

Addendum #2

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 20, 2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

CC:

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 29, 2004. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

Addendum #1 dated 2/12/04

ATTACHMENTS TO THE ADDENDUM

- 2-1 Drawing SKA 12, dated 2/17/04
- 2-2 Specification Section 08800 - Glazing

CHANGES TO THE SPECIFICATIONS

- 2-3 Section 07620, Paragraph 2.4, C - DELETE 'NIC' reference.
- 2-4 Section 07620, Paragraph 2.6, B & C - DELETE 'NIC' references.
- 2-5 Section 07620, Paragraph 2.6, D & E - DELETE 'MCS' references.
- 2-6 ADD Section 08800, Glazing
- 2-7 Section 09680, Paragraph 2.4, - ADD the following section
 - E. Concrete slab primer: Nonstaining type provided by the following:
 - 1. Sealflex pH blocker primer designed to reduce moisture vapor emission.
- 2-8 Section 09680, Paragraph 2.4, - ADD the following section
 - F. Adhesive (Concrete substrate): High solids water based acrylic adhesive, resistant to moisture vapor emission up to 8 pounds per 1000 square feet in 24 hours.
 - 1. Sealflex ultrabond Adhesive.
- 2-9 Section 09680, paragraph 3.01, ADD the following section:
 - E Concrete subfloors: Verify that concrete slabs comply with ASTM F 710 and the following:
 - 1. Slab substrates are dry and free of curing compound, sealers, hardeners, and other materials that may interfere with adhesive bond. Determine adhesion and dryness characteristics by performing bond and moisture test recommended by carpet manufacturer, carpet cushion manufacturer and with the following specified requirements:
 - a. An independent testing agency shall perform calcium chloride moisture tests on concrete slabs on ground to receive carpet at the rate of 1 test per 1000 square feet of floor area at locations receiving glue down installation.

- b. Maintain a minimum temperature of 70 deg F in spaces to be tested for at least 72 hours prior to and during the test.
 - c. Tests shall be conducted in accordance with ASTM 1869-02, except that the area of the CaCl² dish shall not be deducted.
 - 2. Concrete pH Test: Perform pH tests on concrete floors regardless of age or grade level.
 - 3. Subfloors are free of cracks, ridges, depression, scale, and foreign deposits of any kind.
- 2-10 Section 09680, Paragraph 3.03, ADD the following section:
 H Direct Glue Down Installation (Concrete surfaces): Comply with CRI 104, Section 8, "Direct Glue-Down installation" for basement level installation.
- 2-11 Section 15991, Air Temperature Control (Electric), Paragraph 1.02 (B), ADD the following item:
 e. Northeast Controls.

CHANGES TO THE GEO-TECH REPORT

None

CHANGES TO THE DRAWINGS

None

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
2-12	SKA-12	-	ADD SKA-12, detail 9 to sheet A5.2

Questions & Clarifications

2-13 QUESTION
 North Elevation A2-1, room 014 & 012 windows are labeled s #2, but shown differently on the elevation. Can I assume the smaller windows are the correct ones?.

ANSWER
 Yes, the 4 windows along exterior of rooms 012 & 014 are mislabeled. These windows should be labeled window type 4.

2-14 QUESTION
 Any detail measurements on the granite cap for 'A' Building retaining wall at the north side of the play area? Structural detail on S6.0 doesn't provide dimensions.

ANSWER

The granite caps around Building A are to match the belt course and window sill blocks @ 7 5/8" h, see plans for widths & lengths. All details will be revised to reflect this height.

2-15 QUESTION

Is the tile mosaic is to be done at some future point and not as an alternate? It is labeled at one spot in the structurals as option 1.

ANSWER

The tile mosaic will be done by others after completion of the building. Please disregard any reference to mosaic options; they are intended as guidance to the owner.

2-16 QUESTION

What are the requirements for the chimney cap? Any details?

ANSWER

Please see attached sketch SKA-12.

2-17 CLARIFICATION

CCA treatment for pressure treated lumber on residential projects was banned on 1/1/04. There are currently a number of available substitutes for this material. Sub-contractors and suppliers should provide the appropriate level of chemical concentrations for the given exposure (i.e. ground contact, above ground, etc.). Fasteners should be stainless steel whenever in contact with pressure treated lumber. Any substitute will require submittal data with performance equal to stainless steel fasteners. Joist hangers should be Simpson Strong's 'Zmax' series. Anchor bolts should have a heavy duty galvanizing. No aluminum should be used in contact with pressure treated lumber. Copper flashing is to be used where visible, flexible membrane flashing can be used where concealed.

2-18 QUESTION

Building B, South elevation, A2.0 #1 shows single windows in rooms 301 & 328, floor plan A1.3 indicates 2 windows each, which is correct?

