

MELLEN & GRANT STREET

People's Regional Opportunity Program

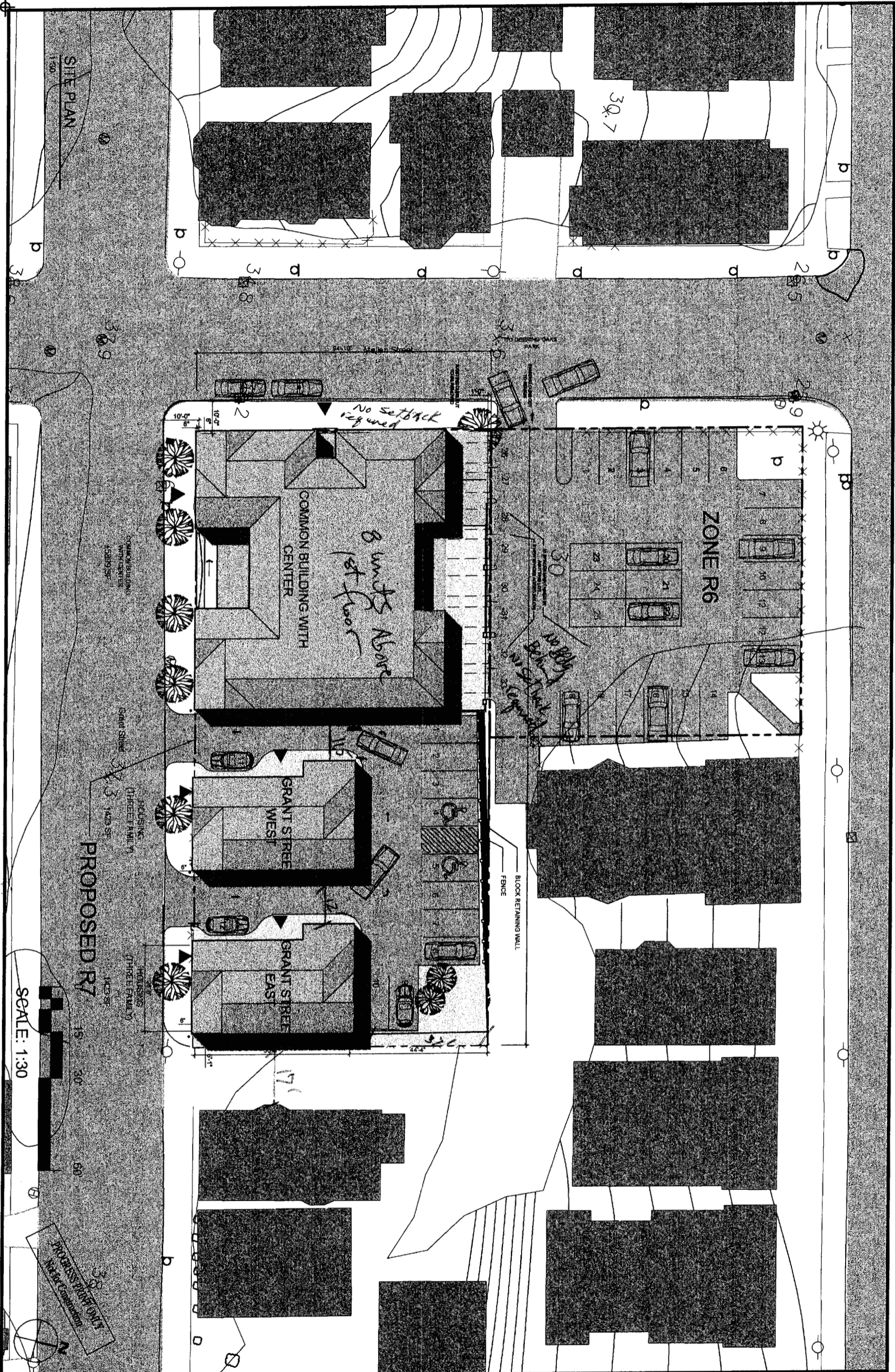
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS

DATE: 16 APRIL 2002
PROJECT NO: 0114
DRAWN BY: DAM
CHECKED BY: TST
SCALE: 1:30

SHEET TITLE
SITE PLAN

ASK 1



SITE PLAN
1:30

ZONE R6

PROPOSED R7

SCALE: 1:30

PROGRESS PHOTO
Near Construction

COMMON BUILDING WITH CENTER

GRANT STREET WEST

GRANT STREET EAST

COMMON BUILDING WITH CENTER ADDRESS

GRANT STREET

HOUSING (THREE-FAMILY)

HOUSING (THREE-FAMILY)

No setback required

No 80% Behind Setback Required

BLOCK RETAINING WALL FENCE

30.7

30.9

1403 ST

1403 ST

171

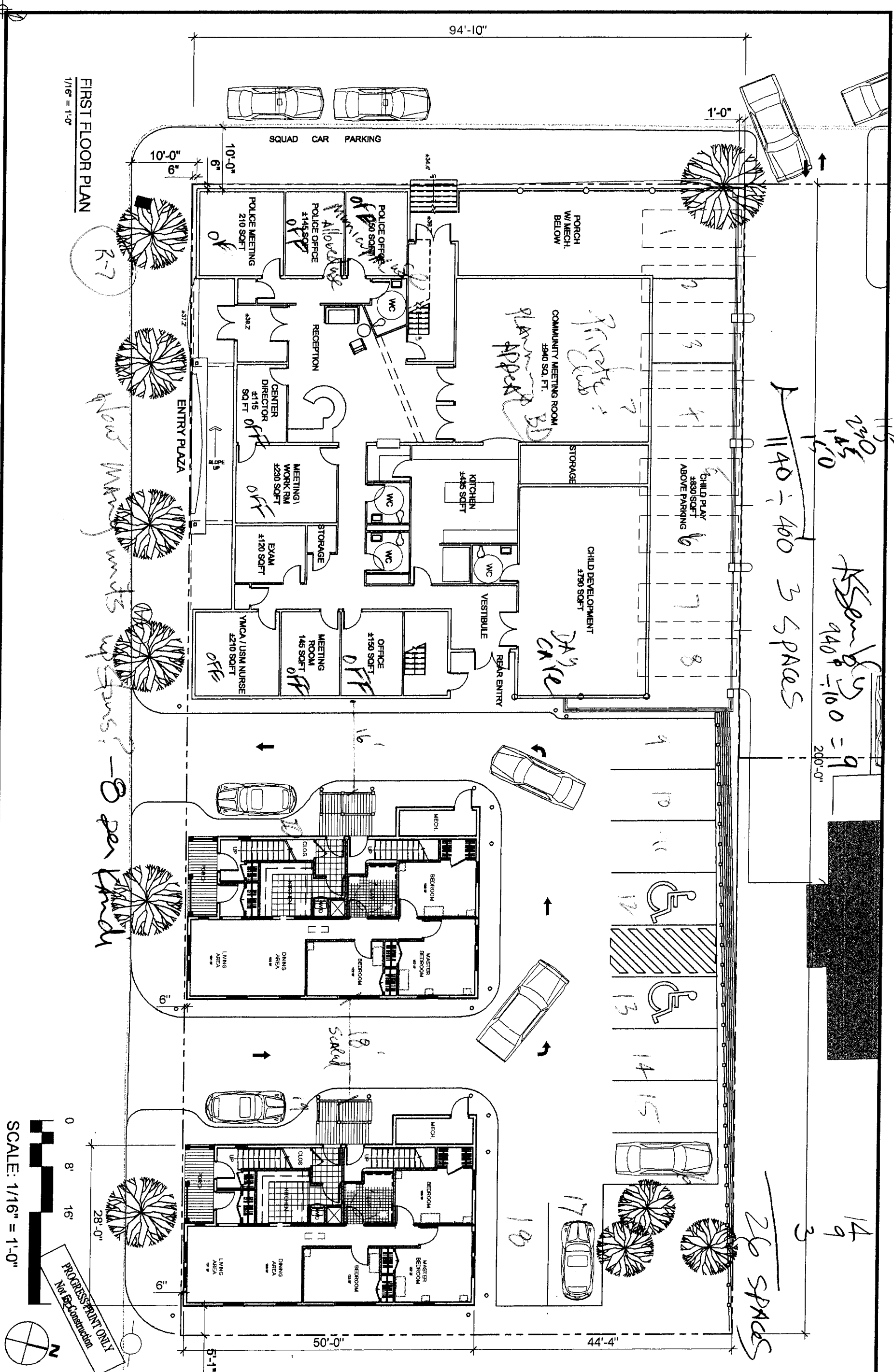
20.5

30.8

30.8

1:30

FIRST FLOOR PLAN
1/16" = 1'-0"



Offices - 150
140
210

290
145
150

ASB...
940 ÷ 100 = 9

1140 ÷ 400 = 3 SPACES

26 SPACES

11

14
3

MELLEN & GRANT STREET
People's Regional Opportunity Program

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TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING
CONSULTANTS

