

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING PERMIT

PERMIT

Permit Number: 100230

Please Read Application And Notes, If Any, Attached

This is to certify that Hammond Rentals Llc /Richard Hammond

has permission to Remove 2nd floor of front porch and build new flat roof over remaining first floor front porch.

AT 84 Grant St City of Portland 048 D002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Sauter

Health Dept. MAR 29 2010

Appeal Board

Other

CITY OF PORTLAND
Department Name

[Handwritten Signature]

3/22/10

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0230	Issue Date:	CBL: 048 D002001
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Location of Construction: 84 Grant St	Owner Name: Hammond Rentals Llc	Owner Address: 86 Burwell Ave	Phone:
Business Name:	Contractor Name: Richard P Hammond	Contractor Address: 621 Sawyer Street So.Portland	Phone: 2073170798
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

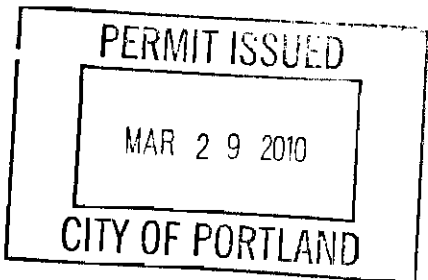
Past Use: Multi Family / 6 Units	Proposed Use: Multi Family/ 6 units - Remove 2nd floor of front porch and build new flat roof over remaining first floor front porch.	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 2
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions Signature: <i>(Signature)</i>	INSPECTION: Use Group: R-2 Type: SB IBC 2003 Signature: <i>(Signature)</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Proposed Project Description:
Remove 2nd floor of front porch and build new flat roof over remaining first floor front porch.

Permit Taken By: gg	Date Applied For: 03/09/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/10/10 <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>APM</i>
	-all work w/in existing footprint.		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

March 9 2010

Received from Richard P. Hannon

Location of Work 84 Main St.

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 048-7002

Check #: 1381 Total Collected \$ 50.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: Rayle

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0230	Date Applied For: 03/09/2010	CBL: 048 D002001
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Location of Construction: 84 Grant St	Owner Name: Hammond Rentals Llc	Owner Address: 86 Burwell Ave	Phone:
Business Name:	Contractor Name: Richard P Hammond	Contractor Address: 621 Sawyer Street So.Portland	Phone (207) 317-0798
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/ 6 units - Remove 2nd floor of front porch and build new flat roof over remaining first floor front porch.	Proposed Project Description: Remove 2nd floor of front porch and build new flat roof over remaining first floor front porch.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/10/2010**Note:** **Ok to Issue:** ✓

- 1) This permit is being issued with the condition that all the work will take place within the existing footprint.
- 2) This property shall remain a six family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 03/22/2010**Note:** **Ok to Issue:** ✓

- 1) The access from the second floor to the current deck must be secured permanently.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/19/2010**Note:** **Ok to Issue:** ✓

- 1) No means of egress shall be affected by this renovation
- 2) The entire structure shall comply with NFPA 101 "Existing Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 3) All construction shall comply with NFPA 1 and 101.

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to installation of any coverings.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

100230



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 84 GRANT ST.		
Total Square Footage of Proposed Structure/Area 96'		Square Footage of Lot 6500
Tax Assessor's Chart, Block & Lot Chart# 048 Block# D Lot# 007	Applicant *must be owner, Lessee or Buyer* Name KERRY HAMMOND Address 86 BURWELL ST City, State & Zip So. Port. ME 04106	Telephone: DBA Hammond Rentals LLC 653-4106
Lessee/DBA (If Applicable) RECEIVED MAR - 9 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 3000 C of O Fee: \$ Total Fee: \$ 50
Current legal use (i.e. single family) 6 UNIT		
If vacant, what was the previous use?		
Proposed Specific use: NEW ROOF		
Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____		
Project description: REMOVE 2ND FLOOR ROOF + 2 COLUMNS AND BUILD NEW FLAT ROOF FOR 1ST FLOOR		
Contractor's name: RICHARD P HAMMOND <input checked="" type="checkbox"/>		
Address: 621 SAWYER ST. Call		
City, State & Zip So PORT ME 04106		Telephone: 317-0798
Who should we contact when the permit is ready: RP HAMMOND		Telephone: 317-0798
Mailing address: ABOVE		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Date: **3/9/10**

This is not a permit; you may not commence ANY work until the permit is issued

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 18

YEAR 19

Rent 1620
7/19/61 925 INST BOKER RENT C. B.