ANSWER

The floor plan is correct, elevation #1, A2.0 should be revised to indicate double windows.

2-19 QUESTION

Is tempered glass required at windows and doors?

ANSWER

Yes, both in doors and within 24" of a vertical edge. This includes but is not limited to doors – Bldg. A - 141, 1081, 1091, 1271, 2092, 2272, 3092, 3272. Bldg B – 2011, 2242.

2-20 QUESTION

Is tempered glass required at windows above bathtubs?

ANSWER

Yes, such as bathrooms 303 & 326.

2-21 QUESTION

Is Shaw carpet the only approved carpet?

ANSWER

No, given similar performance specifications and color ranges, other carpet manufacturers and styles could be approved per specification section 09680.

2-22 CLARIFICATION

Please clarify the following accessories;

Single roll toilet tissue dispensers are not owner provided. Provide single roll units in residences, double roll units in PNC.

Medicine cabinets are required in full baths only.

A regular channel frame in half baths, Hdcp adjustable in PNC.

1 - 24" towel bar per bath is required. In accessible units, substitute 1" grab bar with sufficient blocking.

Shower grab bars and a tip down seat are included in the one piece unit provided under Section 15000

Toothbrush holders are not required.

All public restrooms in the PNC are to receive accessories as indicated on sheet A3.1. Room 111 is the only toilet to receive a baby changing station.

Shower curtains are not required.

Sanitary napkin vendors are not required.

Lavguards are supplied under division 15.

A mop and broom holder is required in Janitors closet rm. 010 only.

2-23 QUESTION

Where is the protection course required as mentioned in specification section 07115, paragraph 3.4, A

ANSWER

If required by the chosen damproofing product's manufacturer, a protection course is to be provided on all concrete foundations surrounding habitable space in Buildings A & B.

2-24 QUESTION

Please clarify the acoustical tile work.

ANSWER

Room 113 is to receive 12"x12" adhered ACT in the coffers.

Room 120 is to receive 24"x 48" washable tile in the north/cooking portion, painted GWB in the south section.

Room is to receive 12"x12" adhered ACT in the coffers, similar to rm. 113, but not indicated correctly.

- 2-25 QUESTION
The residential kitchen cabinets specified in Section 12356 are no longer available. Please provide an additional manufacturer and style which can be priced.
- ANSWER
The owners preferred cabinet is the 'Premier' series, 'Greenfield' style by Yorktowne. This is a clear or honey finished shaker style front. Substitutes will be considered of equal durability and appearance; however any substitution should be qualified when submitting a bid. Cabinets for the PNC kitchen room 120 should be commercial quality laminate faced and lockable. Colors can come from the manufacturer's standard range. Cabinet interiors should be white melamine with adjustable shelves.
- 2-26 QUESTION
Please provide additional information for the linoleum counter indicated on sheet A3.0, # 3 C & D.
- ANSWER
Linoleum should be from the Forbo 'Real' line, 2.0 mm thick, color from the standard range. Edge should be clear finished maple with a full bullnose profile
- 2-27 QUESTION
Please identify the item having radiused corners on the north wall just above the dimension 2'-10 1/2"
- ANSWER
This is a bulletin board provided & installed by the owner.
- 2-28 QUESTION
On sheet A3.2, # 5 B D, should there be a framed wall below the raised counter top?
- ANSWER
Yes, a framed wall should be included in the counter depth to support the counter. When not end supported brackets should also be provided for sufficient support.
- 2-29 CLARIFICATION
Residential unit elevations on sheet A3.2 are indicative of most, but not all conditions. Bidders should use floor plans, reflected ceiling plans and unit elevations as a guide to determining all layouts.
- 2-30 QUESTION
Are there any approved equals to the specified Paridigm double hung windows?
- ANSWER

At this time the Paradigm is the only approved window. No other windows will be reviewed at this time. Vendors may submit bids with a substitution, but are required to qualify the substitute on the bid form. Substitutions may or may not be reviewed should budget concerns arise.

2-31 QUESTION

Is there a glass and glazing specification?

ANSWER

See attached short form specification for Glazing.

2-32 QUESTION

What is the scope of work for the mini blinds? Please clarify operation.

ANSWER

The mini-blinds specified in section 12491 are to be provided for all windows of the Parkside Neighborhood Center in the basement and ground floor of Bldg. A. Revise the specifications to require 2% extra material, top locking, box bracket w/ no valence.

2-33 QUESTION

What is the scope of work for the Roller shades? Please clarify operation.

ANSWER

The roller shades specified in section 12494 are to be provided for all windows of the residential units in the 2nd & 3rd floor of Bldg. A and throughout Bldg. B. Roller shades are to be for room darkening, not filtering.

