

56-60 GRANT STREET



Full cut # 920R • Half cut # 820LF • Tera cut # 9203R • Film cut # 9205R



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
COMPLAINT

Location:
60 Grant Street

INSPECTION COPY

COMPLAINT NO. 62/25 Date Received June 5, 1962

Location 60 Grant Street (5-65) Use of Building Tenement

Owner's name and address Mrs. Anne F. Rothstein, 61 Sherman St. Telephone _____

Tenant's name and address _____ Telephone _____

Complainant's name and address Health Dept. Telephone _____

Description: 3 story rear porch dangerous.

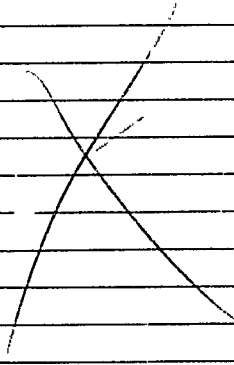
NOTES: No support under right rear porch post. 4x6 rotted out at the corner. No
post under this corner. Sill sitting on the ground. The ground raises at this
corner so the porch does not drop down much. AAS

6/5/62 - Letter to owner, which see - AJP

Minor deterioration done

7/3/62 - Arch repaired.

AJP



FU-6/20/62- A.A.S.

BP-62/25 - 58-60 Grant St.

June 5, 1962

Mrs. Anne F. Rothstein
61 Sherman Street

Dear Mrs. Rothstein:

An inspector from this department reports that the support for the right rear corner post of the three story piazza on rear of building at the above named location of which you are reported to be the owner, has rotted away near the ground so that there is not adequate support for the structure at this point.

In accordance with the provisions of Section 109-a of the Building Code of the City of Portland (copy enclosed herewith) you are hereby directed to have made before June 20, 1962 such repairs as are necessary to correct this dangerous condition.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

MAINE PRINTING CO., PORTLAND

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



Loc. 60 Grant St.
Loc w/i S W B 507
Bldg x Fire Elec Other
Issued December 10, 1957
Expires January 10, 1958

Irving Rothstein
52 Sherman St.
Portland, Maine.

Dear Sir: On October 11, 1957 an examination was made of the premises located at 60 Grant St. Portland, Maine

Non-compliance with the ordinances relating to housing conditions was found as detailed below. In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action. Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. kindly notify this office as soon as all corrections have been completed.

Very truly yours,
Edward W. Colby, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

Responsibility of Owner or Agent ** Responsibility of Occupant

STRUCTURAL REPAIRS

- a) Repair or replace the worn, w/even and hazardous steps on the rear 1st fl. porch.
- b) Repair or replace the missing bricks and point up the foundation on left side.
- c) Repair or replace the loose, cracked or missing plaster on walls of hallway, front.

NUISANCES & UNSANITARY CONDITIONS

- a) Rid the premises of all rodent infestation (rats). We suggest that you procure the services of a competent pest control operator registered with this office, to do the work.

The above mentioned conditions are in violation of the City Ordinances, MINIMUM STANDARDS FOR CONTINUED OCCUPANCY AND AUTHORITY TO VACATE BUILDINGS and must be corrected on or before January 10, 1958



**APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT**

Class of Building or Type of Structure Second Class
Portland, Maine, August 11, 1950

01409

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

A-ATH

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~rebuild~~ ~~reconstruct~~ the following building structure ~~occupant~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 60 Grant Street Within Fire Limits? Yes Dist. No. 3
 Owner's name and address Irving Rothstein, 52 Sherman Street Telephone _____
 Lessee's name and address Aaron Davidson, 61 Sherman St. Telephone _____
 Contractor's name and address Maine Metal, Inc., 169 Front St., So. Portl. Telephone _____
 Architect _____ Specifications _____ Plans Yes No. of sheets 1
 Proposed use of building Apartments No. families _____
 Last use " No. families _____
 Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 425. Fee \$ 2.00

General Description of New Work

To erect metal fire escape from third floor to ground on side of building as per plan.

Permit issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Maine Metals, Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Irving Rothstein
Maine Metals, Inc.

INSPECTION COPY

Signature of owner By: F. Laroy Cramer

NOTES

8-23-50. Work not started. etc.
8-29-50. Bracketing, through bolts
checked etc.
9/22/50 - Work done E.D.

Permit No. 501 1409
Location 60 Canal St.
Owner Irving Petherson
Date of permit 8/1/50
Notif. closing-in 8/24/50 8:30 AM
Inspn. closing-in
Final Notif. 9/21/50 8:00 AM
Final Inspn. 9/22/50
Cert. of Occupancy issued

~~Large section of the document is crossed out with a large 'X'.~~

Irving Petherson
60 Canal St.
New York 14, N.Y.

Memorandum from Department of Building Inspection, Portland, Maine

60 Grant Street—Erection of fire escape from third floor to the ground
for Mr. Irving Rothstein by Maine Metals, Inc.—8/25/50

It is noted that the arrangement of stairs and ladder below balcony at second floor level has been changed from the architectural drawing—necessarily so because a few steps are needed from the second floor balcony to reach the maximum allowable 10' for height of a ladder above the grade, and these steps placed as indicated on architectural drawing would interfere with bay window.

Incidentally the height from grade to level where the stairs stop, and the drop ladder begins, is indicated as 10' plus or minus. This height is not permitted to be more than 10', and the drop ladder should have an even surface on the ground to land upon, and the releasing device should be such that any person at time of emergency will know instinctively how to release the drop ladder.

WME/G

30: Mr. Irving Rothstein
52 Sherman Street

Mr. Aaron Lavidson
61 Sherman Street

Mr. Fred C. Weislander
98 Froble Street

(Signed) Warren McDonald
Inspector of Buildings



APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, May 21, 1959

01034
JUN 23 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~and~~ ~~strengthen~~ the following building ~~and~~ ~~erect~~ ~~and~~ ~~strengthen~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 60 Grant Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Irving Rothstein, 52 Sherman Street Telephone 4-3223
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Aaron Davidson, 60 61 Sherman Street Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 3
 Proposed use of building Apartment house No. families 9
 Last use " " No. families 3
 Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 5.00
 Estimated cost \$ 2,500.

