

**BASEMENT PLAN**  
SCALE 1/4" = 1'-0"

4391 GROSS SQ FT THIS FLOOR

5/8" GYP BD  
2X4 @ 16" O.C.


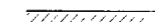

① TYP STUD WALL  
N.T.S.

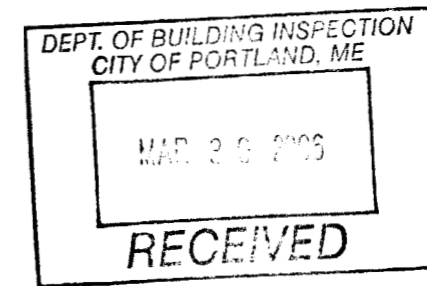
5/8" GYP BD  
2X4 @ 16" O.C.

② TYP WALL @ MASONRY  
N.T.S.

MASONRY WALL

LEGESD

-  EXISTING WALL
-  SEW WALL
-  DEMO WALL



OWNER:  
**PETER BASS**  
70 MERRILL ST  
PORTLAND, ME 04101

**ARCHETYPE, P.A.  
ARCHITECTS**  
48 Union Wharf, Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

**SACRED HEART**  
SHERMAN STREET  
PORTLAND, ME

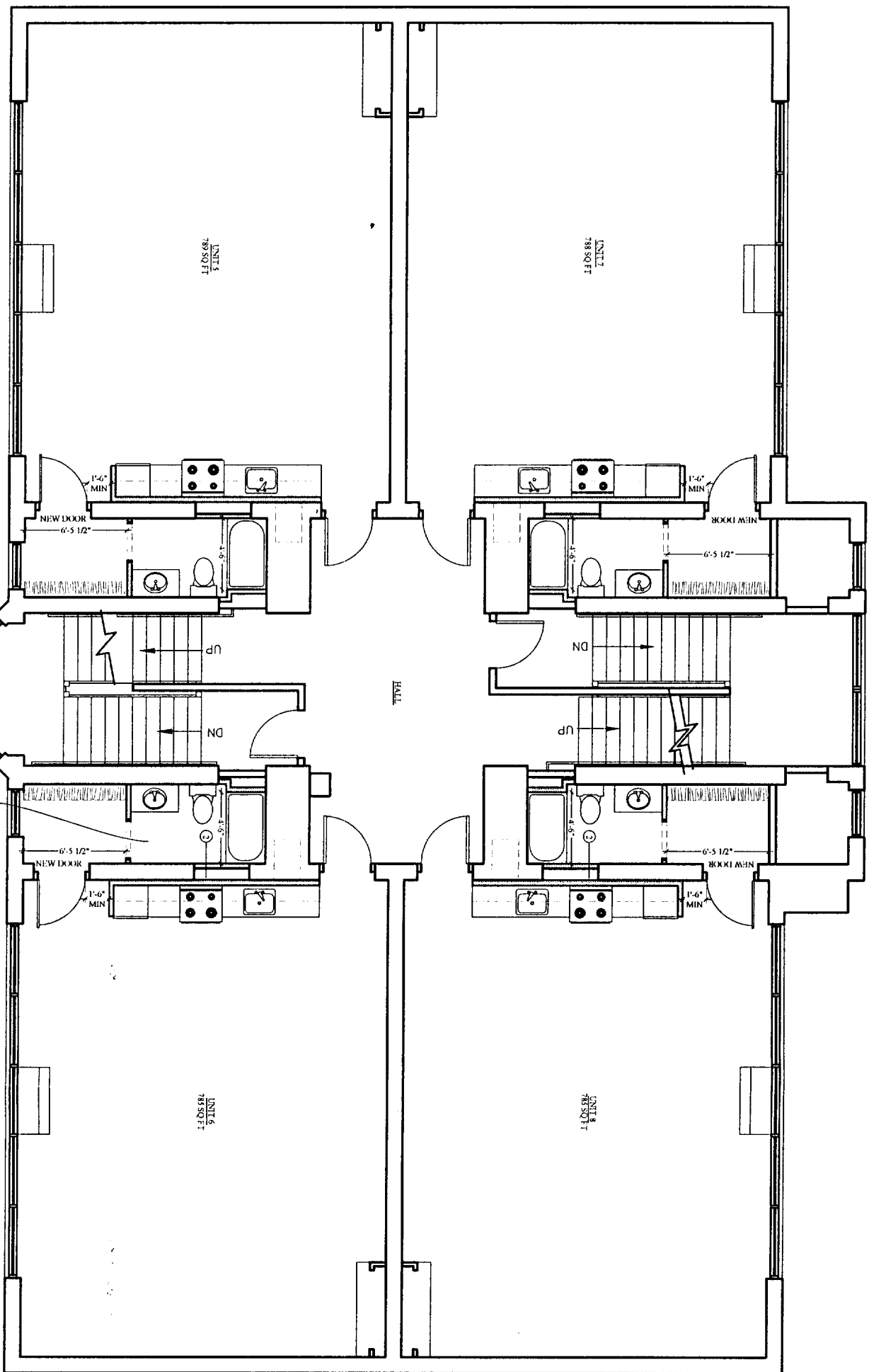
Project:

