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048-D-008

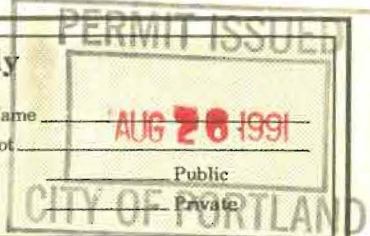
Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee 2230.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Rouse/Plannery Phone # 854-1475
 Address: P O. Box 6 Westbrook, Maine 04098
 LOCATION OF CONSTRUCTION 62-64 Grant St. Portland
 Contractor: T.R. Plannery Prop Mgt Sub.: _____
 Address: Westbrook, Maine 04098 Phone # _____
 Est. Construction Cost: 42257.42 Proposed Use: 4 family
 Past Use: 3 family
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Change of Use to create one more living unit as per plans exterior replacement of porch

For Official Use Only

Date June 27, 1991 Subdivision: _____
 Inside Fire Limits: _____ Name: _____
 Bldg Code _____ Lot: _____
 Time Limit _____ Ownership: _____
 Estimated Cost 42257.42 Public _____ Private _____



Zoning: R 6
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____ Action: Approved.
 2. Sheathing Type _____ Size _____ Action: Approved with Conditions.
 3. Roof Covering Type _____ Action: Denied.

Chimneys:
 Type: _____ Number of Fire Places _____
 Date: _____
 Signature: _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

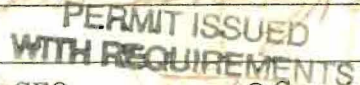
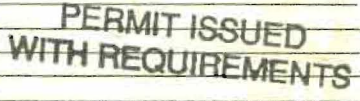
Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Latini

Signature of Applicant T.R. Plannery Date 6/27/91

Signature of CEO _____ Date _____

Inspection Dates _____



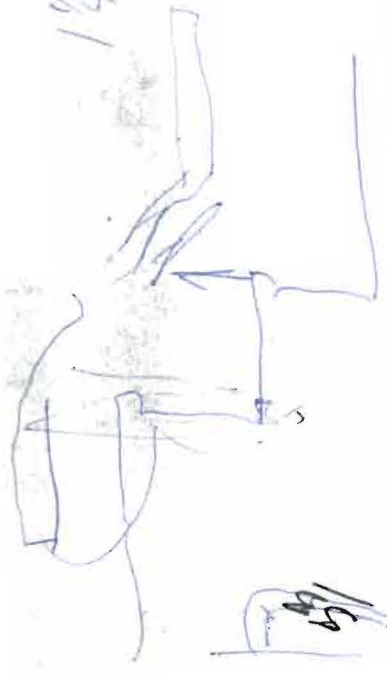
June 27 1991

White-Tax Assessor

Yellow-GPCOG

White Tag-CEO

© Copyright GPCOG 1988



14'-20" diam

34'-38" high

12' max height between landing

9 1/2"