General Description of New Work

To increase the number of apartments from three to nine, three apartments on each floor, and make alterations as shown on plans

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Aaron Davidson

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ collar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:
with letter by AJS

Irving Rothstein

Signature of owner by: *Mrs Irving Rothstein*

INSPECTION COPY

NOTES

Permit No. 50/1034
 Location 65 Grand St.
 Owner Young Construction
 Date of permit 6/28/50
 Notif. closing-in 7/11/50
 Inspn. closing-in 7/11/50
 Final Notif. 11-9-50
 Final Inspn. 11-21-50
 Cert. of Occupancy issued 4/23/51

~~8-14-50 - Permit renewed for 6 months
 8-22-50 - Repairing in place of the
 11-10-50 - Permit for the
 11-10-50 - Permit for the
 11-10-50 - Permit for the
 11-10-50 - Permit for the
 11-10-50 - Permit for the~~

10-27-50 No door closer on sitting room door. Check height of handrails front + rear stairs. cll.

11-10-50. Heat permit O.K. cll. T.
 Permit for handrails front stairs and outside front steps. " vestibule door front door and vestibule door. Talked with Mr. Githerton and he will see that above matters are taken care of. cll.

12-1-50. Nothing done. cll.
 12-5-50 Mr. Githerton said they have railings and they will be as good as possible. cll.

2-9-51. Handrails front inside stairs O.K. No handrail rear stairs. cll.

2-12-51. Mr. Githerton will provide handrail rear stairs. cll.
 4-21-51. Front + rear inside stairs fine. Handrails both sides. No handrails outside front steps. Mr. Deane said this has been taken up with Mr. G. and believe it was agreed to pass it up. The new handrail on front stairs is a bit unusual in its manner of grab but probably O.K. cll.

موردارہ والی رقم (50/1034)

COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Irving Rothstein**

Date of Issue **April 23, 1951**

This is to certify that the building, premises, or part thereof, indicated below, and ~~work~~—
altered—changed as to use at **60 Grant Street**
under Building Permit No **50/1034**, has had final inspection, has been found to conform substan-
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved
for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire Building

2-family Apartment house
3 apartments on each floor

Limiting Conditions:

This certificate supersedes
certificate issued
APPROVED 4/21/51:

Inspector

Inspector of Buildings

Note: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Cop. will be furnished to owner or lessee for one dollar.

At 60 Grant Street-I

June 21, 1950

Mr. Irving Rothstein
52 Sherman Street
Mr. Aaron Davidson
61 Sherman Street

Copy to: Mr. Fred C. Reichelderfer
50 Probate Street

Gentlemen:

The permit for increasing the number of apartments in the building at 60 Grant Street from three to nine is issued herewith, based on the revised plans filed June 16, 1950 and the second revision of the steel working details in the basement filed June 20, 1950, but subject to the following:

1. Plans as submitted originally show for the metal fire escape to be erected on the outside side of the building, its construction is not included in the work covered by this permit but is to be covered by a separate permit or by an amendment to this permit.

2. The windows giving access to the fire escape are required to afford an opening at least 20" high and 24" wide for double-hung windows or 36" high and 24" wide for casement windows. If the existing windows do not meet this requirement, they will need to be replaced.

3. Due to the enclosed shaftway around which the rear stairs are built, there may be a question as to whether the arrangement shown for electric lights in the rear halls will adequately light the stairways. If not, adjustments will need to be made to provide adequate illumination.

4. The enclosure of the cellar stairway is to be made as shown on the revised basement plan filed June 20, 1950 and not as shown on that filed June 16, 1950. A light closer is required for the self-closing device on the fire door in the opening to the stairs enclosure.

5. The heater room enclosure is to be made as shown on the revised plan of basement filed June 20, 1950 and is to enclose both the fuel storage bin and the automatic stoker as well as the heater itself. Strips of metal lath at least 1/2" wide are required over the joints of the perforated gypsum lath to be provided on the ceiling of the heater room.

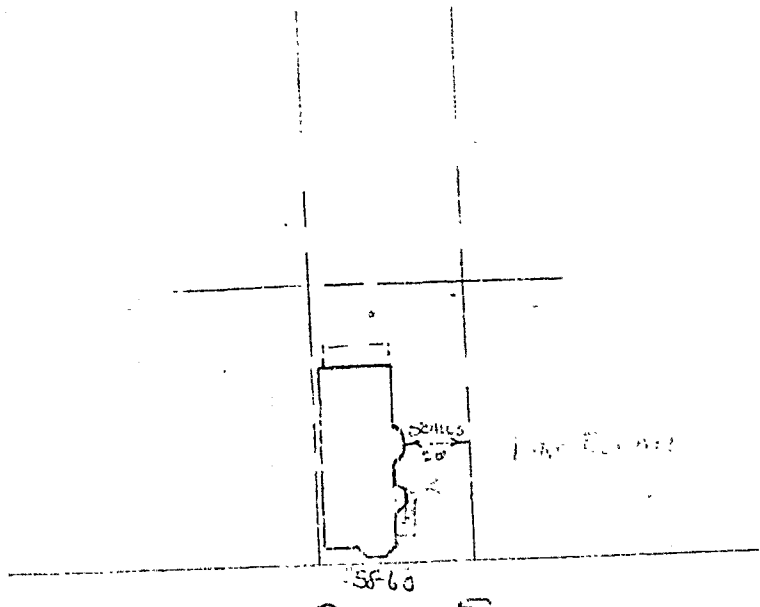
6. The flooring over of the shaftway in the rear hall at each floor level is to be done with latched sheathing or else double boarding so that a tight job will be provided. Gypsum lath and plaster are required on the openings in the enclosing partitions which are to be closed up in each story.

7. Notice for a "closing-in" inspection is to be given before any lath or wallboard is applied to any work. A certificate of occupancy is to be secured from this department before any of the apartments in the new arrangement are occupied for living quarters.