Scale: 1/4" = 1'-0"

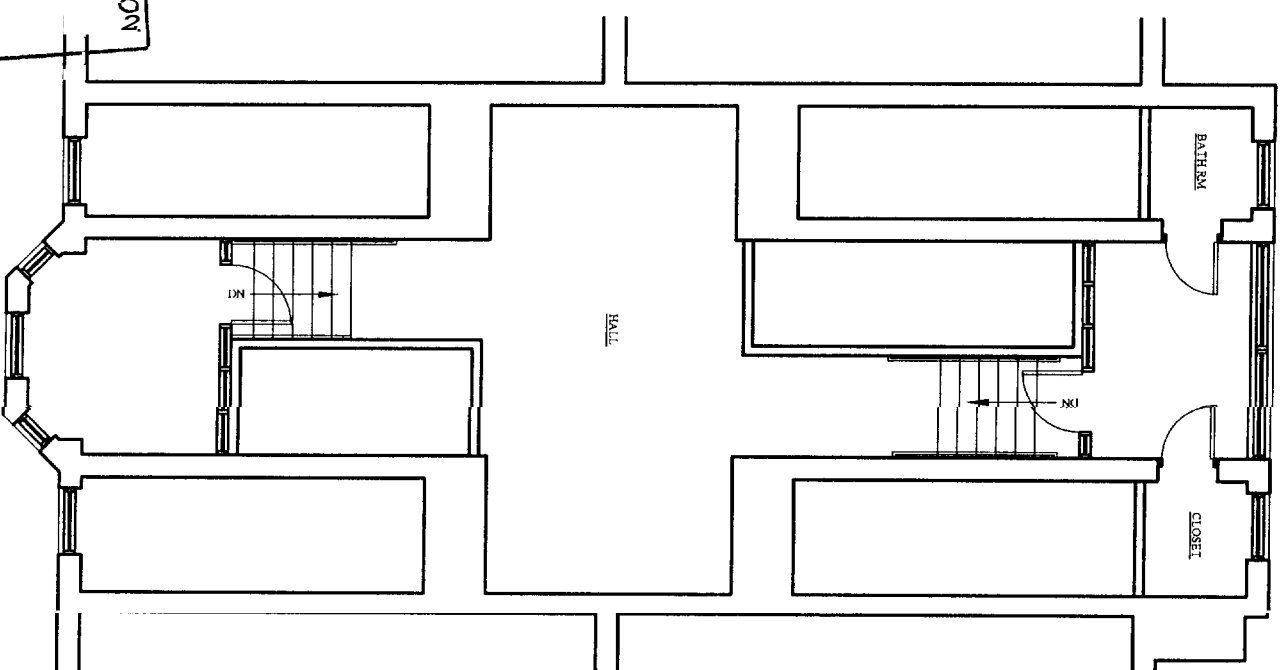
Date: 08 DEC 2005  
Revisions: 16 FEB 2006