DATE: 16 APRIL 2002
PROJECT NO.: 0114
DRAWN BY: DAM
CHECKED BY: TST
SCALE: 1/16" = 1'-0"

SHEET TITLE
FIRST FLOOR PLANS

ASK
2

Housekeeping work



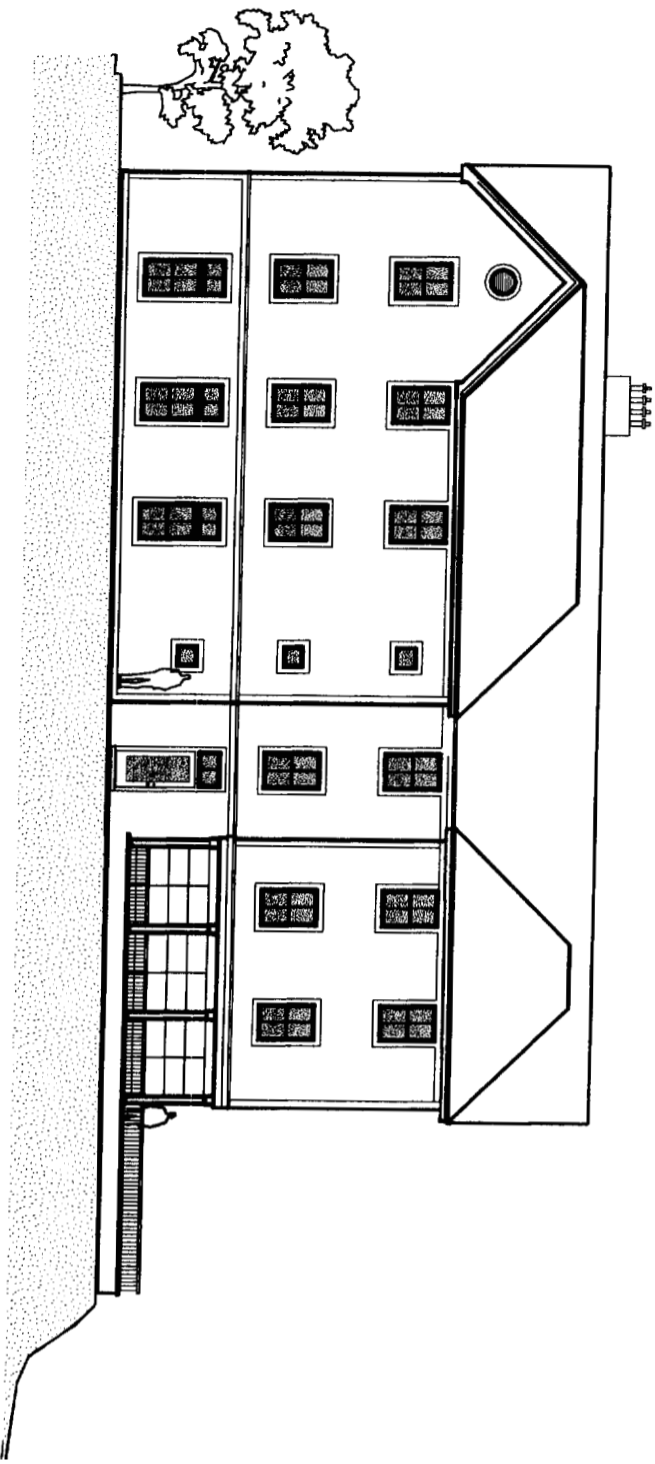
G RANT STREET / SOUTH ELEVATION

MELLEN & GRANT STR
People's Regional Opportunity Pro
Portland, Maine

TFH ARCHIT
100 COMMERCIAL
PORTLAND, MAINE 04101
TELEPHONE 237
ARCHITECTURE F
CONSULTANTS

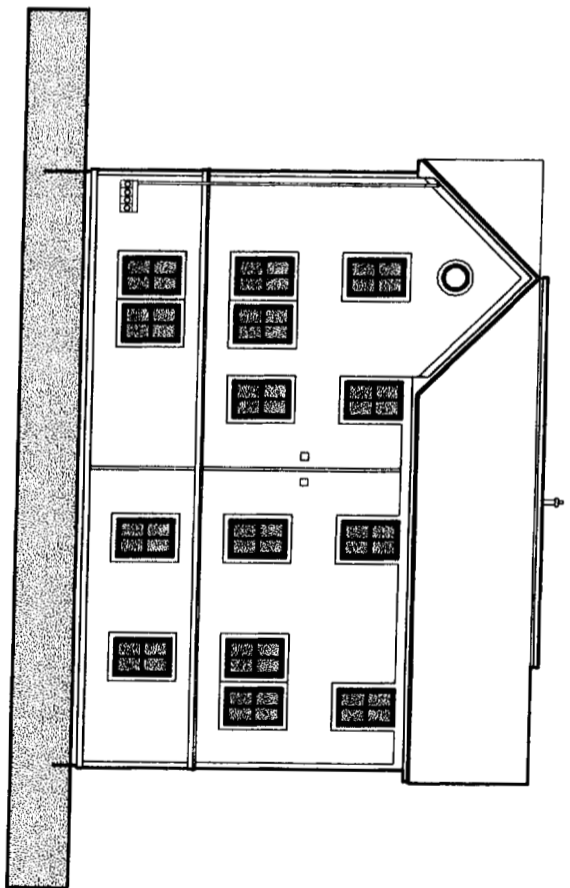
DATE
PROJECT No.
DRAWN BY:
CHECKED BY:
SCALE:
SHEET TITLE
ELEVAT

A



EAST ELEVATION: COMMUNITY BLDG.

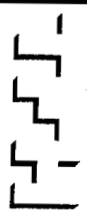
1/16" = 1'-0"



EAST ELEVATION: TRIPLEX

1/16" = 1'-0"

MELLEN & GRANT STREET
 People's Regional Opportunity Program
 Portland, Maine



TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6441
 ARCHITECTURE PLANNING
 CONSULTANTS

DATE	April 16, 2002
PROJECT NO.	0114
DRAWN BY:	dsm
CHECKED BY:	TST
SCALE:	1/8"=1'-0"
SHEET TITLE	ELEVATIONS

MELLEN & GRANT STREET

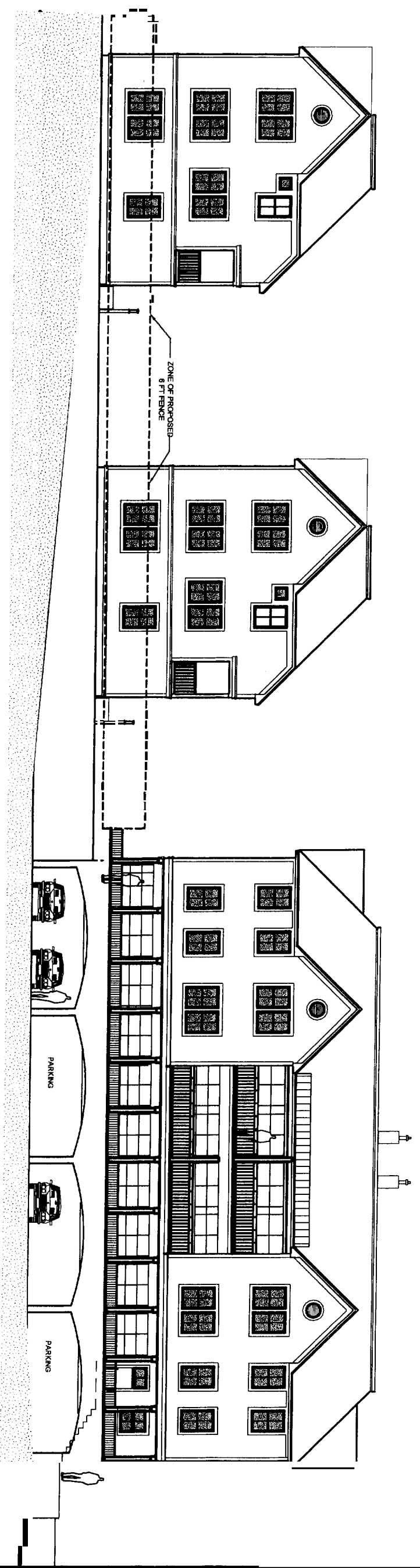
People's Regional Opportunity Program
Portland, Maine



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:

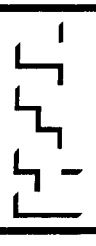
DATE:	April 16, 2002
PROJECT No.:	0114
DRAWN BY:	dam
CHECKED BY:	TST
SCALE:	1/16"=1'-0"
SHEET TITLE:	ELEVATIONS



PARK AVENUE/ NORTH ELEVATION

1/16" = 1'-0"