Very truly yours,

Warren McDonald
Inspector of Buildings

WJM



GRANT STREET

$90 \times 50 = 4500$
 $9 \times 2000 = 18000$

At 60 Grant Street-1

June 7, 1950

Mr. Irving Rothstein
52 Sherman Street
Mr. Aaron Davidson
61 Sherman Street

Copy to:
Mr. Fred C. Weislander, 98 Preble Street

Gentlemen:

Examination of application for permit and plans with relation to proposal to increase the number of apartments at 60 Grant Street from three to nine discloses the following discrepancies:

1. Presumably the outside fire escape at the front is proposed rather than existing. In that case it would constitute an unlawful encroachment on the already very narrow open space between the side of the building and the side lot line toward State Street. To comply with the zoning Ordinance the fire escape would have to be 10' from this side lot line. Even if the fire escape were allowable in this location or were changed to an allowable location under the zoning Ordinance, we would of course need details of the fire escape if it were to be included in the permit for the general alterations. If these details were received for a later permit or an amendment, the owner would run the risk of having something turn up we did not understand about the fire escape when the general construction permit was issued. - *ESCAPE CHANGED TO WESTERLY SIDE YARD.*

2. Presumably it is the intention to merely remove the existing door between front stair hall on second and third floors and what will be a small public hall. This will hardly satisfy the requirements of Section 203-d-5.5 of the Building Code requiring at least one operative window in each story in such public halls. One needs would be met if you removed the length of partition in which the door is. *PARTITION REMOVED*

Presumably in first story the entrance door and the door leading to first story public hall have glass panels of liberal size in them. If not such panels will have to be provided. If they exist they should be shown on the plan and the size. *NOT SHOWN FOR NEW HALL.*

3. If the permit is finally issued while the plans do not show intended location of lights in public and stair halls, the owner will have to run the risk of finding them insufficient as to number or location after the work is installed. It would seem that the architect could determine the location of these lights now. - *QUESTION LIGHTS IN REAR HALL*

4. Because the exterior front entrance door will serve as means of egress for occupants of all of the nine apartments, the lockset will have to be made a vestibule latchset and all other fastenings of every description removed, this required hardware being such that all fastenings to keep the door from opening from the inside will be instantly released merely by turning the customary knob or by pressure on a plate or lever, without requiring special knowledge or ability or a key. The type of lockset on the door should be indicated and if not the type required, what is to be done about it? See Section 212-c-2.5. - *INDICATED BY NOTE ON PLAN*

Handrails are not shown in all cases for the front stairs. These are to be provided full length of each run on at least one side and also full length on the side where the winding treads are the widest. Unless already provided so, the handrail on the wide side of the winding tread should not be carried into the corner to an angle but should be rounded or beveled at the corner--and so shown on the plan. - *O.K.*

5. The short partitions between small public halls on second and third floors and apartments 4 and 7, respectively, require plaster on non-burnable lath on both sides as well as the partition in first story between the front public hall and the new bathroom which is evidently intended to go with apartment 1. Note that this material is required on both sides of these partitions. While cement plaster is satisfactory as shown on first floor plan, gypsum plaster will meet the needs if desired. *O.K.*

Mr. Irving Rothstein
Mr. Aaron Davidson

2

June 7, 1950

6. As required by Section 203-f-2 the stairway between first floor and cellar is required to be enclosed or separated from the cellar by enclosing partitions of no less than one-hour fire resistance and with a standard fire resistant door and frame as per Section 203-c-4 of the Code, the door to be made self-closing by means of a liquid door closer. - CLASSIC DOOR CLOSURE - LIQUID DOOR CLOSURE NOT SPECIFIED
LIGHT REQ IN ENCLOSURE, LANDING REQ. AT FOOT OF STAIRS
7. A plan by way of blueprint with all of the information on it printed from the original, is required of enough of the area of the cellar to show fully the arrangement of enclosure at the cellar stairs and the arrangement of the required enclosure of the heater room referred to in origin on the first floor plan, the plan to show the enclosing wall and fire door of the heater room, materials of construction of partitions and ceiling construction and the location of the heater or heaters, smokepipe, fuel storage and chimney, as well as the means of admitting fresh air for combustion purposes to the boiler room. - HEATER ROOM DOES NOT INCLUDE FUEL STORAGE + IRON TURNMAN
8. Note that the fire door on the boiler room is required to be a standard Glass C (labelled by Underwriters Laboratories) fire door made self-closing by means of a liquid door closer or automatic closing by standard hardware, while the fire door at the foot of the cellar stairs may be a standard fire resistant door as stipulated in the given section of the Building Code. These distinctions should be clearly indicated on the plans. - O.K.
9. A note on the first floor plan says that enclosing partitions of heater room are to be covered with "Rocklath" and 3/16" cement--asbestos board. It is my recollection that Rocklath comes in small sheets and is not termed wallboard. This makes so many joints that it is not acceptable but the layer against the studs of regular gypsum wallboard of the usual maximum sizes no less than 3/8 of an inch thick will be satisfactory provided the cement--asbestos board laid against it breaks joints with the gypsum wallboard.
There have been substantial changes in combinations of materials allowed for one-hour fire resistance, but I have not found any authoritative source which will allow similar material to that proposed on the partitions to satisfy the requirements for a one-hour fire resistive ceiling as is required over the heater room. These characteristics are changing fairly rapidly, but unless some other data can be found, it will probably be necessary to use plaster on metal lath or perforated gypsum lath, if the latter 3" wide strips of metal lath must be applied over the joints between the gypsum lath before the plaster is applied. All of these proposals should be shown on the new plan. - SPEAK ABOUT STRIPS OF METAL LATH
10. How is the building to be heated? Since there will be more than six apartments it must now be heated from a single system with a single source of heat. See Section 203-h. - O.K. NONE
11. Is a refuse incinerator contemplated? If so show location and details. Presumably the cellar floor is of sound concrete. See Section 203-1-2 and indicate on the plan. - INDICATED IN GOOD CONDITION. SHOWN
12. On the first floor plan there is a note in rear stair hall "firestop old shaft". Please show in detail how this is to be done. - TIGHT FLOOR, ROCK LATH PLASTER ON CLOSED OPENINGS
13. The change in the situation in this building is to be so substantial, that a certificate of occupancy will be required from this department before the apartments in the new arrangement are occupied for living quarters.
14. You are advised to have your electrician consult the Electrical Inspector of the City as to the rearrangement of circuits and services and the size of electrical

Mr. Irving Rothstein
Mr. Aaron Davidson-----3.

June 7, 1950

service before the work commences. This does not come under the jurisdiction of this department but under the Electrical Ordinance. We are merely trying to coordinate the City services.