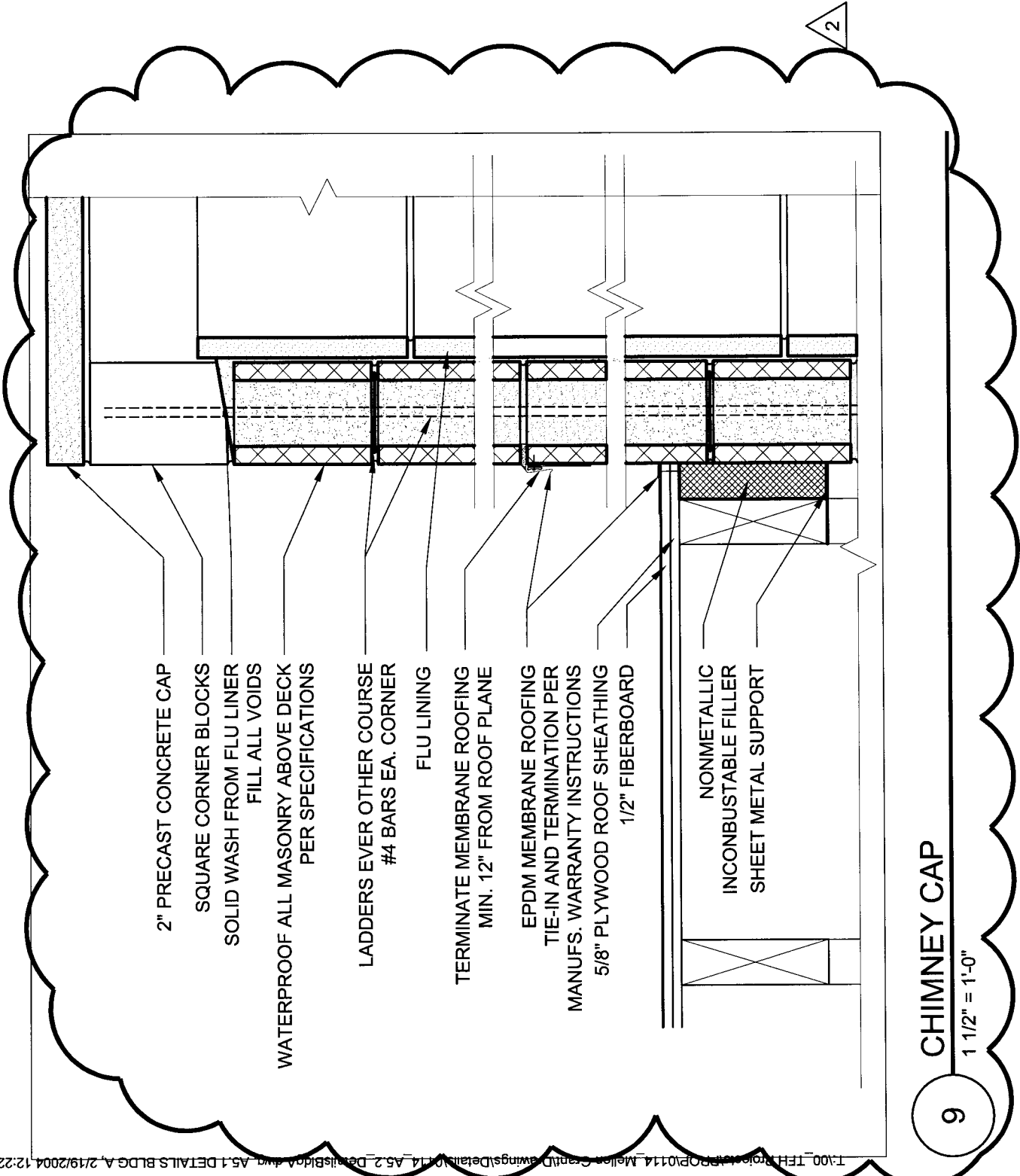
ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #2



- 2" PRECAST CONCRETE CAP
- SQUARE CORNER BLOCKS
- SOLID WASH FROM FLU LINER
FILL ALL VOIDS
- WATERPROOF ALL MASONRY ABOVE DECK
PER SPECIFICATIONS
- LADDERS EVERY OTHER COURSE
#4 BARS EA. CORNER
- FLU LINING
- TERMINATE MEMBRANE ROOFING
MIN. 12" FROM ROOF PLANE
- EPDM MEMBRANE ROOFING
TIE-IN AND TERMINATION PER
MANUFS. WARRANTY INSTRUCTIONS
- 5/8" PLYWOOD ROOF SHEATHING
1/2" FIBERBOARD
- NONMETALLIC
INCOMBUSTIBLE FILLER
SHEET METAL SUPPORT



SKA-12
2/19/04
PARTIAL A5.2

CHIMNEY CAP

1 1/2" = 1'-0"

9

08800 GLAZING

PART 1 -- GENERAL

1.1 WORK

A. Provide and install glazing and accessories where shown on the Drawings and as specified herein. Glazing types and sizes shall be as per the Drawings and Window Schedule.