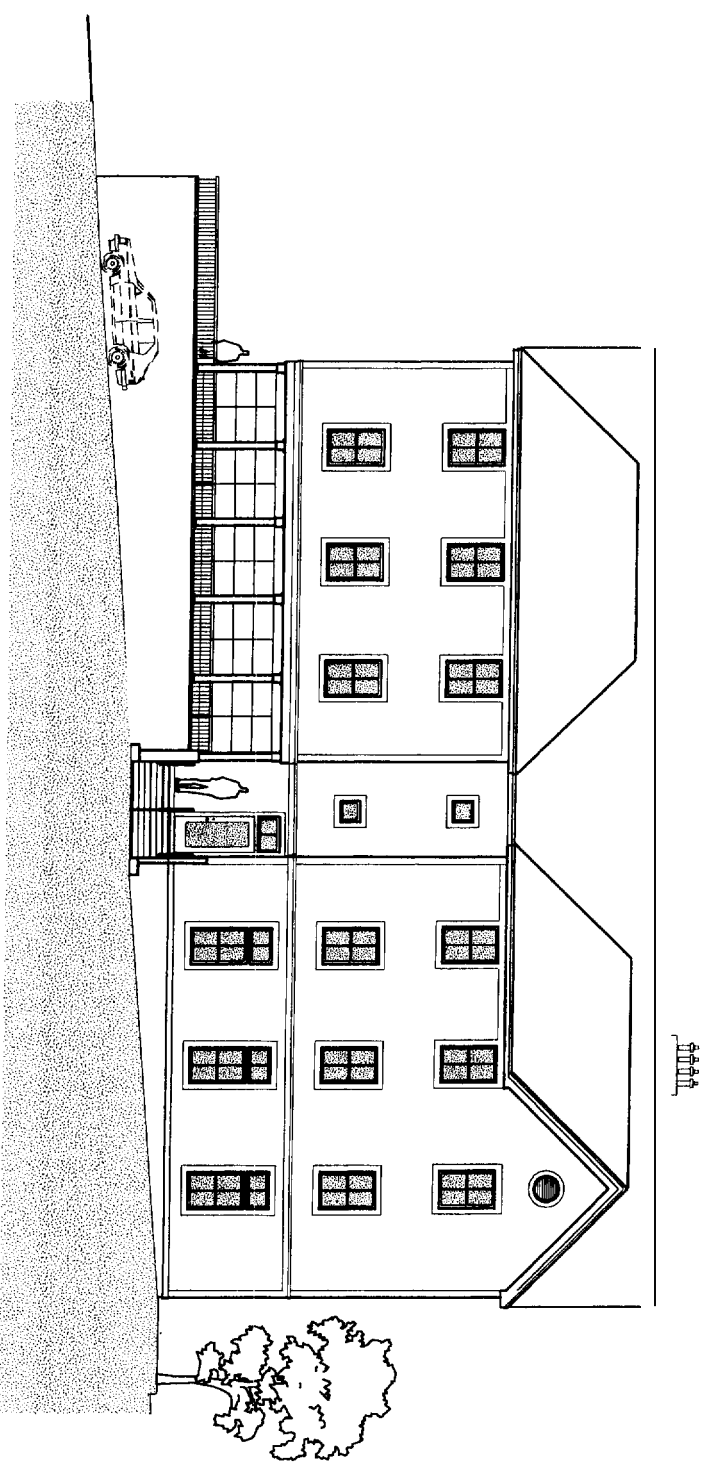
MELLEN & GRANT STREET
People's Regional Opportunity Program
Portland, Maine



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

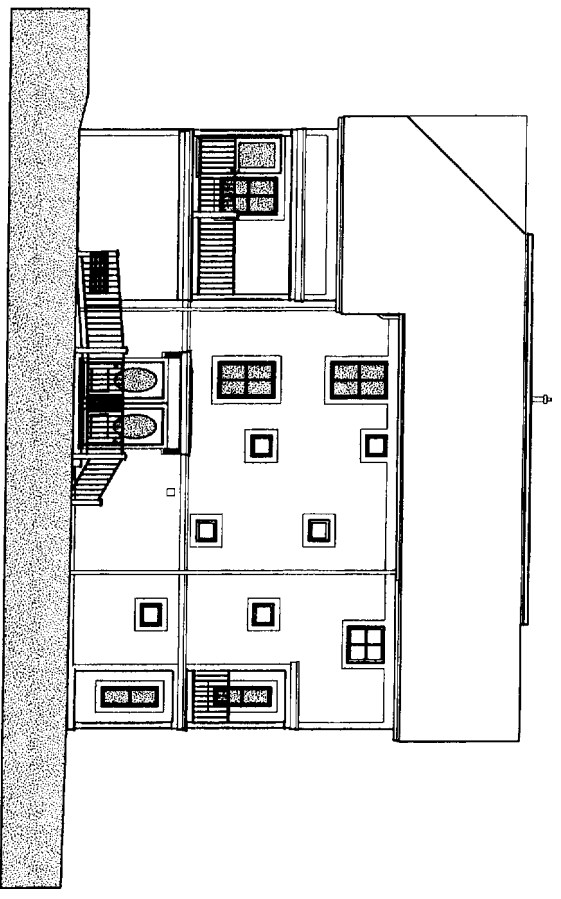
CONSULTANTS:

DATE	April 16, 2002
PROJECT No.	0114
DRAWN BY:	dmm
CHECKED BY:	TST
SCALE	1/16"=1'-0"
SHEET TITLE	ELEVATIONS



MELLEN ST. / WEST ELEVATION: COMMUNITY BLDG.

1/16" = 1'-0"



WEST ELEVATION: TRIPLEX

1/16" = 1'-0"

PLAN REFERENCE

1. PLAN OF DIVISION BETWEEN DEERING AND FREBLE ESTATES RECORDED PLAN BOOK 3, PAGE 31.
2. STANDARD BOUNDARY SURVEY ON SHERMAN STREET AND GRANT STREET MADE FOR CITY OF PORTLAND BY OWEN HASKELL, INC. JULY 23, 2001, CITY FILE NO. 8893.

LOCUS DEED REFERENCE

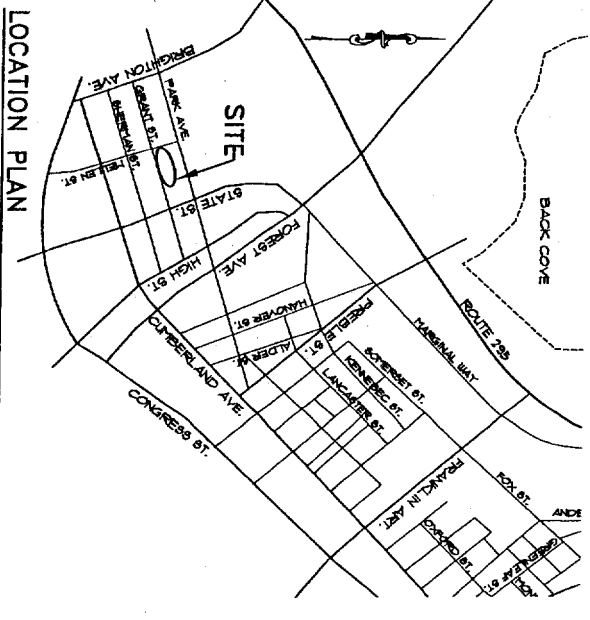
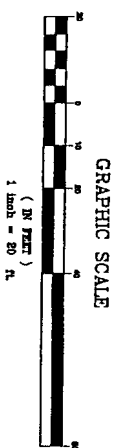
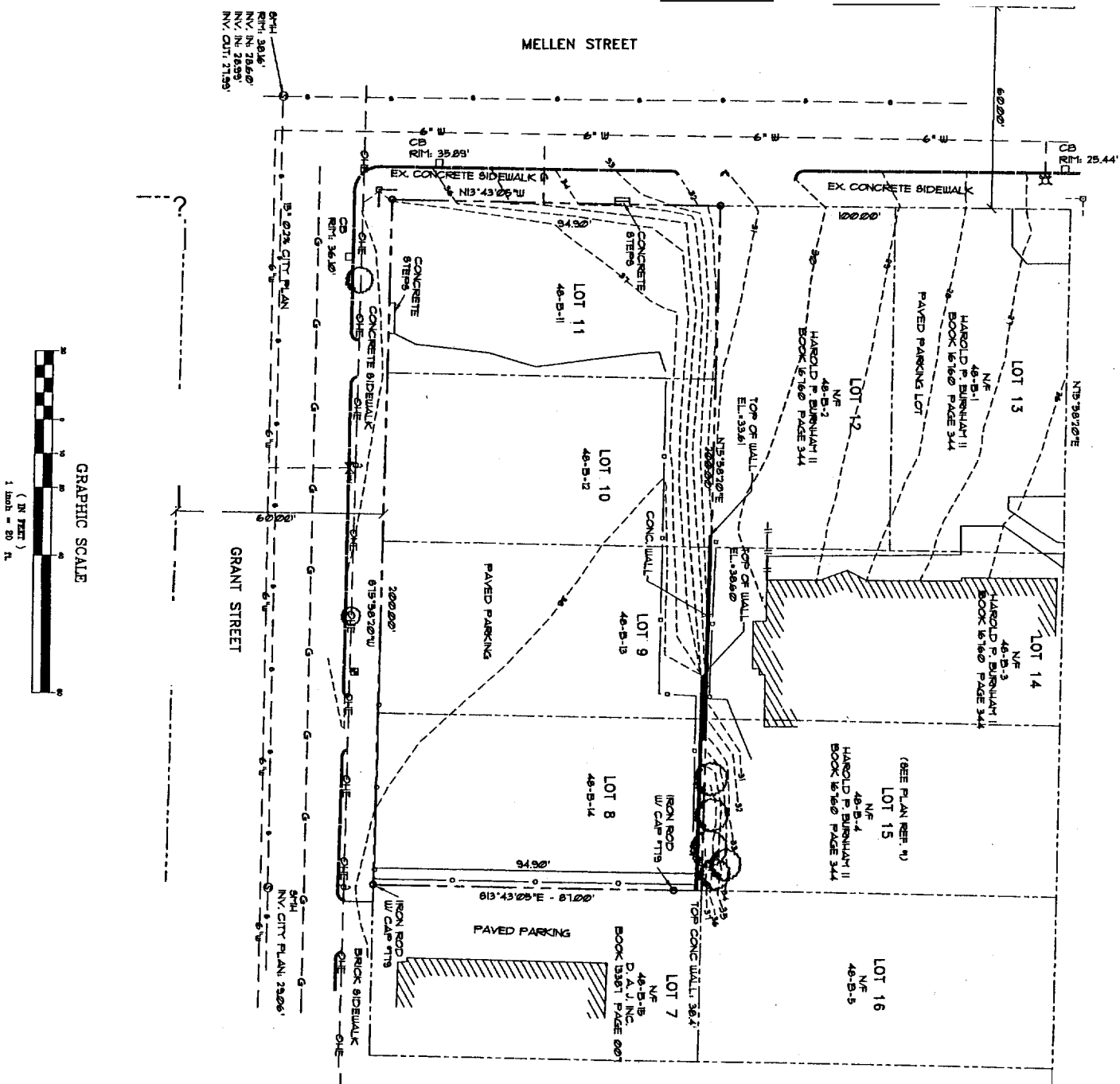
HAROLD F. BURQUAN TO H. RAE BURQUAN AND PATRICIA G. BURQUAN BOOK 3625, PAGE 296 07-09-93.

