AREA

STORAGE AREA

2x8 JOIST

FIRE STOP

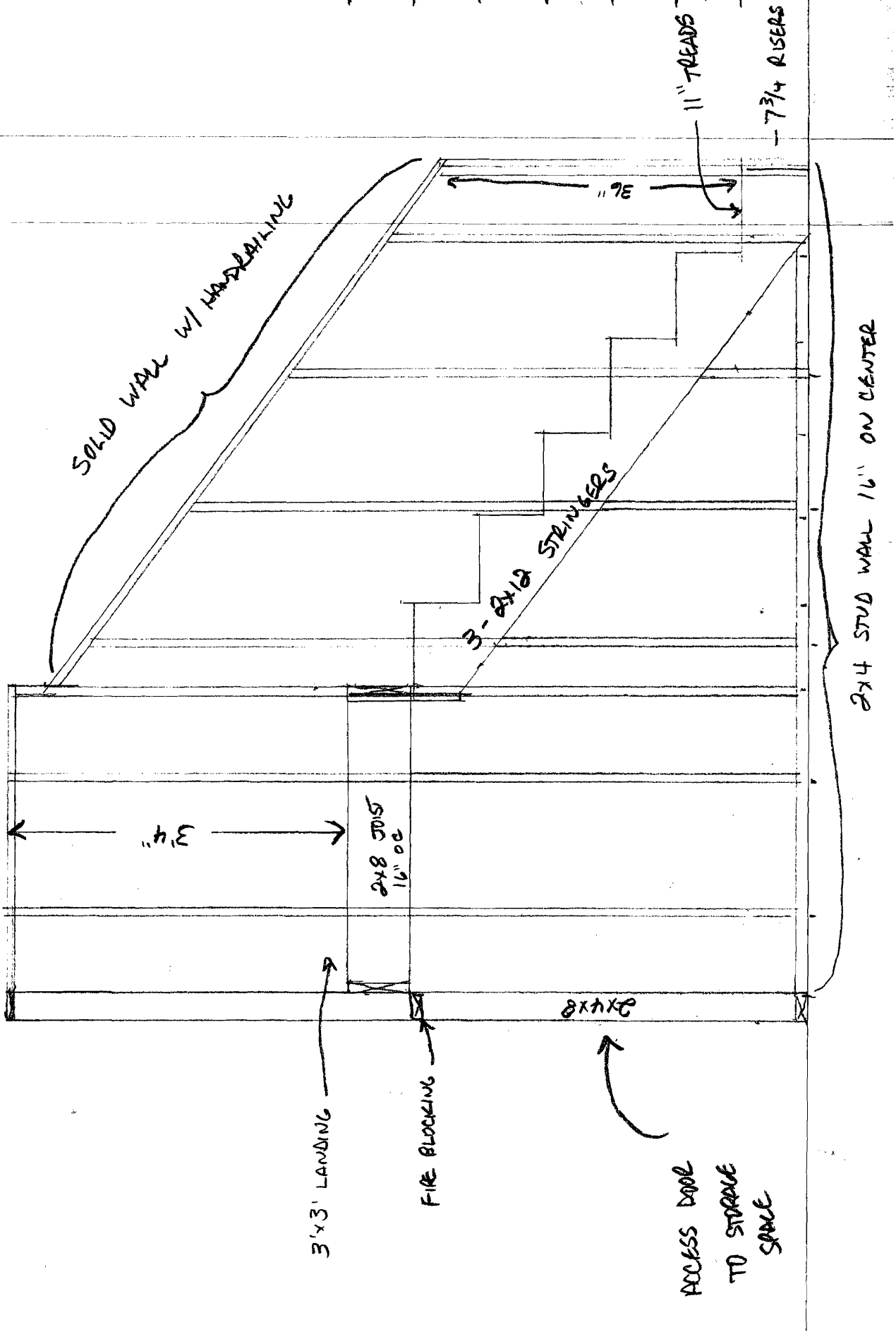
2x4 WALL 1 1/2" OC

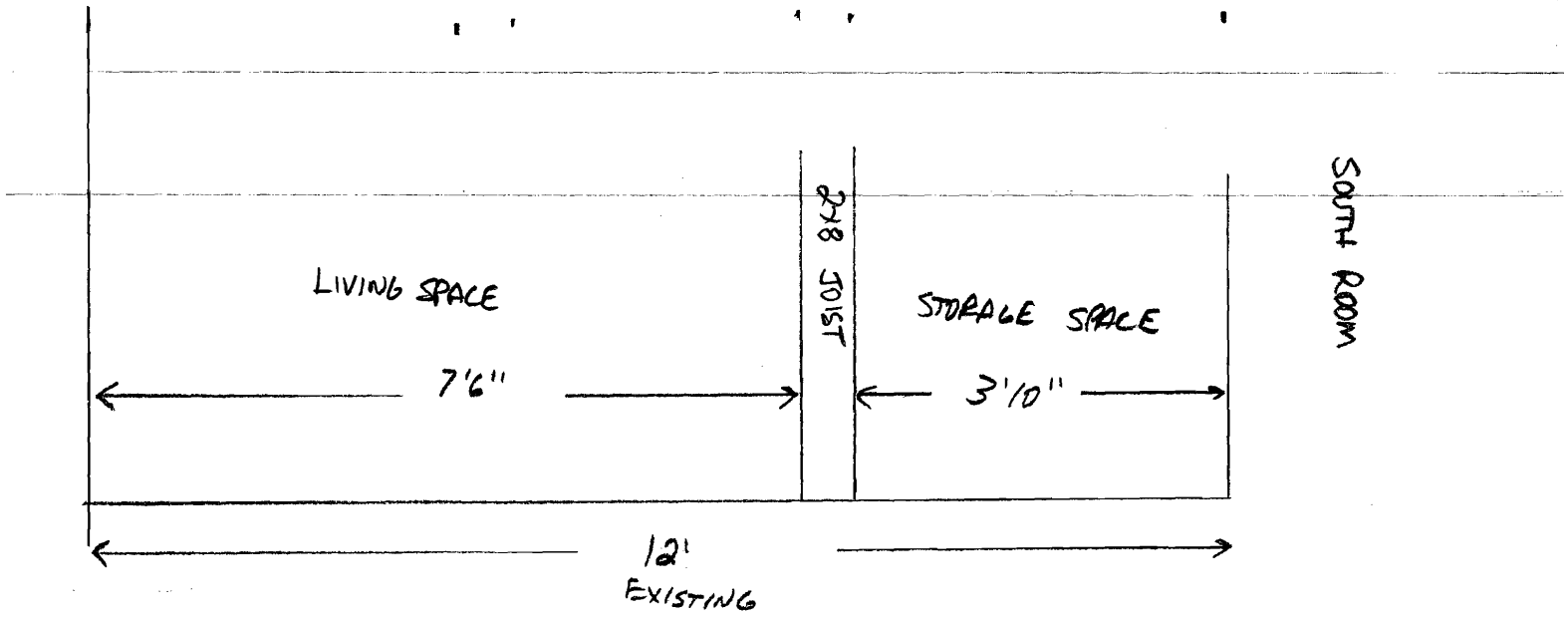
2x8 BOUWING FLOOR NAILER
TO 2x4 WALL
2x8 JOIST HANGARS
AT 2x8

83 SHERMAN ST

UNIT 5

STAIR FRAMING DETAILS





83 SHEKMAN ST
UNIT 5
CEILING HEIGHTS