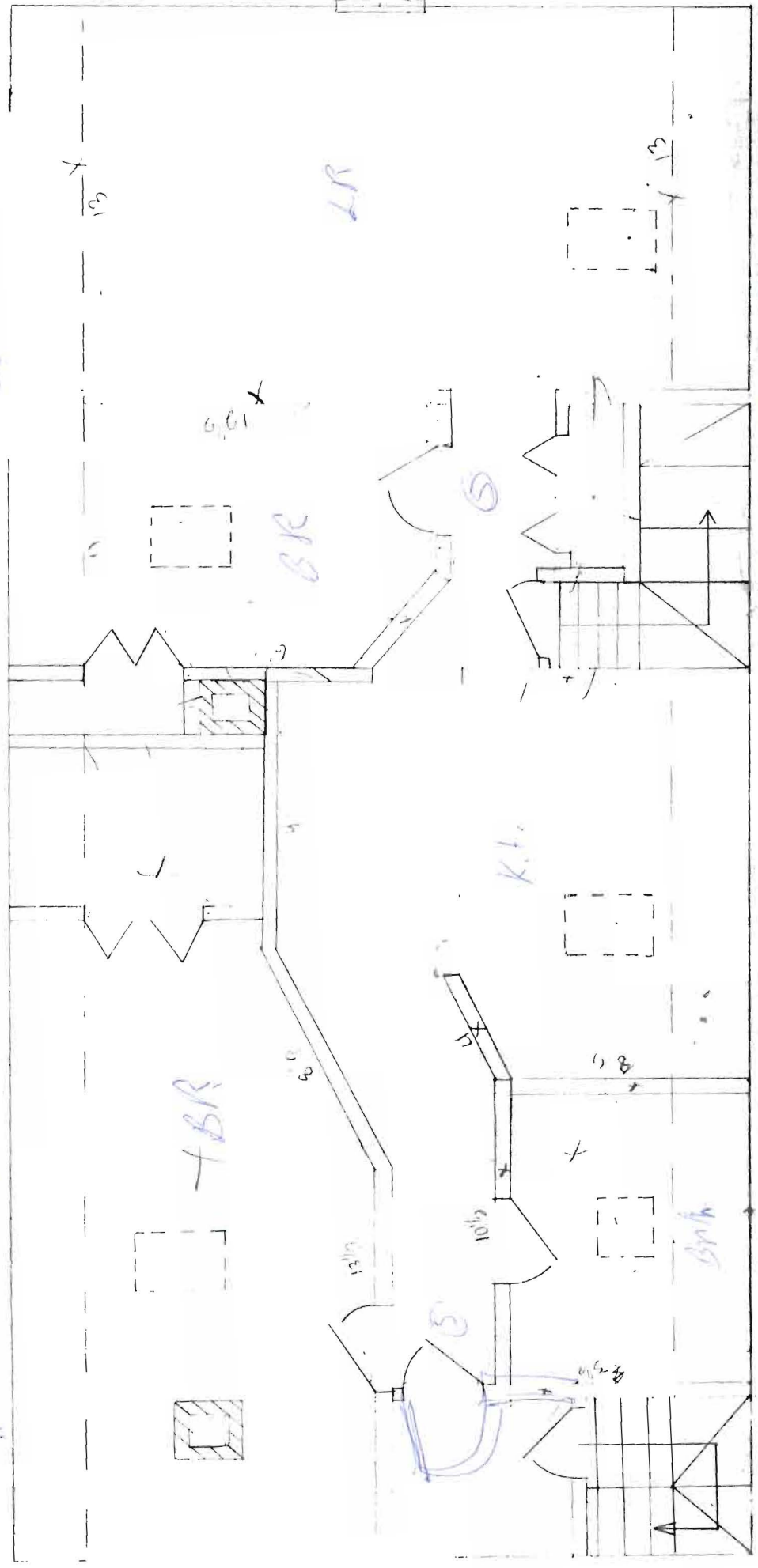
Label

7' MAX Pass

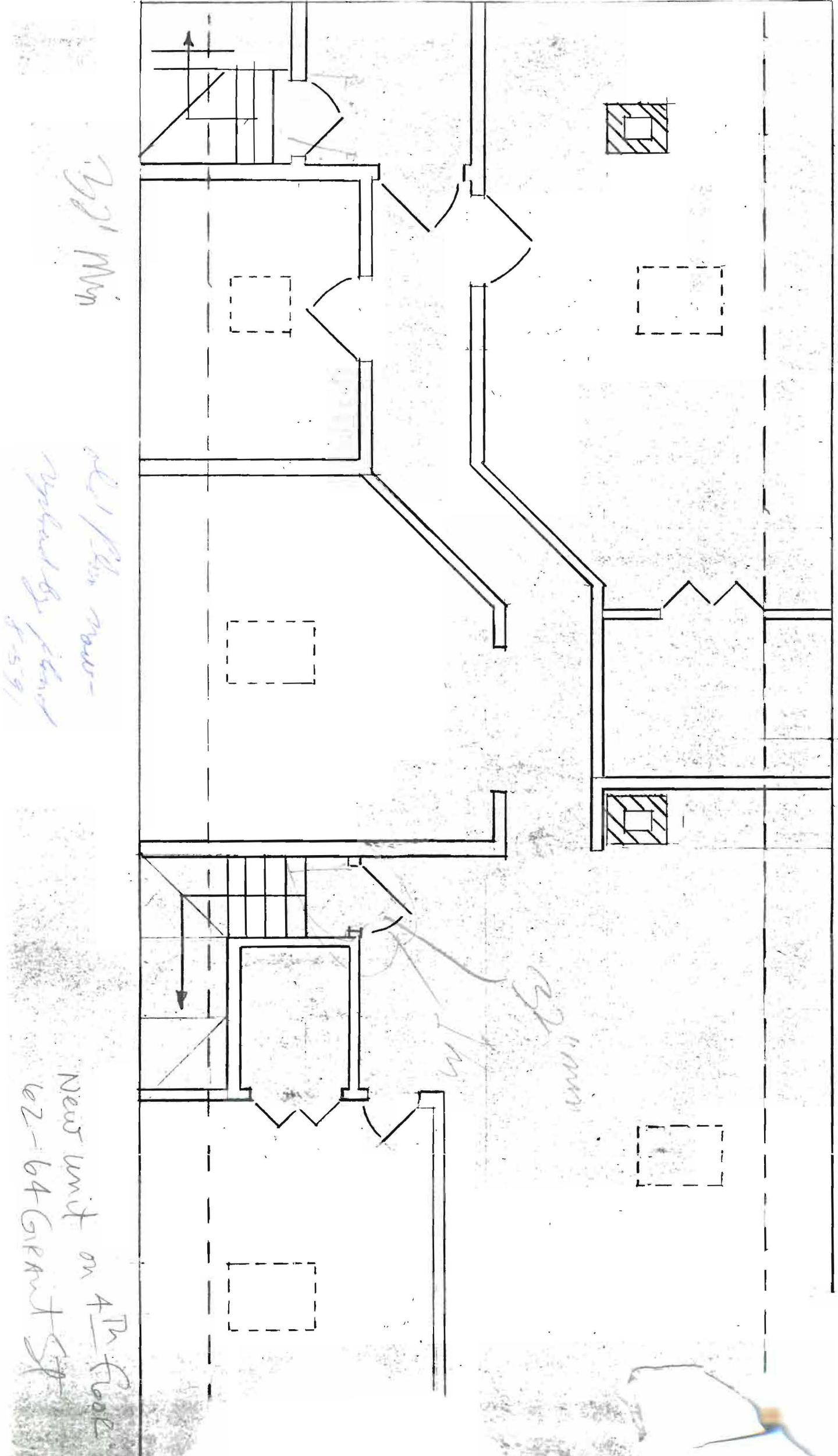
1 1/2 door
+ 3 pms

11' min

6'8" min Hallroom



Revised Plan No. 85-91



321 N W

old plan now -
 updated by plan
 8/5/91

New unit on 4th floor
 62-64 Grand St

321 W

T.R. FLANNERY PROPERTY MANAGEMENT COMPANY

62-64 GRANT STREET
PORTLAND, MAINE

FEB. 25, 1991

BIDDING COST -

Materials -	9407.42
Skylights -	1750.00
Electrical -	2600.00
Plumbing -	1800.00
Heating -	2600.00
Carpet -	1800.00
APPLIANCES -	1000.00
Labor -	11800.00
MISC. -	700.00

Painting house material and labor \$8800.00

Total cost projected: \$42257.42

This cost includes building the 4th unit, includes any necessary work on the outside of the building, painting, new deck etc.