If parts of the above are not understood or if you wish to take issue with some of the items, we shall be glad to talk these matters over with you. Otherwise, it will be most helpful if you will proceed at once to revise the plans and file fresh prints so that the permit may be issued. This does not apply of course to the matter of closeness of the fire escape to the line which of course requires some adjustment to comply with the Easing Ordinance. The demands of the public for conferences on all sorts of subjects are delaying our work of issuing building permits immeasurably.

Very truly yours,

Harven McDonald
Inspector of Buildings

HAND RAIL ON OUTSIDE STAIRS (FRONT) see note 4-21-51 in imp. copy. 476

WMeD/S



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 19, 1950

00725 MAY 21 1950 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 60 Grant Street Use of Building 3-family Tenement No. Stories 3 New Building Existing " Name and address of owner of appliance Aaron Davidson, 61 Sherman Street Installer's name and address A. E. Moody, 479 Auburn Street Telephone 2-0072

General Description of Work

To install To remove ex three existing hot water heaters and install 1 steam boiler and 1 Master Stoker

IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete If wood, how protected? Kind of fuel coal Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 18" From top of smoke pipe 18" From front of appliance over 4' From sides or back of appliance over 3' Size of chimney flue 12x12 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriter's laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Location of oil storage Number and capacity of tanks If two 275-gallon tanks, will three-way valve be provided? Will all tanks be more than five feet from any flame? How many tanks fire proofed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance If wood, how protected? Minimum distance to wood or combustible material from top of appliance From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Automatic stoker equipment shall be installed and controls provided, regardless of the type of heating appliances or system involved in such manner that unsafe temperatures or pressures in appliance or system shall be prevented by automatically shutting down the fire or by equivalent means. All details of automatic stoker equipment, safety controls, and installation thereof not provided for herein shall be designed and details provided according to the latest authoritative methods of engineering practice.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED BY [Signature] 5-19-50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer

[Signature: AE Moody]

Permit No. 50/725 6-27-50
Location 60 Grant St.
Owner Arrow Davidson
Date of permit 5/22/50
Approved 6-29-50. P.P.M.

NOTES

6-18-50: Found that
get in
of. 6/18/50

6-29-50: Partly
installed furnace
and stove set up.
Mr. W. W. de Shmied
Mr. W. W. de Shmied
Mr. W. W. de Shmied
Mr. W. W. de Shmied



City of Portland, Maine

OFFICE HOURS
10 TO 12 M.
4 TO 5 P.

OFFICE OF INSPECTOR OF BUILDINGS

To the Inspector of Buildings of the City of Portland:

September 1 1915

The undersigned respectfully makes application for a permit to erect enlarge a building on Grant street, at number 60 to be three stories high 54 feet long, 26 feet wide; also an addition to be stories high, feet long, feet wide, and to be used as a

CELLAR WALL—To be constructed of concrete to be 15" plumb inches wide on bottom and batter to inches on top.

UNDERPINNING—To be stone Height of underpinning from top of cellar wall to bottom of sill 3 ft. 0 inches to be 15" inches in thickness, of stone

EXTERIOR WALLS—To be constructed of brick veneer If of Brick, Stone, etc. Total Height of wall ft. Thickness of 1st 2d 3d 4th 5th 6th story walls. If of reinforced concrete, state mix and reinforcing system to be used.

If wood construction, sills to be 6x6 Girders 8x10 Floor Timbers 2x9 Spaced 16" on Centers Post 4x6 Girts 4x6 Studs 2x4 to be spaced 16"

This building will be used for the purposes of dwelling (If for apartments, tenements, or other family uses state number of families accommodated and number on each floor. If for manufacturing or mercantile purposes state character of business and amount of estimated weight to be carried by the floor.)

Number of families on floor one

Total number of families three

Manufacturing (state character)

Estimated load on floors per sq. ft.

Mercantile business (state character and load per sq. ft.)

If building is used for tenement house or family use and more than one family, the following provisions of the Building Laws regarding dividing partitions shall be adhered to (Quote Law re. this.)

FIRESTOPS—All bearing and center partitions will have firestops cut in tight on top of each partition cap and between each set of floor timbers. Where ledger board are used there shall be firestops cut in tight against bottom of ledger board, of same size as wall studs. Also wherever the Inspector of Buildings may consider necessary.

STAIRWAYS—No. in building two, location front rear to be enclosed with plastered walls to be lathed with wood lathing.

ROOF—To be constructed of wood Rafters to be 2x9 inches to be spaced 20 inches on centers. Roof to be covered with

Gutters to be made of none Cornices to be made of wood

Bay Windows to be made of wood to be covered with brick veneer

Dormer Windows to be made of none to be covered

Chimneys, Smoke Flues to be lined with T.C. Flue Lining and provided with a 10-inch outside collar and an inside collar to go to the inside of the flue.

Estimated Cost of Building: \$7000.

INSPECTION—The Inspector of Buildings is to be notified when building is ready for lathing and at least 24 hours before the lathing is begun.

The Building is F. W. Cunningham Sons Address 430 Congress St Portland

The Architect is " Address "

The Owner is " Address "

No Deviation will be made from the above application without written permission from the Inspector of Buildings

The above petition was granted the day of 1915

Applicant to sign here F. W. Cunningham Sons

58-
60 Grant St.

PERMIT NO. 4569
DATE OF ISSUE 9-2-15
LOCATION
60 Grant Street

P 032 224 555

RECEIPT FOR CERTIFIED MAIL
NO INSURANCE COVERAGE PROVIDED
NOT FOR INTERNATIONAL MAIL

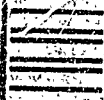
(See Reverse)

Sent to Geoffrey Rice	
Street and No. 655 Congress Street	
P.O. State and ZIP Code Portland, ME 04101	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to whom and Date Delivered	
Return receipt showing to whom, Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

PS Form 3800, Feb. 1982
* U.S.G.P.O. 198446-014



PERMIT FOR PRIVATE USE \$300



UNITED STATES POSTAL SERVICE
OFFICIAL BUSINESS

SENDER INSTRUCTIONS
Print your name, address, and ZIP Code in the space below.
• Complete Items 1, 2, 3, and 4 on the reverse.
• Attach to front of article if space permits.
• Otherwise affix to back of article.
• Endorse article "Return Receipt Requested" subject to number.