PROPOSED  
BASEMENT PLAN

A-1.0

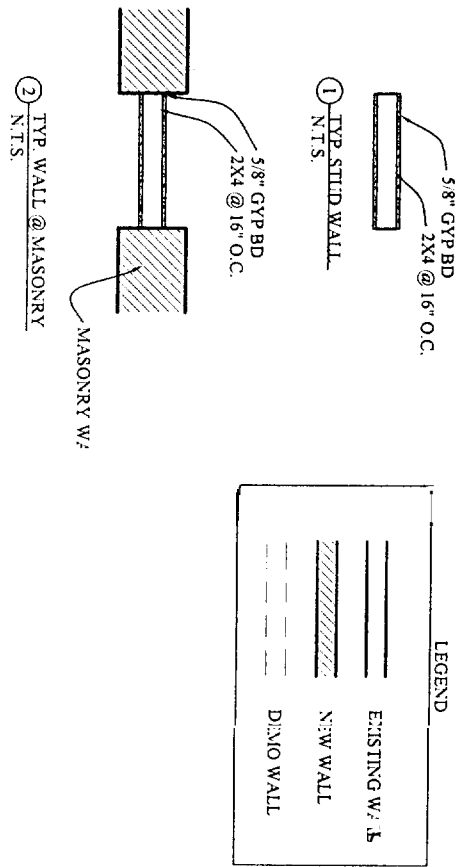


2ND FLOOR PLAN  
SCALE 1/4"=1'-0"  
4391 GROSS SQ. FT. THIS FLOOR

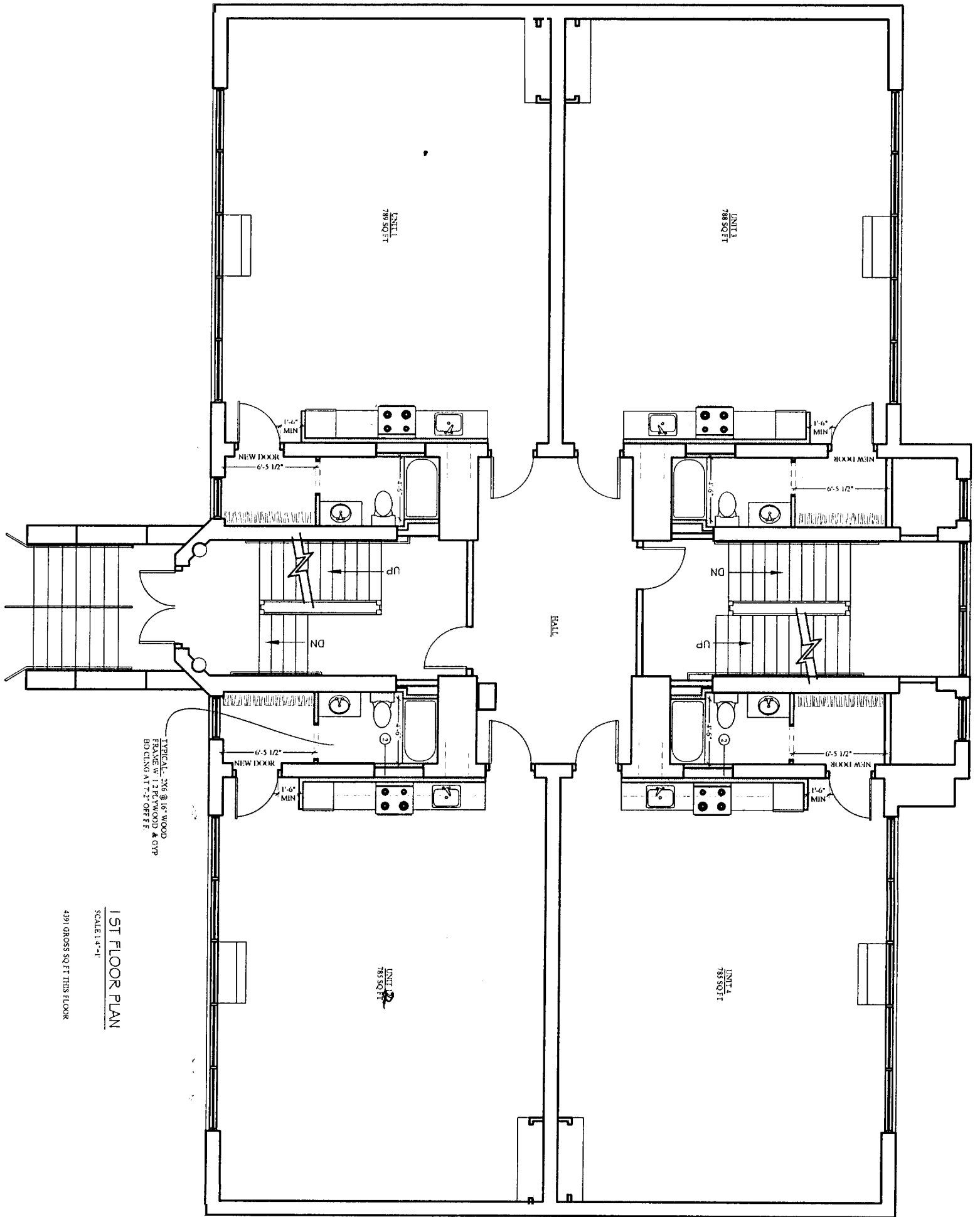


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CITY OF PORTLAND, ME  
NOV 30 2006  
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3RD FLOOR  
SCALE 1/4"=1'-0"