SURVEY NOTES

1. ELEVATIONS ARE BASED ON CITY DATUM, TOP OF 3" O/S MOUNTAIN NORTH-EAST CORNER OF SHERMAN AND HELLEN STREETS ELEVATION: 5148.
2. ON SITE BRICKLAYS TOP OF IRON ROD W/ CAP AT SOUTHEAST CORNER OF LOCAL ELEVATION: 38.21.
3. UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATIONS AND OR MAPS FROM THE RESPECTIVE UTILITY COMPANIES.

LEGEND

- EXISTING**
- PROPERTY LINE
 - ADJUTANT PROPERTY
 - EDGE OF PAVEMENT
 - CONTOUR
 - BUILDING
 - CONCRETE
 - PAVED
 - CEILING
 - OVERHEAD ELECTRIC
 - STANDARD SEWER
 - WATER DRAIN
 - STORM DRAIN
 - WATER LINE
 - WIRE
 - CATCH BASIN
 - UTILITY POLE
 - TREE/TREELINE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - CONCRETE WALL
 - HYDRANT
 - GATE VALVE
 - WATER METER
 - WATER MOUNTED - 3" O/S
 - IRON PIPE W/ CAP - 4" IS
 - IRON PIPE W/ CAP - 6" IS



GENERAL NOTES

1. OWNER/DEVELOPER: PEOPLES REGIONAL OPPORTUNITY PROGRAM 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04201
2. ARCHITECT: THY ARCHITECTS, PORTLAND, MAINE
3. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE
4. BOUNDARY AND TOPOGRAPHY TAKEN FROM PLAN SHOWING A STANDARD BOUNDARY AND SITE SURVEY MADE FOR PFC INC, PORTLAND REGIONAL OPPORTUNITY PROGRAM, GRANT AND HELLEN STREET, PORTLAND, MAINE BY DANIEL J. DALPONDO, LLC, BOTH PORTLAND, MAINE DATE 07-18-02. BRICKLAYS SEE BAKERY NOTE 2.
5. ZONE: R-6, RESIDENTIAL
6. TAX MAP REFERENCE: MAP 46, BLOCK B, LOT 11 THRU 14.
7. TOTAL PARCEL: 957872 S.F.

Daniel J. Dalpondo
2/27/02

PINKHAM & GREER

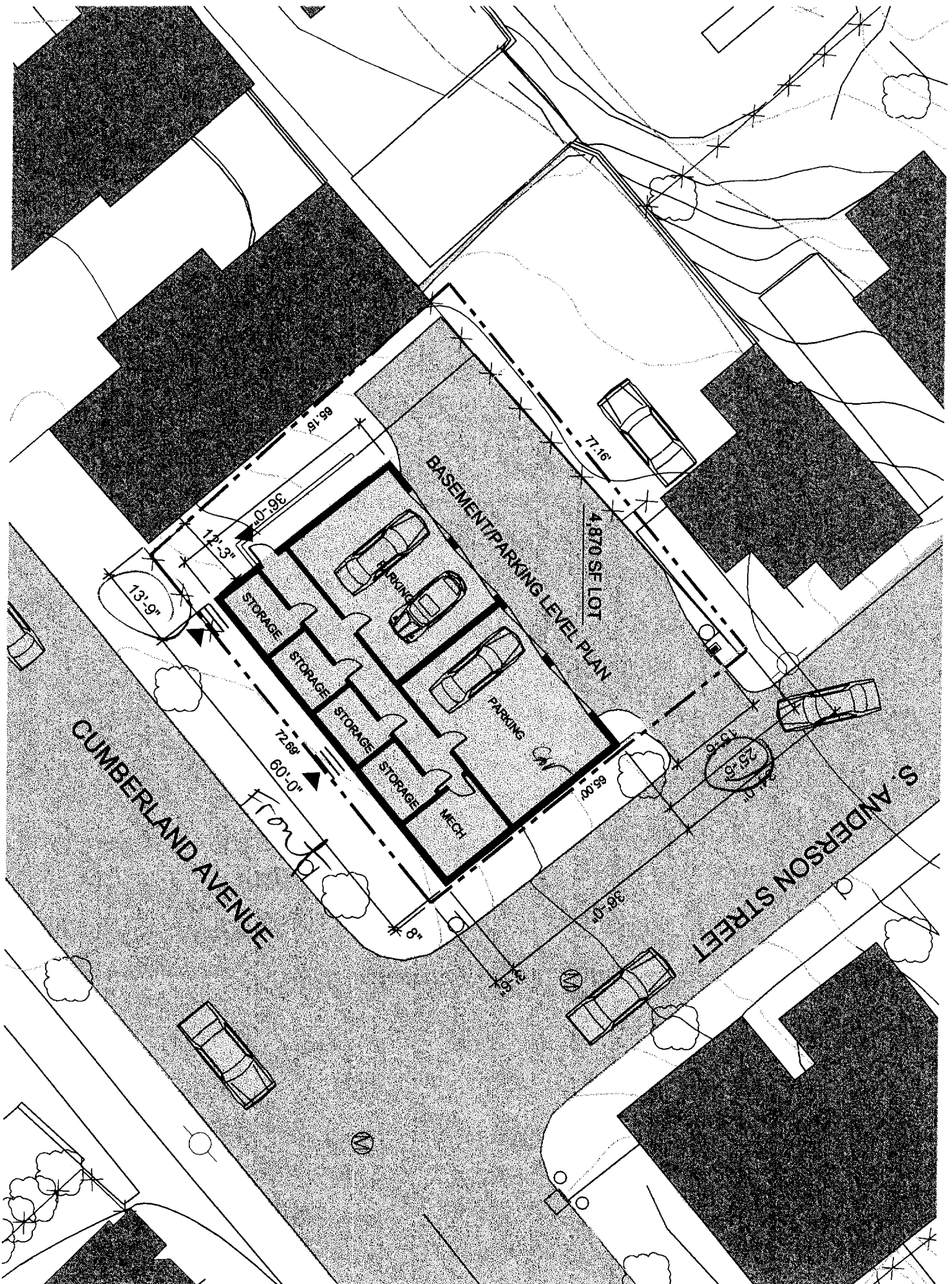
EXISTING CONDITION PLAN

REV.	DATE	DESCRIPTION

PEOPLES REGIONAL OPPORTUNITY PROGRAM
510 CUMBERLAND AVE. PORTLAND ME
GRANT STREET
GRANT STREET, PORTLAND

CONSULTING ENGINEER: PINKHAM & GREER
REGISTERED PROFESSIONAL ENGINEER
SCALE: AS SHOWN DRN BY: RJB
DATE: MARCH 26, 2002 DESG BY: TSS
PROJECT: 01404 CHK BY: TSS