RETURN TO 

City Hall - Room 315
(Name of Sender)

389 Congress Street
(No. and Street Apt., Suite, P.O. Box or R.D. No.)
Portland, ME 04101
(City, State, and ZIP Code)

PS Form 3811, July 1985 447-845

SENDER: Complete items 1, 2, 3 and 4.

Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to, and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for service(s) requested.

1. Show to whom, date and address of delivery.

2. Restricted Delivery.

3. Art. Addressed to:
 Gen. Jeffrey Rice
 65 Congress Street
 Portland, ME 04101

4. Type of Service:	Article Number:
<input type="checkbox"/> Registered <input type="checkbox"/> Insured <input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail	

Always obtain signature of addressee or agent and
DATE DELIVERED

6. Signature of Addressee
[Handwritten Signature]

7. Signature of Agent
[Handwritten Signature]

8. Date of Delivery

9. Addressee's Address (ONLY if restricted article)

DOMESTIC RETURN RECEIPT

S. Hoffes - 60 Grant Street

(a) Whenever any person shall have been duly notified to remove any act or thing which it may be his duty to perform for the preservation of the health of the city and the time limit for the performance of such duty shall have elapsed without a compliance of such notice, the chief of police or health authority shall forthwith cause such substance to be removed at the expense of the person so notified. The chief of police or health authority shall cause all persons who shall violate or disobey any provision of this article to be prosecuted and punished.

Sec. 12-49. Failure to comply with order of health authority or chief of police.

Found in violation of this ordinance section can and will result in action under Chapter 12, Article II Section 49 of the Municipal Code.

(a) Municipal collection. Suitable containers for collection shall be placed at the curb or on the esplanade between the sidewalk and the gutter not prior to 6:00 p.m. of the day before scheduled municipal collection. Containers placed in the public way on and after such time shall be considered as being intended for collection and, as such, shall be collected by none other than the authorized collector of the public works authority. All containers shall be removed prior to 8:00 p.m. on the day of scheduled collection. Such suitable containers shall be covered or securely tied as to prevent spillage, wind-blown littering, or the ingress or egress of flies, rats or other vermin. No person except the occupant, owner of the premises, or the public works authority shall remove, take or otherwise disturb the waste matter, or any portion thereof so placed for removal.

Sec. 12-24. Placement for collection; scavenging prohibited.

During an inspection in your area it was apparent that you are in violation of Part II Code of Ordinance, Chapter 12, Article II Section 12-24.

Dear Sir:
Re: 60 Grant Street
Portland, ME 04101
Geoffrey Rice
655 Congress Street
November 25, 1987

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
P. SAMUEL HOFFSES, CHIEF INSPECTION SERVICES DIVISION



CITY OF PORTLAND, MAINE
383 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 02, 1995

RICE GEOFFREY I
655 CONGRESS ST
PORTLAND ME 04101

Re: 60 Grant St
CBL: 048- - D-009-001-01
DU: 7

Dear Mr. Rice:


The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referenced property.

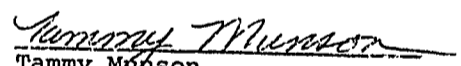
Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code.

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,


Marland Wing
Code Enforcement Officer


Tammy Mohson
Code Enfc. Cffr./ Field Supv.

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 58 Gray St		Owner: Mary K Purington	Phone: 761-2139- <i>ca</i>	Permit No: 960600
Owner Address: * 58 Gray St- Ptlid ME 04102		Leasee/Buyer's Name:	Phone:	Business Name: <i>BOCA 431</i>
Contractor Name: Deck Specialties		Address:		Phone:
Past Use: 2-fam dwlg	Proposed Use: 2-fam w deck (on porch roof)	COST OF WORK: \$ 1500	PERMIT FEE: \$ 30	PERMIT ISSUED JUN 26 1996 CITY OF PORTLAND Zoning: <i>44-1-6</i> Use Group: <i>R3</i> Type: <i>52</i> Signature: <i>[Signature]</i> Signature: <i>[Signature]</i> Signature: <i>[Signature]</i>
Proposed Project Description: construct deck - on top of a porch roof		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>52</i> <i>BOCA 431</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		
Permit Taken By: <i>L Chase</i>		Date Applied For: <i>6/21/96</i>		
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
CERTIFICATION I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit				Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <i>see letter for conditions</i> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: _____
SIGNATURE OF APPLICANT <i>Mary Purington</i>		ADDRESS:	DATE: <i>6/21/96</i>	PHONE: <i>781-2139</i>
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE:		CEO DISTRICT 3 <i>A. Simpson</i>

Conditions listed in letter
PERMIT ISSUED WITH REQUIREMENTS

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 58 Gray St		Owner: Mary K Purington	Phone: 781-2139-2110	Permit No: 960600
Owner Address: 58 Gray St- Pld #E 04102	Leasee/Buyer's Name:	Phone:	Business Name:	
Contractor Name: Deck Specialties	Address:	Phone:		
Past Use: 2-fam dslg	Proposed Use: 2-fam w deck (on porch roof)	COST OF WORK: \$ 1500	PERMIT FEE: \$ 30	PERMIT ISSUED JUN 26 1996 CITY OF PORTLAND Zone: R-6 CBL: 44-1-8 Zoning Approval: 2nd JS shown in prospectus in 1949 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland NO COMMENT <input checked="" type="checkbox"/> Flood Zone STAIRWAYS <input checked="" type="checkbox"/> Subdivision OK 4-3-95 <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> 6
Proposed Project Description: construct deck - on top of a porch roof		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 2 Type: SH Signature: [Signature]	
		Signature: _____	Date: _____	
Permit Taken By: L Chase	Date Applied For: 6/21/95			

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: **[Signature]** ADDRESS: _____ DATE: **6/21/96** PHONE: **781-7139**