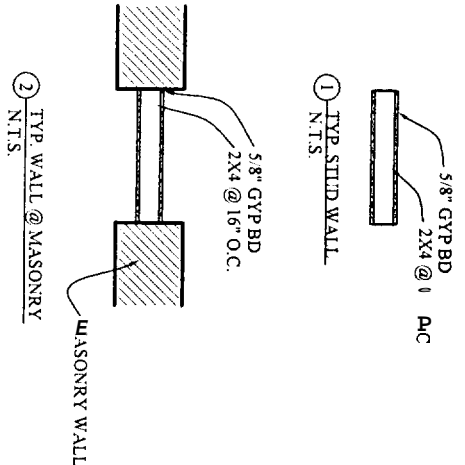


<b>A-1.2</b>	PROPOSED	Date 08 DEC, 2005	Scale 1/4" = 1'-0"	Project <b>SACRED HEART</b> SHERMAN STREET PORTLAND, ME	<b>ARCHETYPE, P.A. ARCHITECTS</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER: <b>PETER BASS</b> 70 MERRILL ST PORTLAND, ME 04101
	2ND & 3RD FLOOR PLAN	Revisions 16 FEB, 2006				



TYPICAL 2x6 @ 16\"/>

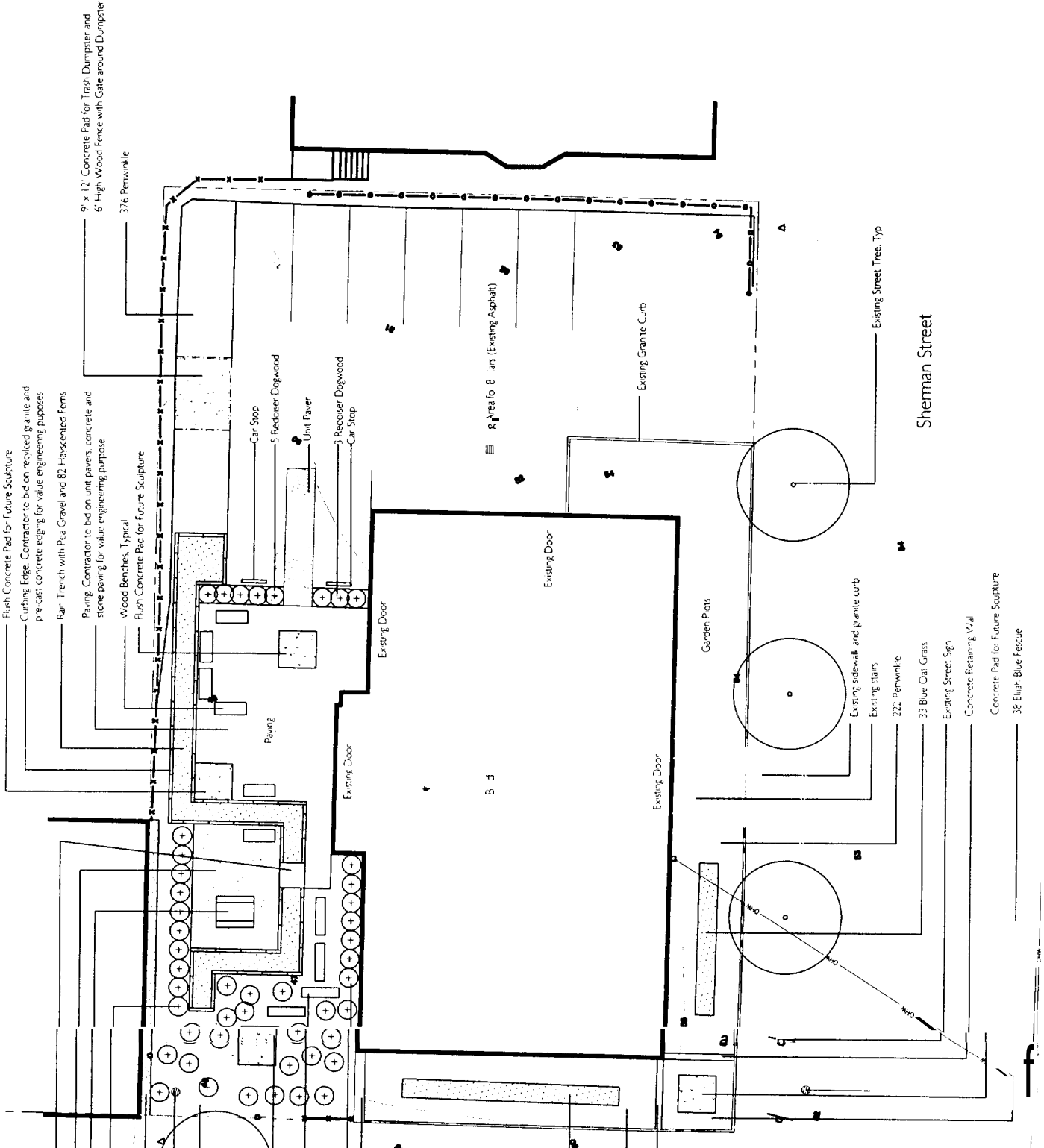
1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
4391 GROSS SQ. FT. THIS FLOOR