C1



1 SITE PLAN
1" = 20'-0"

ZONING REQUIREMENTS

ZONE R7: COMPACT URBAN RESIDENTIAL OVERLAY ZONE
PERMITTED USES: RESIDENTIAL USES AS PERMITTED IN THE R6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:

- 1. MINIMUM LOT SIZE: NONE
- 2. MINIMUM STREET FRONTAGE: NONE
- 3. MINIMUM YARD DIMENSIONS: NONE**

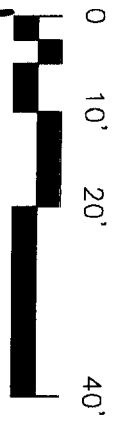
** EXCEPT THAT ON LOTS OR PORTIONS OF LOTS WHICH ABUT A LOT UNDER SEPARATE OWNERSHIP WITH EXISTING RESIDENTIAL DEVELOPMENT, THE SIDE OR REAR SETBACKS OF THE R6 ZONE SHALL APPLY IN AREAS ADJACENT TO SUCH ABUTTING RESIDENTIAL LOT. IN NO CASE, HOWEVER, SHALL THIS PROVISION REQUIRE A SETBACK SUCH THAT THE DISTANCE BETWEEN THE EXISTING RESIDENTIAL BUILDING AND PROPOSED NEW RESIDENTIAL STRUCTURE EXCEED THE COMBINED SETBACKS OF THE RESPECTIVE ZONES.

- 4. MAXIMUM LOT COVERAGE: 100%
- 5. MAXIMUM RESIDENTIAL DENSITY: 435 s.f. PER DWELLING UNIT
- 6. MAXIMUM BUILDING HEIGHT: 50 FEET

PARKING: 1 PARKING SPACE PER DWELLING UNIT

GENERAL NOTES

BUILDING FOOTPRINT: 2,180 s.f.
LOT SIZE: 4,870 s.f.
BLDG. FOOTPRINT AS % OF LOT SIZE: 44 %
PARKING: 4 SPACES



Scale: 1" = 20'-0"

725' x 4' = 2900' min reg for lot

4870' shown - 0' E

4 spaces shown in reg

rear: 20' reg - 25' s' shown -

side: 10' reg - 13'9" shown

100% lot cover. as reg

PROGRESS PRINT ONLY
Not for Construction

habitable space: 400' min?

backing: 50'

CUMBERLAND/ S. ANDERSON
PROP FAMILY HOUSING
PORTLAND, MAINE

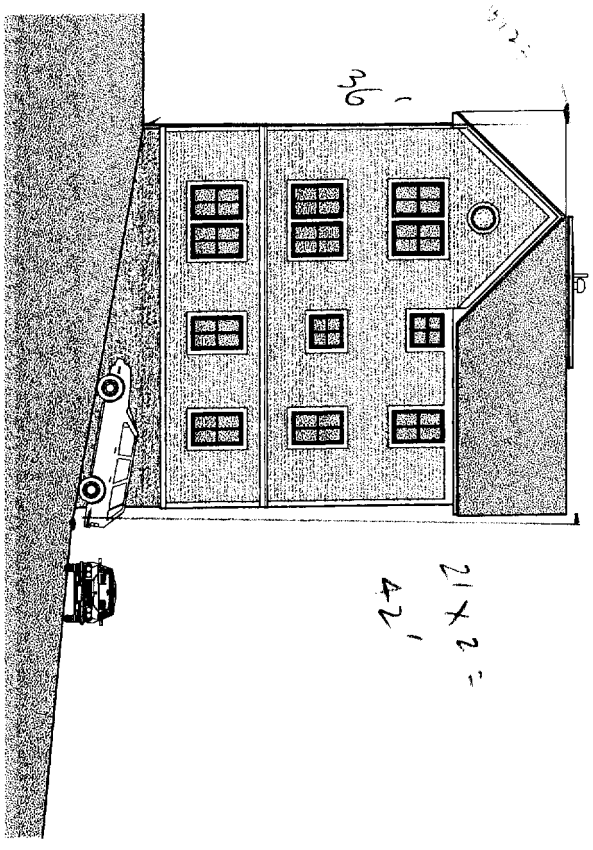
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND, MAINE 04101
TELEPHONE 207.778.81
ARCHITECTURE PLANNING