CONSTRUCTION

FOUNDATION	FLOOR CONST.	PLUMBING
CONCRETE	WOOD JOIST	BATHROOM 6 ✓
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM
BRICK OR STONE ✓	MILL TYPE	WATER CLOSET
PIERS	REIN. CONCRETE	LAVATORY
CELLAR AREA FULL ✓	FLOOR FINISH	KITCHEN SINK 6 ✓
1/4 1/2 3/4		B 1 2 3
NO. CELLAR	CEMENT ✓	AUTO. WAT. HEAT
EXTERIOR WALLS	EARTH	ELECT. WAT. SYST.
CLAPBOARDS ✓	PINE	LAUNDRY TUBS
WIDE SIDING	HARDWOOD ✓ ✓	NO PLUMBING
DROP SIDING	TERRAZZO	
NO SHEATHING	TILE	TILING
WOOD SHINGLES		BATH FL. & WCOT.
ASBES. SHINGLES		TOILET FL. & WCOT.
STUCCO ON FRAME	ATTIC FLR. & STAIRS	LIGHTING
STUCCO ON TILE	INTERIOR FINISH	ELECTRIC
BRICK VENEER	B 1 2 3	NO LIGHTING
BRICK ON TILE	PINE ✓ ✓	NO. OF ROOMS
SOLID BRICK	HARDWOOD	BENT. 2ND 8
STONE VENEER	PLASTER ✓ ✓	1ST 8 2RD 8
CONC. OR BIND. BL.	UNFINISHED	OCCUPANCY
	METAL CLG.	SINGLE FAMILY
TERRA COTTA		TWO FAMILY 6 ✓
VITROLITE	RECREAT. ROOM	APARTMENT
PLATE GLASS	FINISHED ATTIC	STORE
INSULATION	FIREPLACE	THEATRE
WEATHERSTRIP	HEATING	HOTEL
ROOFING	PIPELESS FURNACE	OFFICES
ASPH. SHINGLES	HOT AIR FURNACE	WAREHOUSE
WOOD SHINGLES	FORCED AIR FURN.	COMM. GARAGE
ASBES. SHINGLES	STEAM 1 ✓	GAS STATION
SLATE TILE	HOT WAT. OR VAPOR	ECONOMIC CLASS
METAL	NO HEATING 875 62	OVER BUILT
COMPOSITION ✓	✓	UNDR BUILT
ROLL ROOFING	GAS BURNER	ST. 2 1ST 8 2ND 8
INSULATION	OIL BURNER 62 ✓	LB. 2 PD. 84
	STOKER	MS. CR.

COMPUTATIONS

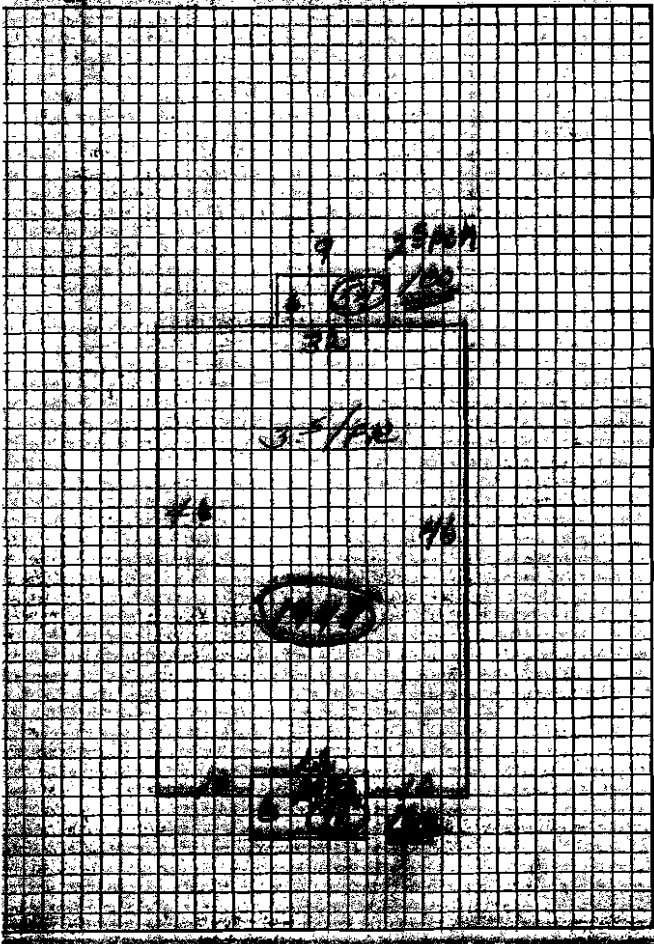
UNIT	1951	
1446. F.	14230	62 ✓
B. F.		
ADDITIONS	+260	
BASEMENT		
WALLS		
ROOF		
FLOORS		
ATTIC		
FINISH		
FIREPLACE		
HEATING	+900 +320	
PLUMBING	+1020	
TILING		
TOTAL	16910	
FACT		
REV. VAL.	16410	15800