2 TYP. WALL @ MASONRY N.T.S.

<b>A-1.1</b>	<b>PROPOSED</b>	Date 08 DEC, 2005	Scale 1/4" = 1'-0"	Project  <b>SACRED HEART</b> SHERMAN STREET PORTLAND, ME	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER:
	<b>1ST FLOOR PLAN</b>	Revisions 16 FEB, 2006				<b>PETER BASS</b> 70 MERRILL ST PORTLAND, ME 04101

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 2005  
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 CITY OF PORTLAND, ME



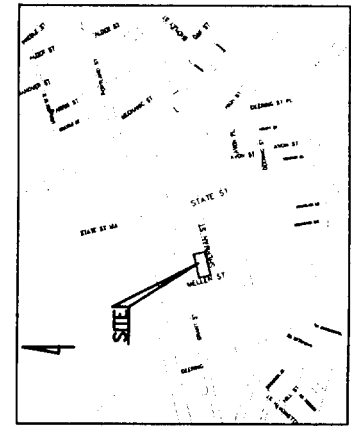
PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENT
6	Fothergilla glandulifera	Fothergilla	24-30"	cont.	Full Growth
7	Ilex verticillata	Winterberry	24-30"	cont.	Full Growth
8	Ilex Virginia Little Henry	Little Henry Virginia Sweetberry	24-30"	cont.	Full Growth
9	Clethra alifanola Summerweet	Hambleton Summerweet	24-30"	cont.	Full Growth
10	Vaccinium Cornucopium	Huckleberry	4-5'	B&B	Full Growth
8	Cornus sericea	Redosier Dogwood	4-5'	B&B	Full Growth
888	Vicia sp.	Perennial	4-5'	plugs	Full Growth
82	Panicum pruriens	Winged Fern	24-30"	cont.	Full Growth
50	Festuca glauca Elijah Blue	Elijah Blue Fescue	1 gal	cont.	Full Growth
74	Helictotrichon sempervirens	Blue Oats Grass	1 gal	cont.	Full Growth
		Northeast Wetland Grass/Forb Mix			

NORTHEAST WETLAND GRASS/FORB MIX by  
 SOUTHERN TIER CONSULTING AND NURSERY WETLAND PLANT CATALOG  
 2701-A ROUTE 309  
 WEST CLARKSVILLE, NY 14186  
 TEL: (800) 966-9120  
 FAX: (800) 966-9122  
 ORDERS: (800) 846-7614