REVISIONS

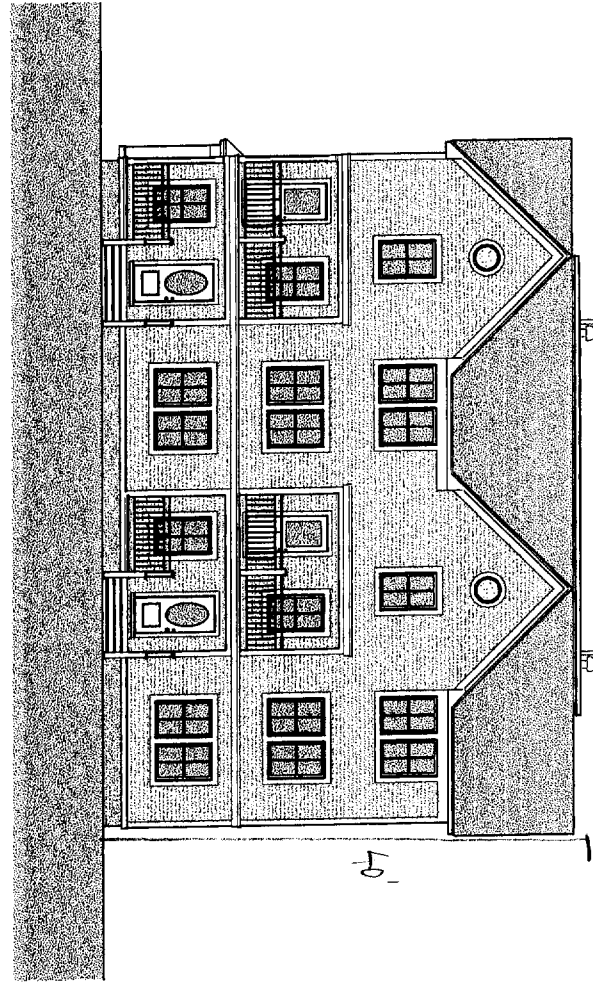
- 1 3/26/02
- 2 4/16/02

DATE:	2/28/02
PROJECT No.:	0114
DRAWN BY:	CSC
CHECKED BY:	TST
SCALE:	AS NOTED
SHEET TITLE:	SITE PLAN

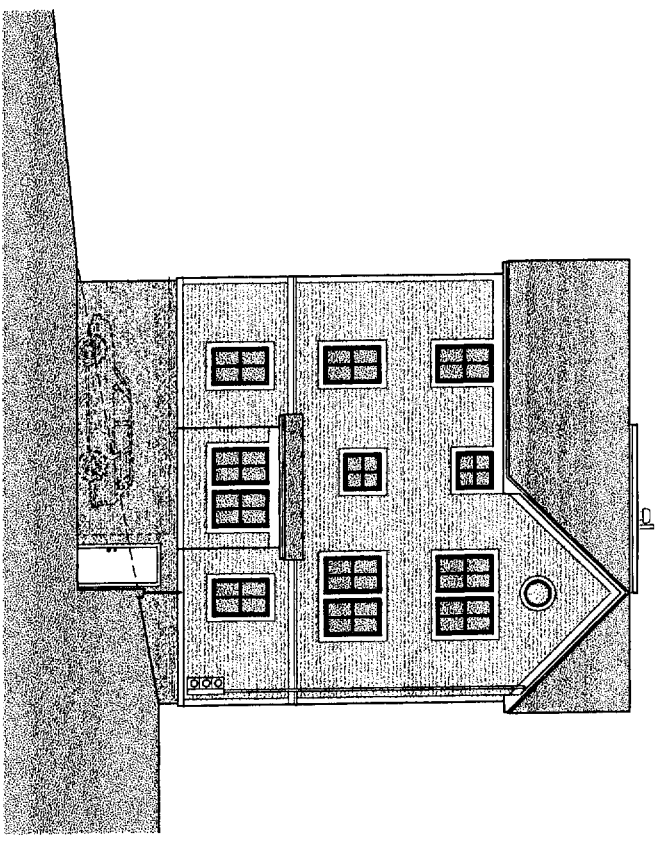
C1-1



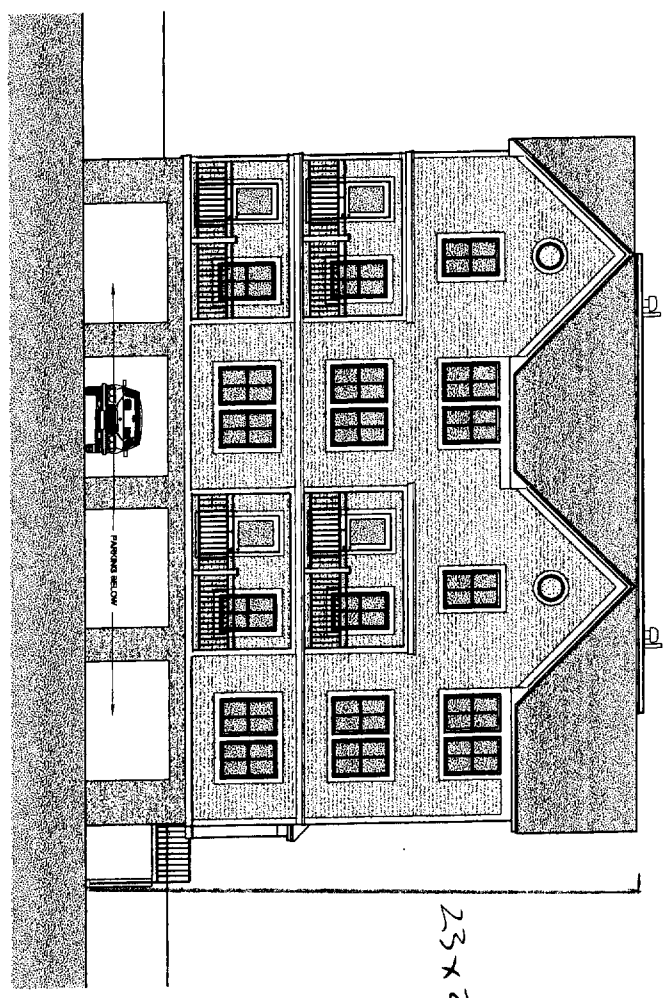
2
NORTHEAST
1/16" = 1'-0"



1
SOUTHEAST
1/16" = 1'-0"



4
SOUTHWEST
1/16" = 1'-0"



23 x 2 = 46'

PROGRESS PRINT ONLY
Not for Construction

CUMBERLAND/ S. ANDERSON
PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:

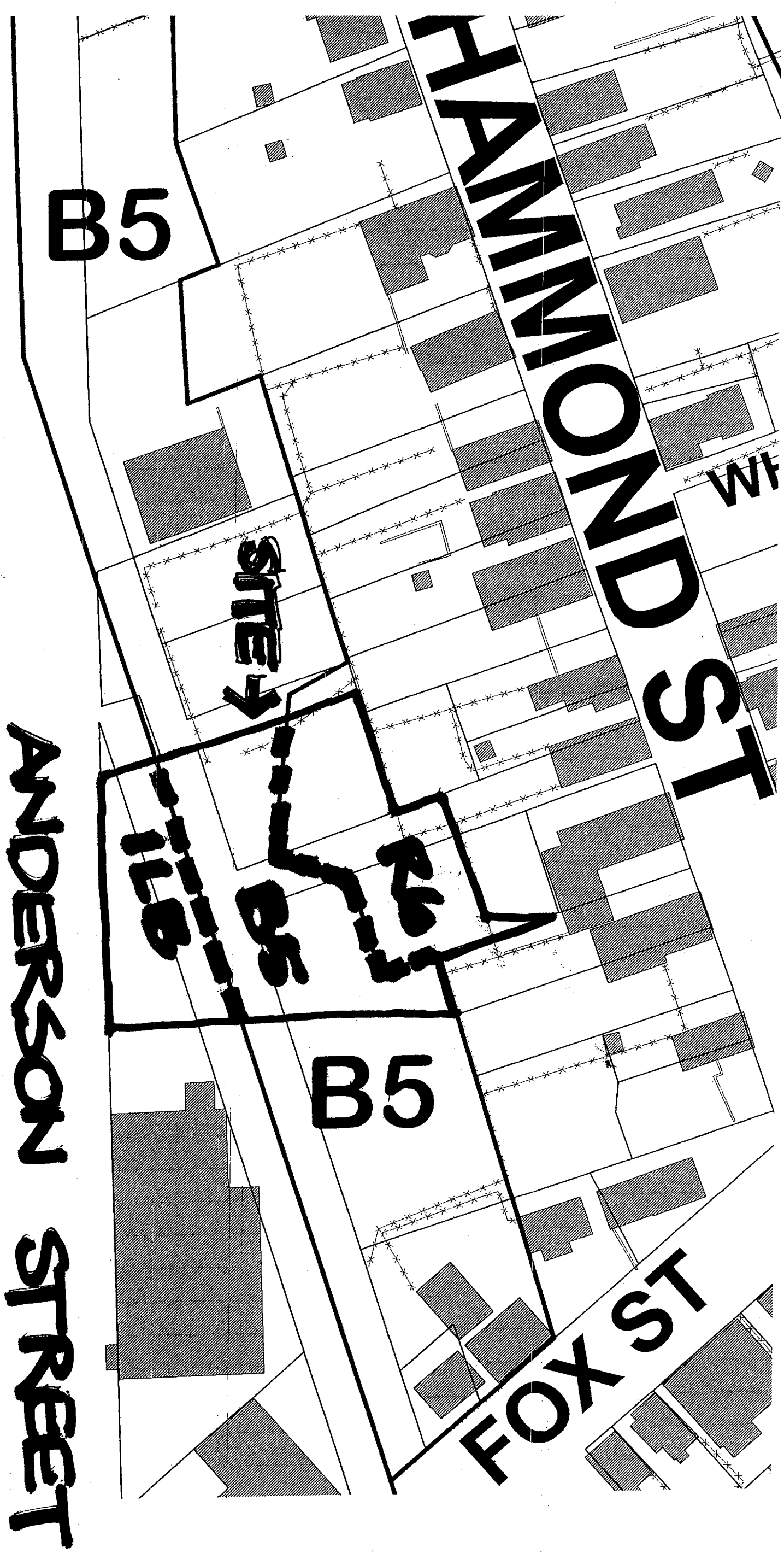
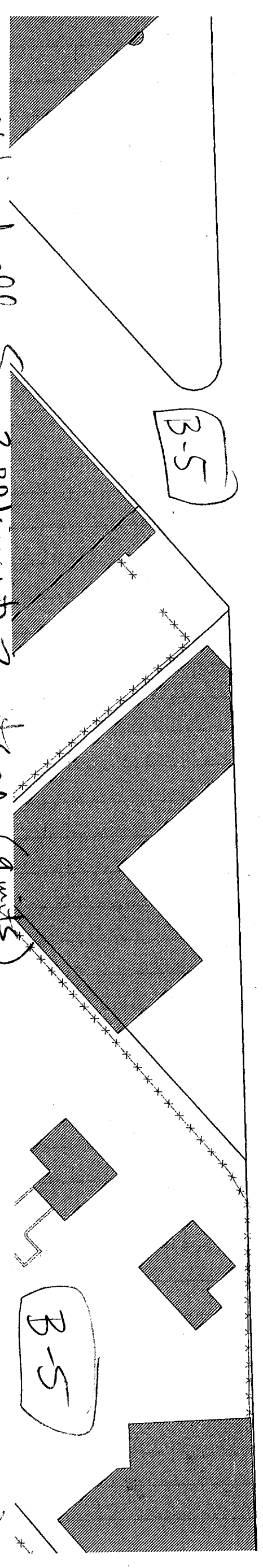
DATE:	April 16, 2002
PROJECT No:	0114
DRAWN BY:	CSC
CHECKED BY:	TST
SCALE:	AS NOTED
SHEET TITLE:	ELEVATIONS