SUMMARY OF BUILDINGS

OCCY	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
G.A.P.	35/FR	B	32		F	16410	40%	9850	10%	8860	5025
B						15830	40	9500	10	8550	5149
C											
D											
E											
F											
G											

YEAR	1951	1952	1953	1954	1955	1956	1957	1958	1959	1960	1961
TAX VAL.											
OLD VAL.		5025									
CHANGE											

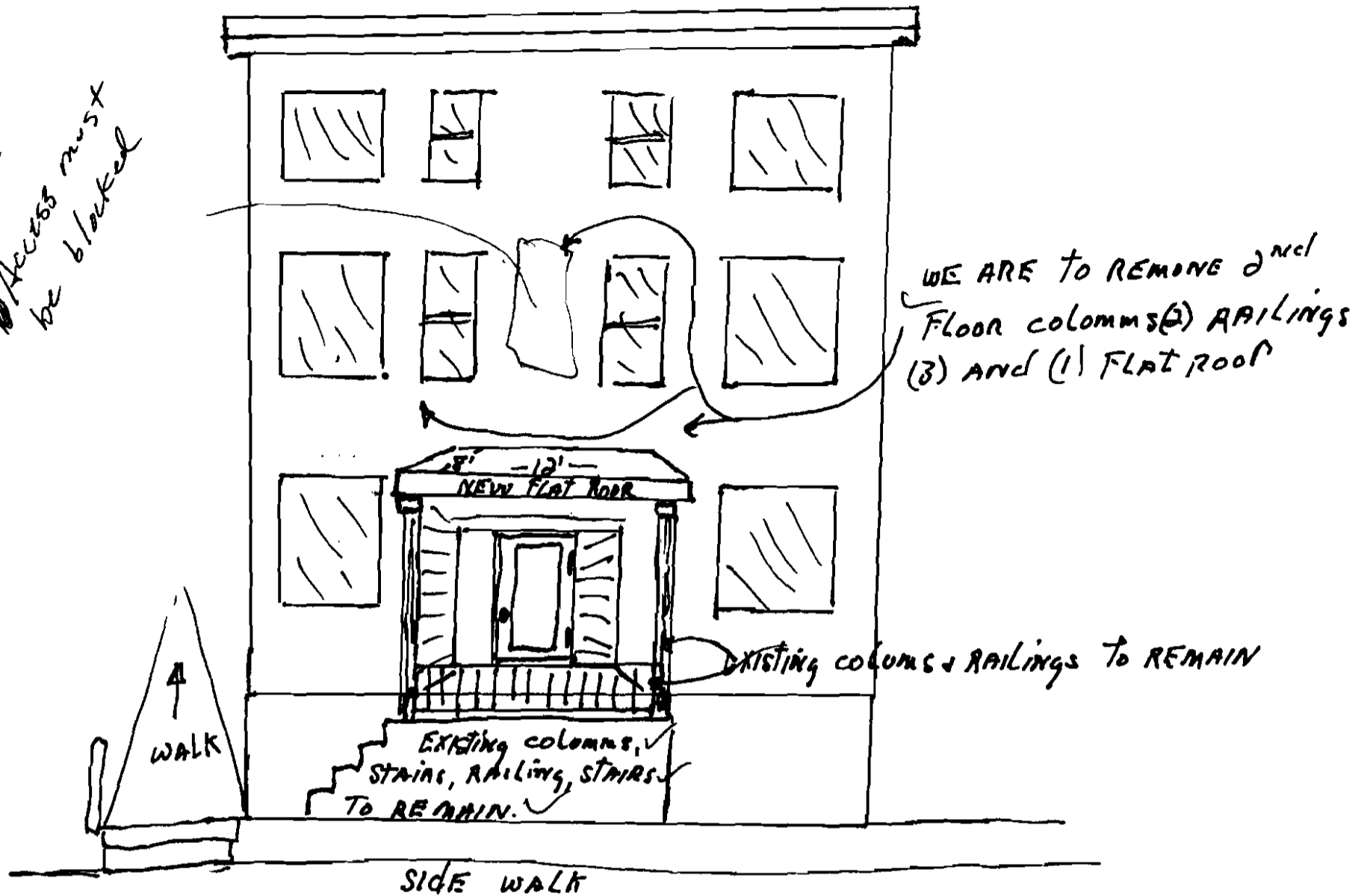
1951 TOTAL BLDGS.		8860	5025
TAX VAL.			
OLD VAL.			
CHANGE			