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action: _____

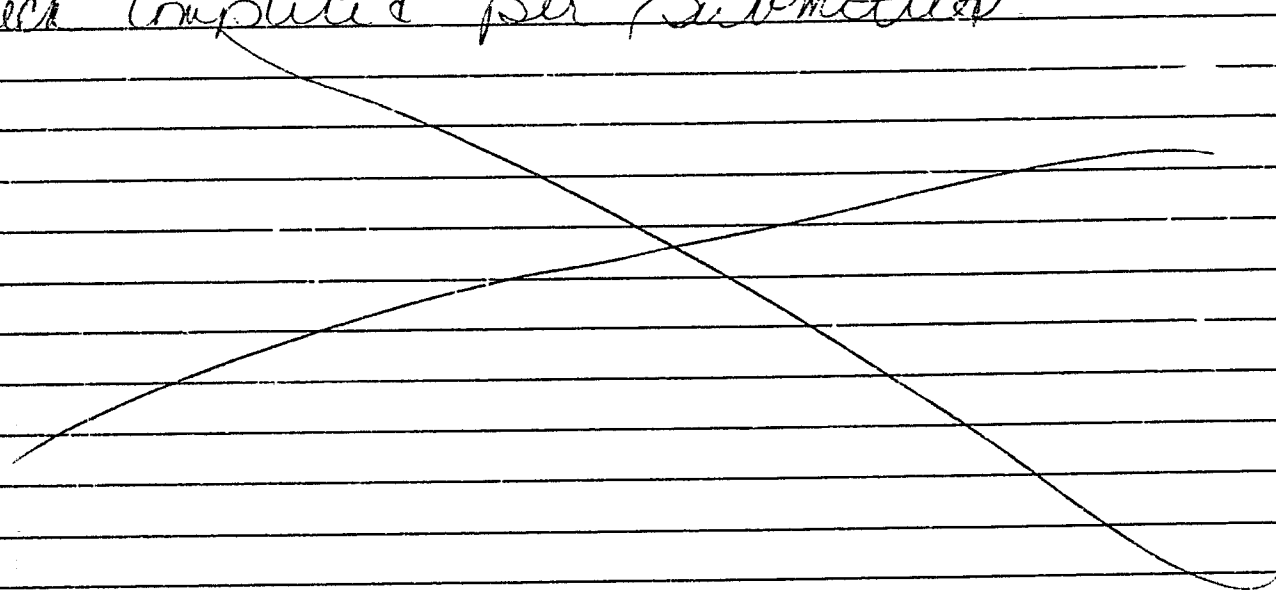
Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT **3**
A. Simpson

COMMENTS

Deck Completed per submitted



Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

BUILDING PERMIT REPORT

DATE: 26 June 196 ADDRESS: 58 Gray St
 REASON FOR PERMIT: To Construct deck
 BUILDING OWNER: Purinton
 CONTRACTOR: Deck Specialties APPROVED: *11
 PERMIT APPLICANT: _____ DENIED: _____

CONDITION OF APPROVAL OR DENIAL

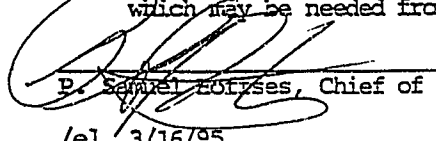
1. Before concrete for foundation is placed, approvals ~~from the Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)

- * 11. **Guardrail & Handrails**-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSa refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel, Chief of Inspection Services

/e1 3/16/95

LAND USE - ZONING REPORT

ADDRESS: 59 Gray Street DATE: 6/25/96

REASON FOR PERMIT: ~~Rebuild~~ deck over existing porch

BUILDING OWNER: Mary K. Purington C-B-I: 44-I-8

PERMIT APPLICANT: owner

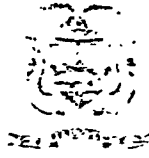
APPROVED: with condition DENIED: _____
109

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition There SHALL BE NO OPEN, interconnected
Stairway - Deck only is approved

Marge Schmuckal Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 24, 1996

Kitty and Matthew Purington
58 Gray Street
Portland, ME 04102

RE: Rear Deck and Door Installation; 58 Gray Street

Dear Kitty and Matthew

On June 21, 1996, the Historic Preservation Staff of the Portland Planning Department approved your application for a Certificate of Appropriateness. The approval is for the replacement of a rear window with a door and the installation of a deck with balustrade.

The approval is subject to the following conditions:

1. That the trim around the new door opening match to the extent possible the existing window trim.
2. That the railing feature 2" square balusters, with heavier 4' x 4' posts at the corners. The railing should be chamfered.
3. That the railing be painted white to match existing trim.

All improvements shall be carried out as shown on the submitted plans and specifications, except as modified to comply with the conditions of approval described above. changes to the approved plans and specifications and any additional work which may be undertaken must be reviewed and approved by this office prior to construction, alteration or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, conditions are encountered which prevent completing the approved work or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year

O:\PLAN\HP\DECISION\58GRAY.WPD

Deb Andrews
Housing and Neighborhood Services
City of Portland
City Hall
389 Congress St.
Portland, Maine 04101

Dear Ms. Andrews:

Please find enclosed a copy of the proposed contract with Deck Specialties, and the description of materials for our deck. Please include this information in our application for a building permit for our property at 58 Gray Street. We will be on vacation until June 3, but if you need additional information, please call us after that date at 761-2139. Thank you for your attention to this matter.

Sincerely,

Kitty Purington
Kitty Purington

P.S. Please excuse the crayon marks - toddler's art project!

MIF 1

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE LOAN INSPECTION PLAN

53 GRAY STREET

No. 752-71

PORTLAND, MAINE

TO THE LENDING INSTITUTION AND ITS TITLE INSURER I hereby certify that the location of the dwelling shown on this plan did conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

BOOK 6401 PAGE 144 COUNTY CUMBERLAND

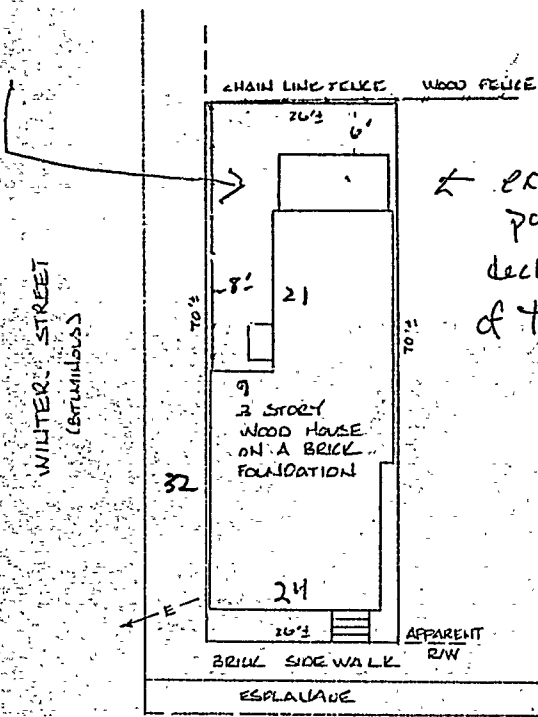
BUYER: MATTHEW C. & MARY K. PRINGSTON

PLAN BOOK _____ PAGE _____ LOT _____

SELLER: THOMAS & DEBRA ANDREWS

* Deck will have NO increase in existing footprint

215



* existing porch; deck will be on top of this porch.