**General Plant Notes**

- All topographic and existing base information provided by Owen Haskell, dated December 19, 2005.
- Limit of work shall be at property line, unless otherwise noted.
- No grading, construction or materials storage shall occur within tree protection areas or within drip-line of existing trees.
- All areas not requiring grading shall be left undisturbed. Contractor shall keep out of these areas and preserve existing plantings.
- Underground and above ground utility locations are based upon best available evidence and are not field verified. Locating and protecting any above ground or underground utilities is the sole responsibility of the contractor. Utility conflicts shall be reported immediately to the landscape architect.
- Utility information shown is approximate only. Prior to any construction appropriate utility companies shall be contacted and Dig-Safe Center shall be called at 1-800-DIG-SAFE at least 72 hours (3 working days) in advance.
- Contractor shall begin maintenance immediately after planting and shall continue until final acceptance. Contractor shall be responsible for all means and methods of watering and maintenance.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the landscape architect prior to ordering plant material.
- All materials shall conform to the guidelines established by the American Association of Nurserymen.
- All plants shall bear the same relationship to finish grade as the original grades before digging.
- The landscape contractor shall guarantee all plant materials for one(1) full year from date of substantial completion.
- All plant materials are subject to the approval of the landscape architect at the nursery and at the site.
- All areas of the site which have been disturbed and not otherwise delineated shall be reclaimed with a minimum depth of 6" of topsoil and seeded as specified.
- Landscape contractor is encouraged to provide the landscape architect with concerns and/or suggestions with regard to proposed plant material selection prior to placing a purchase order.
- Contractor shall obtain approval for proposed lawn seed mix prior to installation.
- No plant shall be put into the ground before rough grading has been finished and approved by the project landscape architect.
- All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at the time of planting.
- With container grown stock, the container shall be removed and the container ball shall be cut through the surface in two vertical locations.
- The location of trees, shrubs and bedlines shall be staked for approval by the landscape architect prior to installation. The contractor shall notify the landscape architect 48 hours prior to required site visit.
- All broad leaf evergreen plants shall be sprayed with an antidesiccant at the beginning of their first winter.
- All plants shall be installed as per details and the contract specifications. The landscape contractor shall refer to the contract specifications for additional requirements.
- All plants and stakes shall be set plumb unless otherwise specified.
- The landscape contractor shall provide lawn irrigation per the contract specifications.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered by the contractor as necessary to insure health until final acceptance.
- The landscape contractor shall refer to the plant list and planting specifications for seasonal requirements and other restrictions related to the time of planting.



Location Map  
 not to scale

Richardson & Associate  
 Landscape Architects  
 11 Middle Street  
 Saco, Maine 04072  
 tel 207.286.9291  
 fax 207.286.9650  
 email: r@a.richardsonassoc.com