A2-1

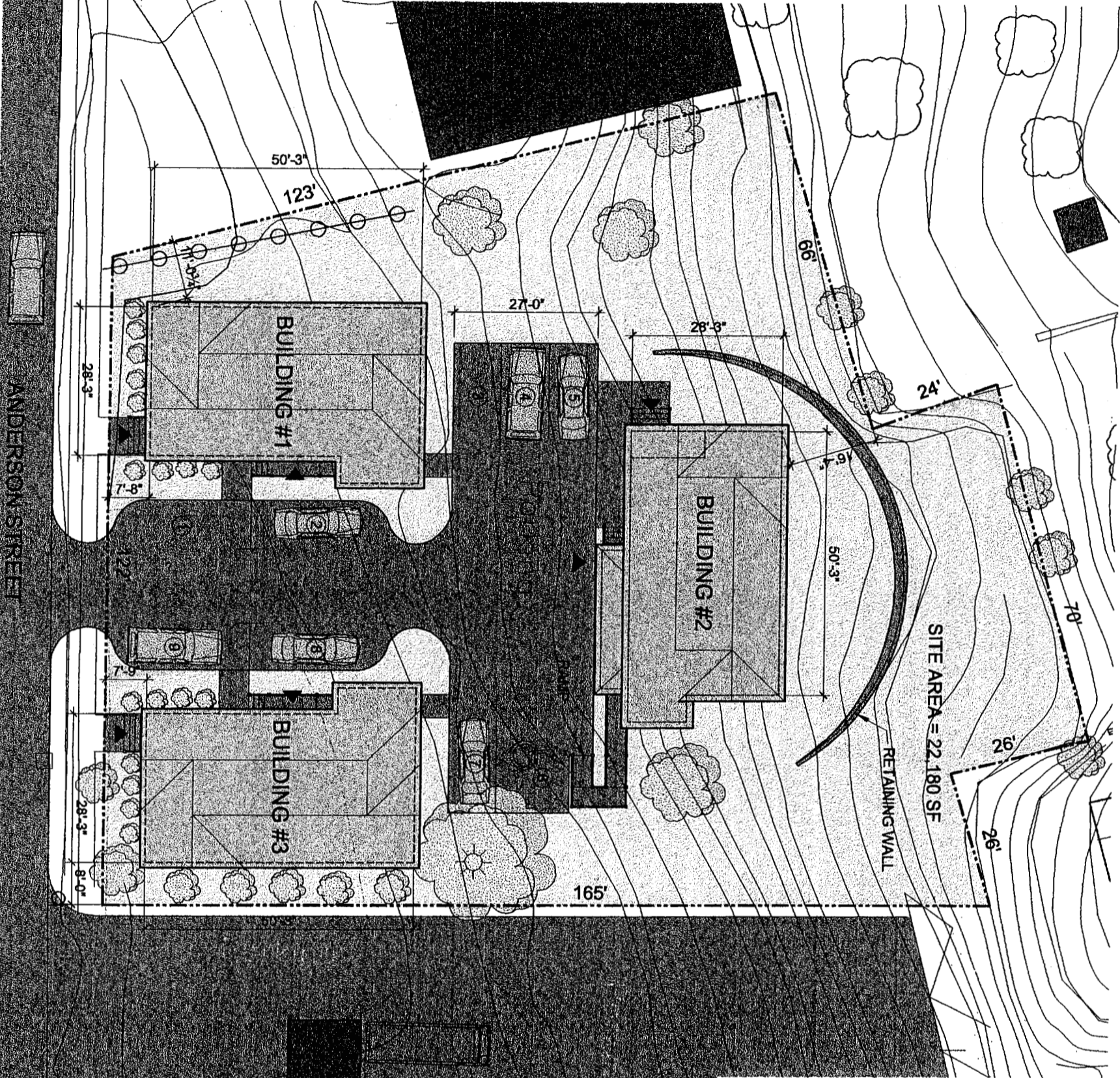
Allowed uses: multifamily dwellings
min lot size - none
yard dimensions - none
max Bldg height = 65'

3 Bldgs with 3 units ea (9 units)
60 units per Ave. $(43560 \div 60 = 726)$

$726 \times 9 = 6534$ # $(22,180$ given)
14 - 2305 sq ft no off street parking shall be 10' 45" wide

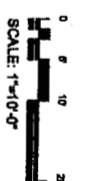
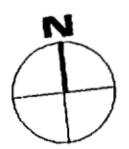


1 SITE PLAN



ANDERSON STREET

PROGRESS PRINT ONLY
Not for Construction



ZONING REQUIREMENTS	
ZONE B5: URBAN COMMERCIAL MIXED USE ZONE	
PERMITTED USES: RESIDENTIAL USES ABOVE THE FIRST STORY OF BUILDINGS IN EXISTENCE ON APRIL 25, 1989 AS PERMITTED IN THE B5 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:	
1. MINIMUM LOT SIZE:	NONE
2. MINIMUM STREET FRONTAGE	NONE
3. MINIMUM YARD DIMENSIONS	NONE
4. MAXIMUM LOT COVERAGE:	100 %
5. MAXIMUM RESIDENTIAL DENSITY:	80 DWELLING UNITS PER ACRE
6. MAXIMUM BUILDING HEIGHT:	65 FEET
PARKING: 1 PARKING SPACE PER DWELLING UNIT	

GENERAL NOTES	
BUILDING FOOTPRINT:	3 @ 1400 = 4200 s.f.
LOT SIZE:	22,180 s.f.
BLDG. FOOTPRINT AS % OF LOT SIZE:	19 %
PARKING:	9 SPACES

C1-1

DATE:	March 25, 2012
PROJECT NO.:	
DRAWN BY:	CSC
CHECKED BY:	TBT
SCALE:	1"=10'-0"
SHEET TITLE:	SITE PLAN



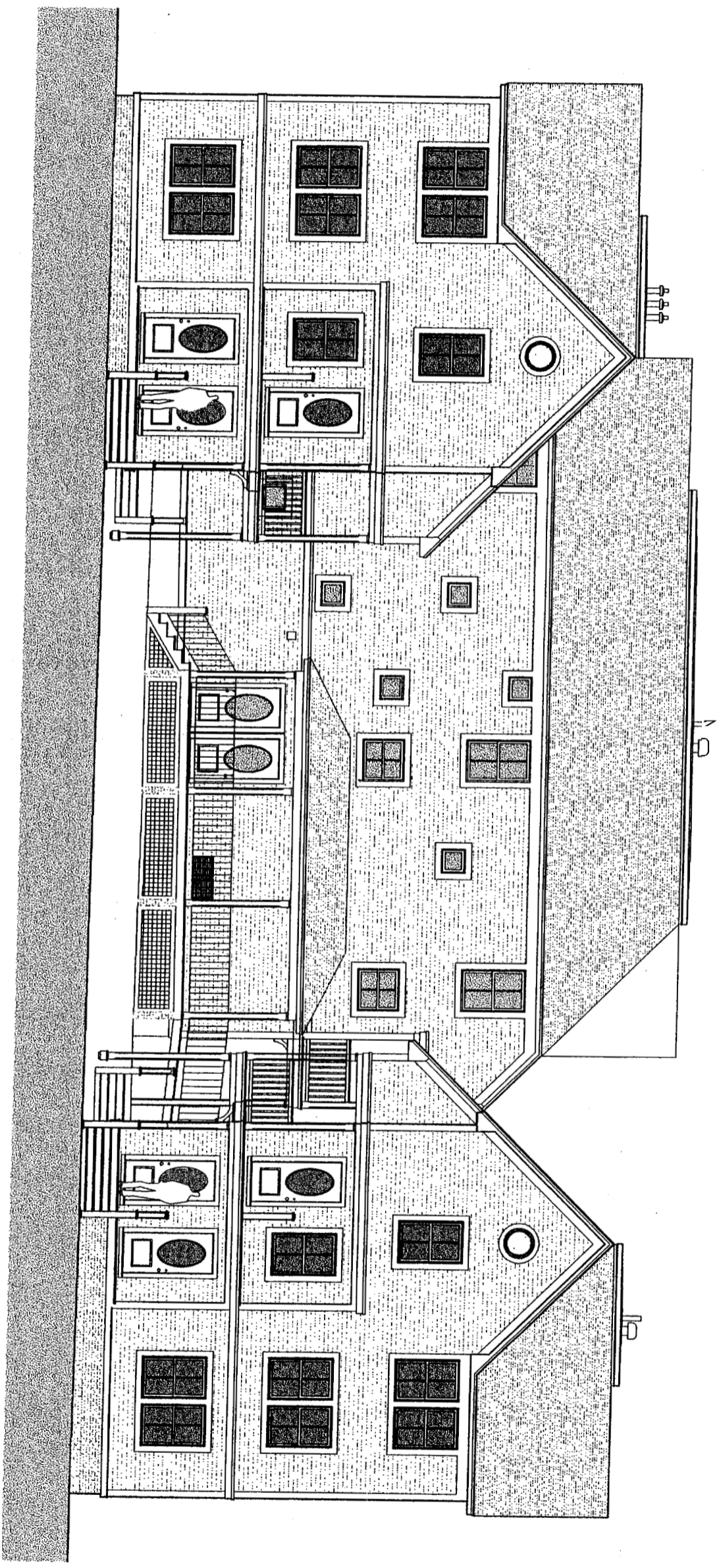
© 2012 TTH ARCHITECTS

ANDERSON STREET

PROP FAMILY HOUSING

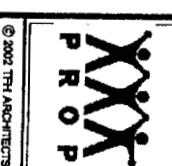
PEOPLE'S REGIONAL OPPORTUNITY PROGRAM: PORTLAND, ME

TTH ARCHITECTS
180 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 9441
ARCHITECTURE PLANNING CONSULTANTS



1 STREET ELEVATION
1/4" = 1'-0"

Not to Scale?