1
53
X 24
212
1060
1272
189
1083

GRAY STREET (Crumlinous)

21
9
189

THIS IS NOT A BOUNDARY SURVEY. This plan is based strictly on information provided by others and does not take into consideration any conflicts which abutting descriptions may contain. This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon. This plan is not for use as a...

Date 2-17-95 Scale 1" = 20'

[Handwritten signature]

I. DESCRIPTION OF PROJECT

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will affect the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

We would like to add a deck on to the second story apartment. Deck would not exceed existing "footprint" of building: on the 1st floor there is a porch - deck would be built directly on top. Materials would be usual, pressure-treated lumber, design would be basic 8 x 16, with code specifications.

* Deck is in the back of the house, over existing porch.

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMITTEE



Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

Property Name and Address: 58 Gray St. Portland

Applicant: (name) Mary + Matthew Livingston (telephone) 761-2139

(company, if applicable) N/A

(address) _____

Property Owner, if different: (name) same

(address) _____

(telephone) _____

Architect (if any): —

Contractor or Builder (if any): Deck Specialists

Local Designation:

Landmark. Within Historic District. Historic Landscape District.

Mary Livingston
Applicant's Signature

Owner's Signature (if different)

** Note: No application fee is required. Applicant is responsible for costs of sending notices and placement of legal ad. Such costs shall be paid prior to issuance to Certificate/Building Permit or upon denial

All materials related to this Application MUST BE submitted no later than 2 weeks prior to your desired meeting date in order for this application to be placed on the Historic Preservation Committee Agenda.

I acknowledge receipt of a copy of this executed contract.

Homeowner _____

DECK SPECIALTIES, INC.

One Waterhouse Road
Gorham, Maine 04038
(207) 839-5463 - Office
(207) 839-5463 - Home

Date: 5/16/95

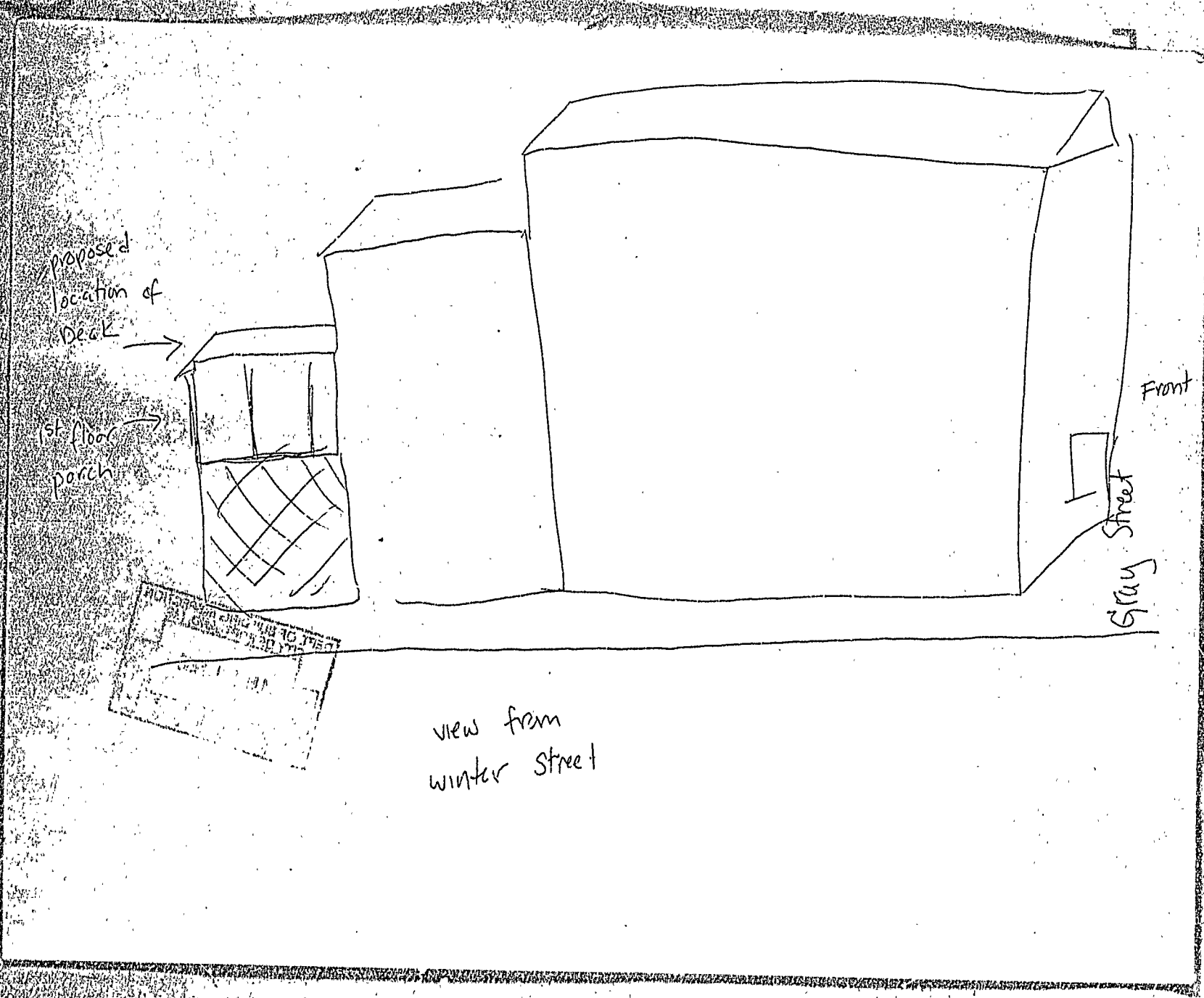
Matt and Kitty Parrington
58 Gray Street
Portland Maine, 04102
Tel. 761-2139

CONTRACT FOR NEW DECK AND DOOR INST.