1.2 QUALITY STANDARDS

A. Provide experienced, well-trained workers competent to complete the work as specified.

B. Unless approved by the Architect, provide all products from one manufacturer.

C. Glazing products and installation shall meet the standards of the Glass Association of North America Glazing Manual and Sealant Manual.

1.3 SUBMITTALS

A. Submit the following within 30 calendar days after given the Notice to Proceed.

Submit list of materials to be provided for this work.

Submit manufacturer's data required to prove compliance with these Specifications.

1.4 SAMPLES

A. Submit samples of each type of glass and glass sealant. Glass samples shall be of sizes directed by the Architect. Sealant samples shall be at least 12" long, fully cured, within samples of complete glazing installation.

1.5 MATERIALS HANDLING AND STORAGE

A. Handle and store glass and glazing products as per the standards of the Glass Association of North America Glazing Manual and Sealant Manual.

B. Take extra care to protect surfaces and cushion edges of all glass during moving and storage as required to avoid damage. Don't store glass in moist environments or expose it to dust or contamination from other construction. Store glass in secure environments, away from damage or vibration from other construction work.

PART 2 -- MATERIALS AND PRODUCTS

2.1 GLASS

A. Provide glass types and thicknesses as per Drawings and Window Schedule:

Float (or "plate"): Comply with Federal Specification DD-G-451.

Clear wire glass: Comply with Federal Specification DD-G-451.

B. Tempered, heat strengthened glass: Comply with Federal Specification DD-G-1403, and ANSI 2971.

Do not attempt to cut tempered glass in the field.

C. Laminated: Float glass laminated to plastic core as per standards of the Standard Specifications for Architectural Flat Glass Clad Polycarbonate in the Laminated Glass Design Guide of the Glass Association of North America. Laminated glass in sizes up to 5' x 10' shall be at least 1/4" thick; larger sheets shall be at least 3/8".

E. Insulating glass: Comply with ASTM E-773, ASTM E-774. Sealed insulating units fabricated from two panes of glass with air space between. Glass thicknesses and heat strengthening to be determined by manufacturer for wind loading conditions. Insulating glass warranty: 10 years.

F. Glazing materials: Comply with the standards of the Glass Association of North America Glazing Manual and Sealant Manual.

PART 3 -- CONSTRUCTION AND INSTALLATION

3.1 PRECONSTRUCTION

A. Examine job conditions and verify that all are satisfactory for speedy and acceptable work.

B. Clean and prepare glazing support materials according to manufacturer's instructions and standards of the Glass Association of North America Glazing Manual.

C. Inspection and cleaning shall include but is not limited to the following: Clean dirt or foreign materials from channels, stops, rabbets, setting blocks, spacers, etc. Remove non-permanent protective coatings. Wipe surfaces clean immediately prior to adding primer, tapes or glazing compounds. Apply primer to surfaces as required to receive glazing compounds.

3.2 INSTALLATION

A. Inspect framing before installation and provide written report of any conditions that might interfere with satisfactory installation.

B. Inspect all glass immediately before installation. Reject any unlabeled, edge-damaged, scratched, or mis-sized pieces. Leave manufacturer's labels attached until the Architect directs that they can be removed.

- C. Install as per manufacturer's instructions and the standards of the Flat Glass Marketing Association.
- D. Maintain the highest standards of installation and consistency in application and appearance. Install setting blocks and spacers, gaskets, and felts exactly as directed by manufacturer. Support glass firmly and evenly with setting blocks. Keep glass completely separated from any material other than cushioning stops, spacers, gaskets, etc. Install glass to maintain uniform appearance in surfaces. Do not vary glazing materials except as approved or directed by the Architect.
- E. Install sealants to provide complete bond and to assure water will wash away from glass.
- F. Provide precise miter cuts or other direct joints where detailed. Seal miter joints and other joints so they are completely air- and water tight.

3.3 PROTECTION AFTER INSTALLATION

- A. Protect glass after installation with safety strips and warning markers. Keep safety strips and warning markers off of the glass surface to avoid staining or marring the surface. Protect metal parts from damage after installation.

3.4 CLEANING

- A. Clean all glass at the conclusion of interior construction work, or when directed by the Architect. Clean all glass with cleaner, cleaning materials, and methods recommended by the glass manufacturer. Clean all glass completely clear of streaks or spots.
- B. Any glass that is scratched or damaged during cleaning will be replaced at the contractor's expense.

3.5 REPAIR AND REPLACEMENT

- A. Remove and replace any damaged glass and glazing. Install, protect, and clean replacement glass as specified above.

END OF SECTION