REVISIONS

NO.	DATE	ISSUE

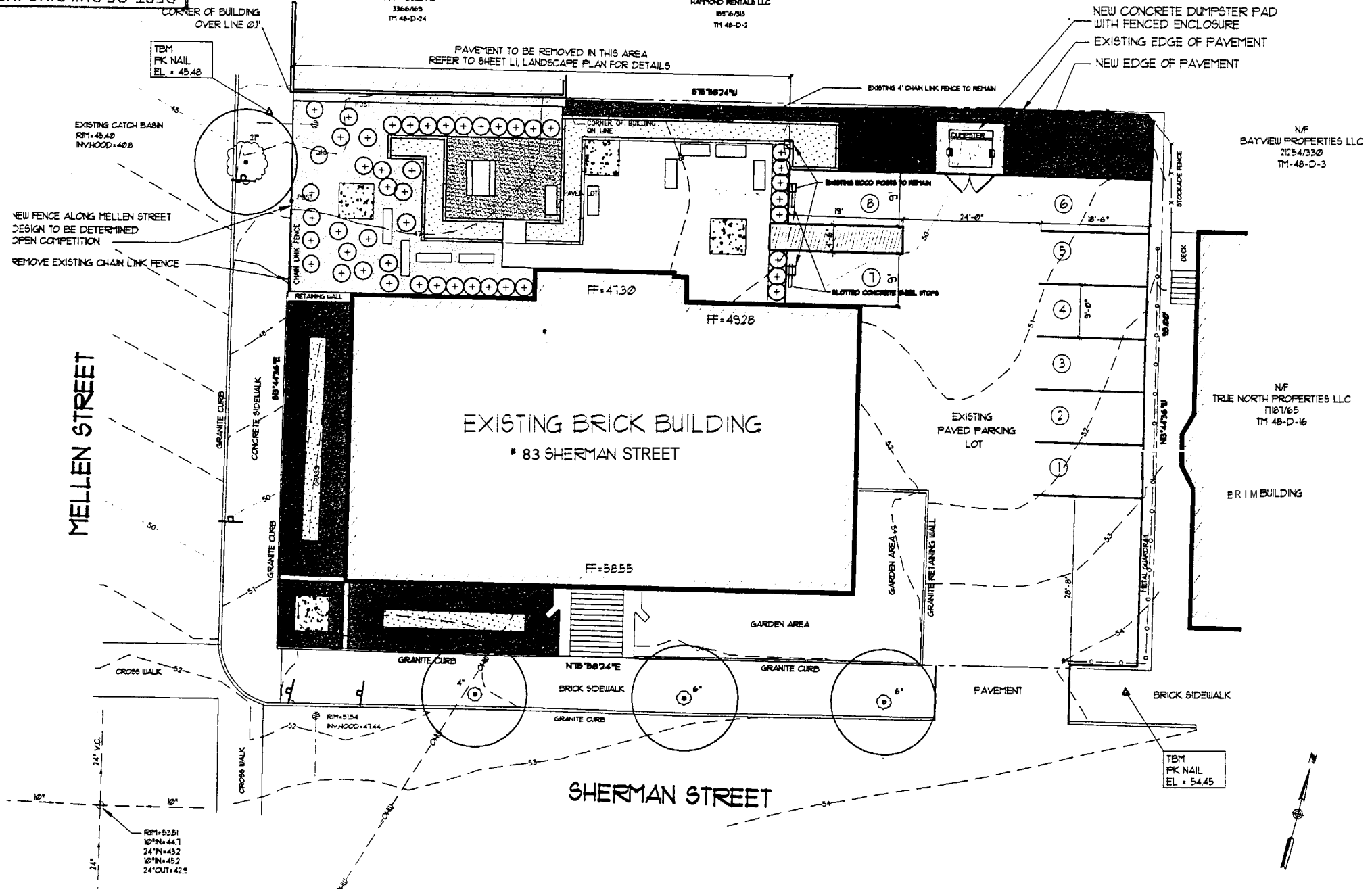
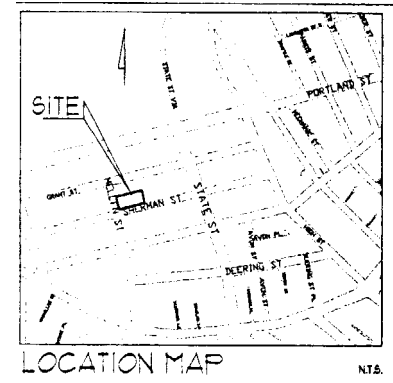
**Parkside Studios**  
 83 Sherman Street, Portland, Me  
 Random Orbit LLC.  
 70 Merrill Street, Portland, Me

**Landscape Plan**

DATE	J/25/06
DRAWN	KS
SCALE	1"=10'
FILE NAME	
SHEET	L-1
JOB NO.	
CHECKED	

of

RECEIVED  
MAR 30 2006  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME



**GENERAL NOTES**

- OWNER OF RECORD: CITY OF PORTLAND, MAINE CLIMBERLAND COUNTY REGISTRY OF DEEDS BOOK 14611 PAGE 8
- PROPERTY INFORMATION:
  - PARCEL IS SHOWN AS LOTS 13 AND 15, BLOCK D, ON THE CITY OF PORTLAND ASSESSORS MAP 48.
  - BEARINGS ARE BASED ON MONUMENTS FOUND AS SHOWN ON PLAN REFERENCE #.
  - PROJECT BENCH MARK IS 3' OFFSET MONUMENT AT THE NORTHEAST CORNER OF THE INTERSECTION OF STATE STREET AND GRANT STREET, ELEVATION 3364 CITY DATUM.
  - LOT IS LOCATED IN THE R6, RESIDENTIAL ZONE
- BUILDING DATA:
  - BUILDING WILL CONSIST OF 8 RESIDENTIAL CONDOMINIUMS WITH ARTIST HOME OCCUPATION.
  - 4 UNITS FIRST FLOOR
  - 4 UNITS SECOND FLOOR
  - 8 ARTIST STUDIOS (1/CONDO UNIT) BASEMENT
  - BUILDING AREA (square feet):
 