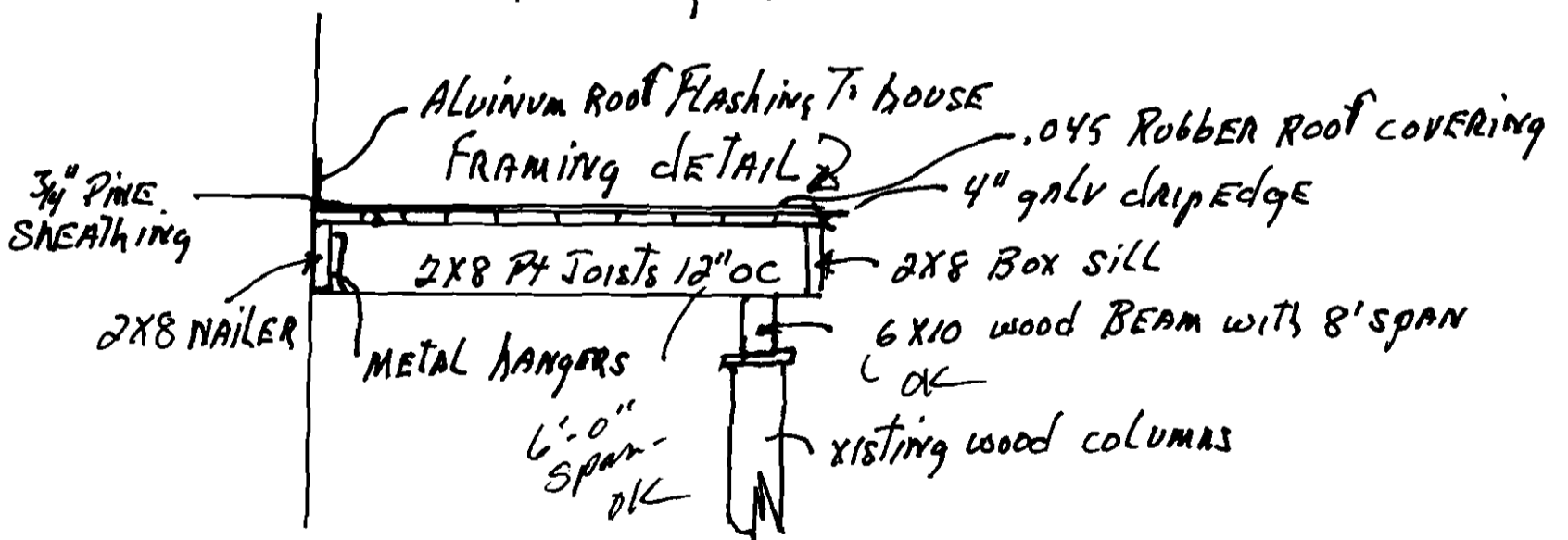
HAMMOND RENTALS LLC

SKETCH of FRONT of BUILDING
WHERE WORK WILL TAKE PLACE

Note -
Access must
be blocked



FRAMING DETAIL



THIS FLAT ROOF WILL BE COVERED WITH ALUMINUM TRIM,
1 GUTTER TO EXISTING DOWN DRAIN, AND VINYL CEILING

HAMMOND RENTALS LLC