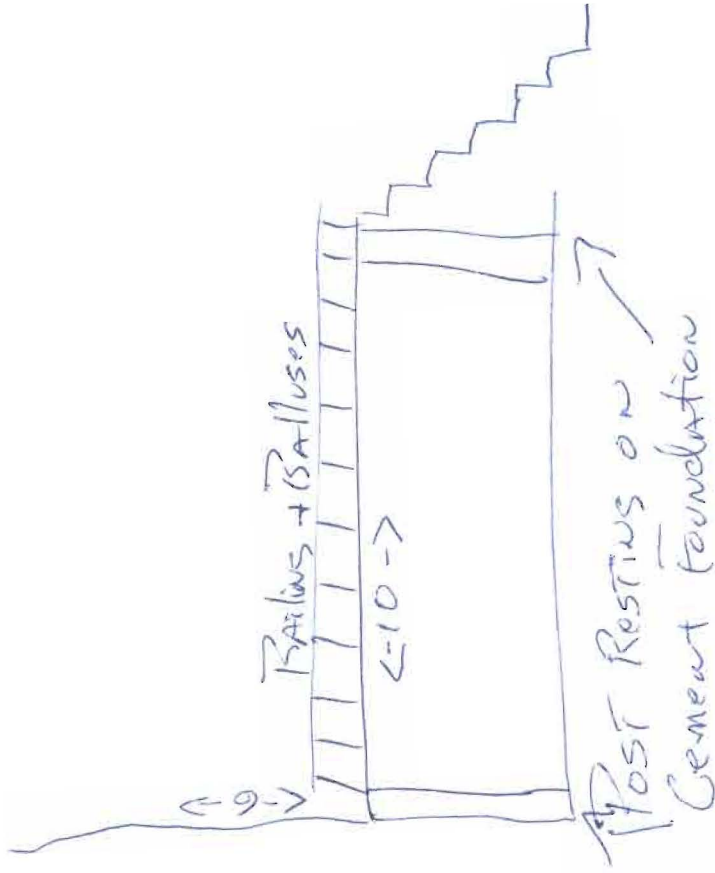
SINCERELY,



TIMOTHY A. FLANNERY

Proposed Deck 62-64 Grant St

4,750 \$



copy
page

Replaced using exact same footprint.
FLANNERY, T. R
REALTY

- (2) *Shoreland regulations*: No building or structure shall be erected, altered, enlarged, rebuilt or used, and no premises shall be used within the land area situated between the shoreland zone line and the normal high-water mark of the waters of the Stroudwater River, Presumpscot River, Fore River, Portland Harbor, Back Cove, and the bays, coves, sounds, inlets and open waters of Casco Bay, as shown on the city zoning map and on all areas of all islands not having a shoreland zone line on the city zoning map, which does not comply with the requirements of division 26 (shoreland regulations) of this article.
- (3) *Storage of vehicles*: Only one (1) unregistered motor vehicle may be stored outside on the premises for a period not exceeding thirty (30) days. (Ord. No. 537-84, 5-7-84)

Secs. 14-132–14-134. Reserved.

DIVISION 7. R-6 RESIDENTIAL ZONE*

Sec. 14-135. Purpose.

The purpose of the R-6 residential zone is:

- (1) To set aside areas on the peninsula for housing characterized primarily by multifamily dwellings at a high density providing a wide range of housing for differing types of households; and to conserve the existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of professional offices and other nonresidential uses. (Ord. No. 538-84, 5-7-84)

Sec. 14-136. Permitted uses.

The following uses are permitted in the R-6 residential zone:

- (1) *Residential*:
- a. Single- and two-family dwellings. No building reviewed as a two-family dwelling in accordance with section 14-524 shall be altered to include any additional dwelling unit within five (5) years from the date of issuance of the building permit. Any building reviewed as a two-family dwelling in accordance with section 14-524 or not reviewed under article V, which is altered or enlarged to include any additional dwelling unit after this five-year period, shall be reviewed as a major development pursuant to article V of this chapter.
 - b. Multifamily dwellings, provided that any alteration of a structure in residential use on December 2, 1987:
 - i. Shall not result in the creation of any additional dwelling unit of less than six hundred (600) square feet of floor area, exclusive of common hallways and storage in basement and attic; and

***Editor's note**—Ord. No. 538-84, adopted May 7, 1984, repealed Div. 7, §§ 14-131–14-134, and enacted a new Div. 9, §§ 14-135–14-139, 14-145. However, in order to avoid duplication of division numbers and in consultation with the city, the provisions have been included as Div. 7.