Work Location: Same

Description of work: As follows

- * Cut opening in wall, frame and install customer's door.
(door installation does not include finish work.)
- * Construct 8x16 deck consisting of:
 - * 2x6 headers and outside rim joists.
 - * 2x6 floor joists 16" o.c.
 - * 4x4 posts.
 - * 5/4x6 radius edged decking, #2.
 - * Ballister type rail systems, 36" ht. w/ 4" spacing.
- * All lumber to be pressure treated southern yellow pine.
- * All fasteners to be galvanized.
- * All decking and ballisters to be attached with 2 1/2" galvanized deck screws.



Proposed location of Deck

1st floor porch

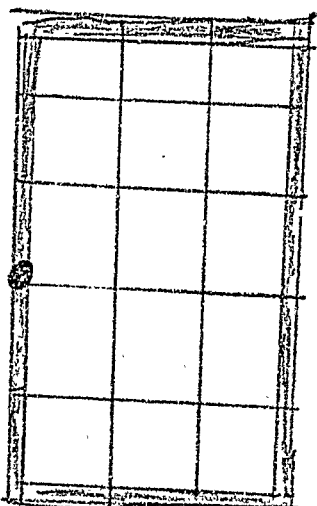
Front

Gray Street

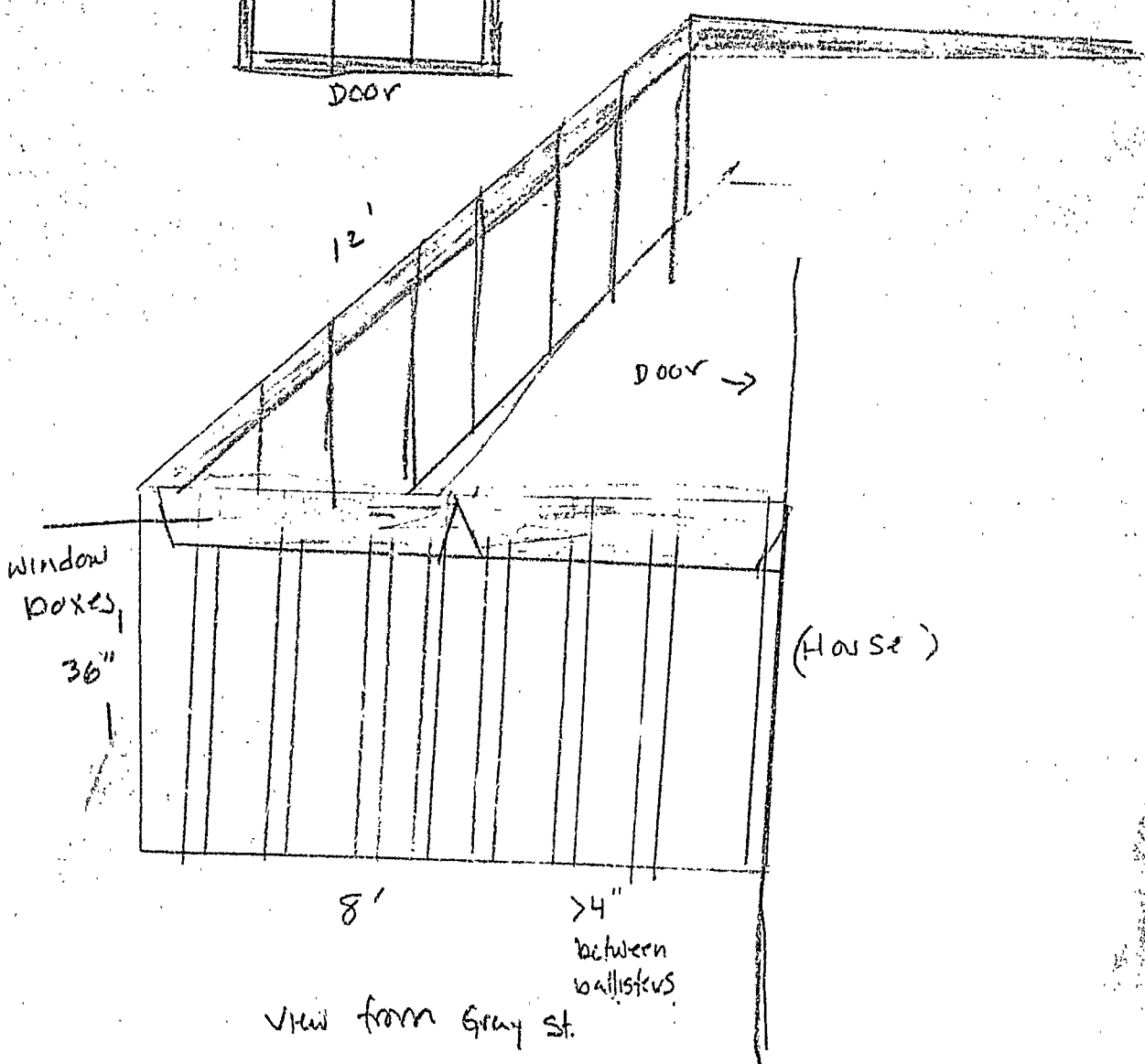
view from winter street



proposed deck
to 58 Gray St., Portland
Matthew + Mary Purington
(all woodwork will be
painted white)
description of materials in
application



DOOR



Window
boxes,
36"

8'

>4"
between
balusters

(House)

View from Gray St.

please check off the appropriate description

FOUNDATION

Frost Wall, min 4" below grade.
8" thick

Sono Tube, 4" below grade.
6" min. on footing, hard pan or
bedrock.

Other

SILL

Size

SPAN OF SILL

Distance between foundation supports

JOISTS SPAN

8'

JOISTS SIZE

2 x 6 2 x 8 2 x 10

DISTANCE BETWEEN JOISTS

16" O.C. 24" O.C. other

DECKING

5/4 other explain

GUARD HEIGHT

36" 42"

DISTANCE BETWEEN BALUSTER

4" spacing between

STAIR CONSTRUCTION

N/A

minimum 9" tread
maximum 8 1/4" rise

please use space below for drawing of deck with measurements.