Basement	4391
First Floor	4391
Unfinished Landings	526
TOTAL	9308
- SITE DATA: LOT AREA: 14252 SF (0.33 AC.) PROPOSED PARKING: 8 SPACES (1 UNIT)
- UTILITIES WORKS TO BE DONE IN CONFORMANCE WITH CITY OF PORTLAND OR
- PATCH AND REPAIR ALL DAMAGE TO SITE PER CITY OF PORTLAND SPEC
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL THE UTILITIES LOCATE THEIR SERVICES PRIOR TO THE START OF CONSTRUCTION.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 M.S.R.A. 3360-A.
  - CONSTRUCTION WILL NOT IMPEDE PEDESTRIAN ACCESS ALONG SHERMAN STREET AND MELLEN STREET.
  - ALL WORK NOTED ON THIS SHEET NEEDS TO BE CO-ORDINATED WITH PUBLIC WORKS AND NOT IMPEDE COMMUTER TRAFFIC
  - LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS ONLY AFTER APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY AND THE CITY OF PORTLAND.
  - CONTRACTOR TO REMOVE AND NOT EXISTING CAT G BASIN IN THE NORTHEAST
  - CONTRACTOR TO INSTALL CATCH BASIN SEDIMENT FILTER IN EXISTING CATCH BASIN PRIOR TO THE START OF CONSTRUCTION (SEE DETAIL SHEET SD7 FOR INSTALLATION DETAILS. CONTRACTOR WILL MONITOR THE FILTER FOR SEDIMENT WILD-UP AND REMOVE ANY SEDIMENT.
  - WHEN DEWATERING OPEN EXCAVATIONS, THE CONTRACTOR SHALL DISCHARGE INTO A SETTLING BASIN OR A MANUFACTURED DEVICE SUCH AS A DIRTBAG.

**UTILITY NOTES:**

- INTERIOR PLUMBING WILL BE RECONFIGURED ACCORDING TO THE ARCHITECTURAL DRAWINGS. ALL NEW PLUMBING WILL CONNECT TO THE EXISTING SEWER LINE IN TO THE BUILDING THAT CONNECTS TO THE 24" VC LINE IN MELLEN STREET.
- THE EXISTING 2" WATER LINE TO THE BUILDING WILL BE UTILIZED FOR DOMESTIC WATER SUPPLY.
- THE EXISTING OVER-HEAD POWER LINE WILL BE UTILIZED.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE

**LANDSCAPING NOTE**

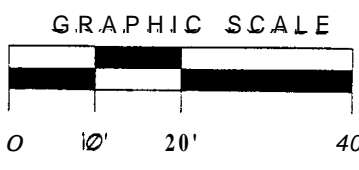
CONTRACTOR TO REFER TO LANDSCAPE PLAN SHEET L1 FOR DETAILED LANDSCAPE PLANTING LAYOUT AND PLANTINGS AT REAR OF BUILDING AND ALONG MELLEN STREET AND SHERMAN STREET. INSTALLATION DETAILS ARE SHOWN ON SHEET L2.

**PLAN REFERENCE**

"BOUNDARY AND TOPOGRAPHIC SURVEY ON MELLEN ST. 4 SHERMAN ST. PORTLAND, MAINE, MADE FOR RANDOM ORBIT, INC., 10 MERRILL STREET, PORTLAND, MAINE", BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, MAINE JOB NUMBER: 2005-303P, DATED DECEMBER 13, 2005.

**LEGEND:**

●	IRON PIPE OR ROD FOUND
○	WATER VALVE
○	UTILITY POLE
○	MANHOLE
○	CATCH BASIN
○	DECIDUOUS TREE
—	FENCE
—	CURB
— W —	WATER LINE
— SS —	SANITARY SEWER
— G —	GAS LINE
— IIF —	UNDERGROUND ELECTRICAL LINE
— 120 —	EXISTING 120V CABLE
③	UNIT PARKING SPACE



THE PLANNING BOARD OF THE CITY OF PORTLAND, MAINE, HEREBY CERTIFY OUR APPROVAL OF THIS PLAN.

DATE: \_\_\_\_\_ GATE: \_\_\_\_\_

ENGINEERING: **STEPHEN W. TIBBETTS, P.E.**  
 Consulting Civil Engineer  
 15 Oak Ridge Rd., Brunswick, Maine 04011  
 (207) 735-2667 Fax (207) 735-7667

**RANDOM ORBIT, LLC**  
 10 MERRILL STREET, PORTLAND, MAINE  
 (207) 737-6005

**PARKSIDE STUDIOS**  
 83 SHERMAN STREET, PORTLAND, MAINE

JANUARY 25, 2006  
 Revisions:

**SITE PLAN and SUBDIVISION PL**