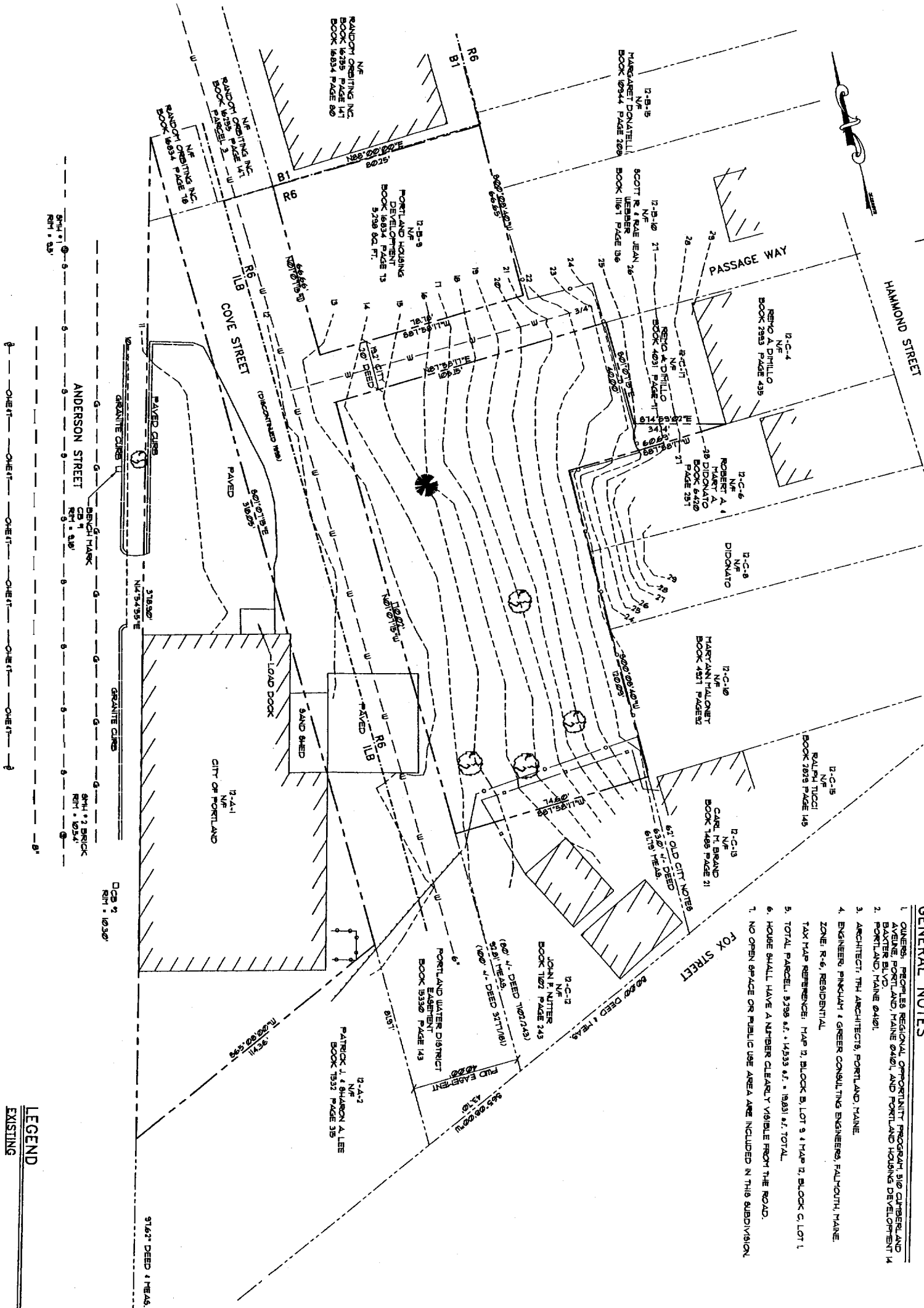
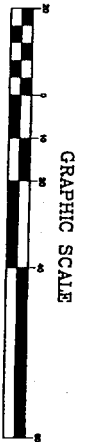


ANDERSON STREET
PROP FAMILY HOUSING
PEOPLE'S REGIONAL OPPORTUNITY PROGRAM; PORTLAND, ME

THA ARCHITECTS
100 CONNOR'S STREET
PORTLAND, ME 04101
TELEPHONE: 207.774.9141
ARCHITECTURAL PLANNING
CONSULTANTS

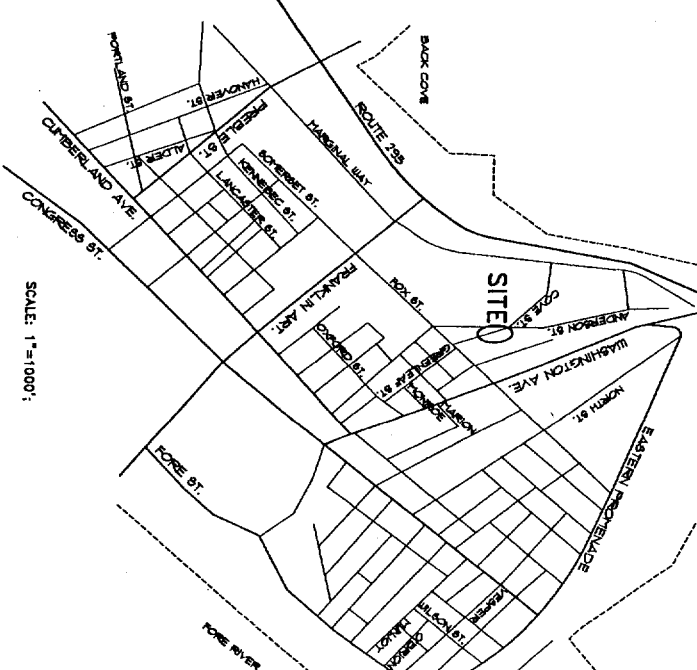
DATE: March 26, 2002
PROJECT NO.:
DRAWN BY: OAS
CHECKED BY: TST
SCALE: As Noted
SHEET TITLE:
STREET
ELEVATION

A1-2



GENERAL NOTES

1. OWNER: PEOPLES REGIONAL OPPORTUNITY PROGRAM 510 CLIFTERLAND AVENUE PORTLAND, MAINE 04107, AND PORTLAND HOUSING DEVELOPMENT 14 BAYTER BLVD PORTLAND MAINE 04101.
2. ARCHITECT: THJ ARCHITECTS, PORTLAND, MAINE.
3. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
4. ARCHITECT: THJ ARCHITECTS, PORTLAND, MAINE.
5. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
6. TAX MAP REFERENCE: MAP 12, BLOCK B, LOT 3 & MAP 12, BLOCK C, LOT 1.
7. TOTAL PARCEL, 5,298 S.F. = 14,533 S.F. = 1,931 S.F. TOTAL.
8. HOUSE SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
9. NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.



PLAN REFERENCE

1. STANDARD BOARDING SURVEY EXISTING CONDITIONS PLAN COVE STREET PORTLAND MAINE REVISED THROUGH 11-6-99 BY DEPT ASSOCIATES RECORDED PLAN BOOK 193 PAGE 592.
2. PLAN OF DIVISION OF LOTS BETWEEN LITTLE, WEBER & HOODY RECORDED BOOK 36 PAGE 247.

LOCUS DEED REFERENCE

1. CITY OF PORTLAND TO PORTLAND HOUSING DEVELOPMENT CORPORATION BOOK 12635 PAGE 206 (12-B-3 AND 12-C-1)
2. PORTLAND REVENUE AUTHORITY TO THE CITY OF PORTLAND BOOK 11771 PAGE 81 PARCEL ONE + 12-C-1 + PARCEL TWO + 12-B-3
3. IRVING G. HAINES TO SLIM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2375 PAGE 179, 184 & 186
4. PAUL E. AND HALE E. DORNINGTON TO SLIM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2663 PAGE 191.
5. MICHAEL T. KANE ET AL TO SLIM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2887 PAGE 711.
6. ELIZABETH H. GRUBBEN TO SLIM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2546 PAGE 445.

SURVEY NOTES

1. UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATION SHOWN BASED ON PHYSICAL LOCATION AND ON MAPS FROM RESPECTIVE UTILITIES.
2. ELEVATIONS SHOWN ARE BASED ON CITY DATA.

LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ADJUTERS PROPERTY
---	EDGE OF PAVEMENT
---	CONTIGUOUS BUILDINGS
---	DRIVE
---	OVERLAP ELEC. & TEL. GUARDRAIL
---	SANITARY SEWER
---	STORM DRAIN
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	SEWER MANHOLE
---	TELEPHONE MANHOLE
---	TRANSFORMER
---	CANAL
---	UTILITY POLE
---	TREES/SHRUBS
---	CHAIN LINK FENCE LINE
---	PICKET FENCE
---	GAS VALVE
---	ZONING DISTRICT

<p>CONSULTING ENGINEER PINKHAM & GREER</p>	
<p>SURVEY PLAN</p>	
<p>PEOPLES REGIONAL OPP. PROGRAM PORTLAND HOUSING DEVELOPMENT PORTLAND, MAINE ANDERSON STREET PHA</p>	
REV.	DESCRIPTION

SCALE:	AS SHOWN	DRN BY:	RUB
DATE:	MARCH 25, 2002	DESG BY:	TSC
PROJECT:	01417	CHK BY:	TSC