Supp. No. 21

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62-64 GRANT ST.

BUILDING PERMIT REPORT

ADDRESS: 62-64 Grant St.

DATE: 23/Aug/91

REASON FOR PERMIT: To Change The use From a 4 Family To a Five Family dwelling unit.

BUILDING OWNER: Rouse/Flannery

CONTRACTOR: T.R. Flannery Prop Mgt.

PERMIT APPLICANT: 11

APPROVED: *3, *4, *5, *6, *7, *9

CONDITION OF APPROVAL:

- 1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- 2.) Precaution must be taken to protect concrete from freezing.
- * 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- * 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- * 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- * 6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- * 7.) All single and multiple-station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code (BOCA National Building Code 1990, and N.F.P.A. 74).

PLOT PLAN



FEES (Breakdown From Front)		Type	Inspection Record	Date
Base Fee \$	230.00			/ /
Subdivision Fee \$				/ /
Site Plan Review Fee \$				/ /
Other Fees \$				/ /
(Explain)				/ /
Late Fee \$				/ /

COMMENTS 3 sheets of plans submitted

9/91 Re/Old plumbing stop & fraying

11/5/91 Re / nearly complete need fire doors with self closers & 2-sprinkler over boilers. Getting

12-13-91 Still No Fire doors yet missing NO Cert. of Occ. yet with complete

8-92 Had Fire vacated building need to check for fire doors

Signature of Applicant T B Flannery Realty Date June 27, 1991

- 5 parking spaces
- ii. Shall not result in any existing dwelling unit being reduced in size to less than one thousand (1,000) square feet of floor area, exclusive of common areas and storage in basement and attic; and
 - iii. Parking shall be provided as required by division 20 of this article;
 - iv. No open outside stairways or fire escapes above the ground floor shall be constructed;
 - v. A below-grade dwelling unit shall be permitted only if access is provided directly to the outside of the building;
 - vi. Such development shall be subject to article V (site plan) of this chapter for site plan review and approval.
- c. **Community living arrangements, as defined in section 14-47 (definitions) of this article, for eight (8) or fewer mentally handicapped or developmentally disabled persons.**
 - d. Single-family, multiple-component manufactured housing, as defined in section 14-47 (definitions) of this article, except in a National Register Historic District.
 - e. Single-family, single-component manufactured housing, as defined in section 14-47 (definitions) of this article, on individual lots under separate and distinct ownership, except in a National Register Historic District, provided that each unit meets the performance standards listed below:
 - i. More than half of the roof area of each unit shall be a double pitched Class C rated shingled roof with a minimum pitch of 3/12.
 - ii. Each unit shall be installed on a full foundation or a concrete frost wall in accordance with all applicable codes and regulations. Any hitch or tow bar shall be removed from the unit after it is placed on its foundation or frost wall. In the case of a frost wall, vermin proof skirting shall be installed on all sides of the unit. The skirting may consist of either (a) concrete or masonry block or (b) manufactured skirting. If concrete or masonry block skirting is installed, either the exterior siding of the unit shall extend within one (1) foot of grade or decorative masonry siding shall be applied. If manufactured skirting material is installed, the color shall be identical to or compatible with the exterior siding of the unit.
 - iii. Each unit shall have exterior siding that is residential in appearance, including but not limited to natural materials such as wood clapboards or shakes, or exterior materials which simulate wood. Clapboards or simulated clapboards shall have less than eight (8) inches of exposure and sheet metal type siding shall not be permitted.
 - iv. Each unit shall have the long side of the unit parallel to the streetline where the required street frontage is met.
 - v. Each unit shall be provided with at least two (2) trees meeting the city's arboricultural specifications and which are clearly visible from the street line and are located so as to visually widen the narrow dimension or proportion of the unit.

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8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

* 9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 4 inches cannot pass through any opening. Handrails on stairs shall be no less than 34 inches nor more than 38 inches. Handrails within individual dwelling units shall not be less than 30 inches nor more than 38 inches.

10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el
11/16/88
11/27/90
8/14/91