

**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: T. Scott Teas

RE: Certificate of Design

DATE: 2/26/04

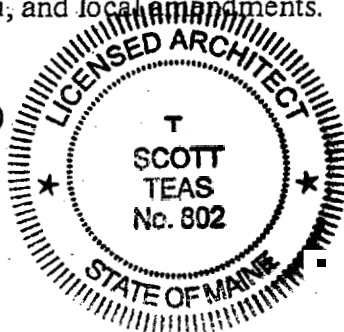
These plans and/or specifications covering construction work on:

Parkside Neighborhood Center & Affordable Housing

77 & 85 Grant Street

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature [Handwritten Signature]

Title Principle

Firm TFH Architects, PA

Address 100 Commercial St, Portland, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: T. Scott Teas

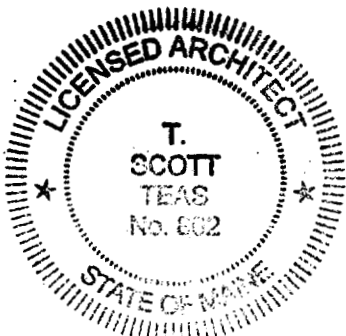
Address of Project 77 & 85 Grant Street

Nature of Project Neighborhood Center & Affordable Housing

Date 2/26/04

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature 

Title Principle

Firm TFH Architects, PA

Address 100 Commercial St., Portland, ME 0410

Telephone 207-775-6141

Applicant: PLAP

Date: 11/24/03

Address: 77 & 85 Grant St
Ronald Mellan

C-B-L: 48-B-11, 12, 13, & 14

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-7 Overlay Zone

Interior or corner lot -

Proposed Use/Work - to construct 2 buildings

77 Grant St 8 D.U.

85 Grant St - 8 D.U.

Sewage Disposal - City

Community Center
Special Definition
conditional use
Approval by PB

Lot Street Frontage - Non

Front Yard - 42' to Rear (20 min) ok

Rear Yard - none except shall meet the

Side Yard - set back to Adjoining Bldg on A lot of separate ownership
10' to Right side closest Bldg - ok

Projections -

Width of Lot - N/A

Height - 50' MAX - 44' 10" from Ridge to the lowest point in rear 11/25/03

Lot Area - None required - 18,979.72 sq ft

Lot Coverage/Impervious Surface - 100% ok
Area per Family - 725 sq ft/unit or 16 D.U. MAX 725 = 11,600 sq ft min

Off-street Parking - for D.U. = 1 space for each D.U. or 16 spaces min - 21 spaces shown

Loading Bays - N/A
Community Center -> conditional use approval by PB. to review the park also

Site Plan - # 2003-0144

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

400 sq ft of habitable area in the D.U.
smallest unit is 700 sq ft

From: Marge Schmuckal
To: Kandi Talbot
Date: Tue, Nov 25, 2003 2:18 PM
Subject: Re: Grant & Mellon St

The only conditional uses that go to the Planning board are those that specifically state that the Planning Board substitutes for the Zoning Board. This use does NOT specifically state that the Planning Board should substitute for the Zoning Board. Therefore it should go back to the ZBA. I do not anticipate any big problems with it when it goes back there.
Marge

>>> Kandi Talbot 11/25 2:06 PM >>>

Right, I know that the ZBA approved it last year, but reading the ordinance it was not clear whether the Planning Board could review it or not. Thanks.

Kandi

>>> Marge Schmuckal 11/25 2:01 PM >>>

It is not a conditional use that is deferred to the Planning Board. It is a straight ZBA conditional use. As I mentioned, it was the ZBA that approved it previously a year ago.
Marge

>>> Kandi Talbot 11/25 1:00 PM >>>

Marge,

Is this a conditional use that the Planning Board can approve or is it a conditional use that the Board of Appeals needs to approve? Thanks.

Kandi

>>> Marge Schmuckal 11/25 12:27 PM >>>

Kandi,

I have reviewed the most recent changes and plans on this project.

This project is an **R-7** overlay zone. There are **16** dwelling units in two buildings with a community center.

Point of note for the community center use. The original conditional use appeal was approved at the December **5, 2002** ZBA meeting. **14-474** limits the conditional use approval time to six (6) months if no construction has begun. They will need to renew their conditional use approval. The Planning Board could make any approval subject to the renewal/approval of their conditional use for a community hall.

The rest of the zoning review is meeting the **R-7** criteria for setbacks, parking, height and minimum unit sizes.

Marge Schmuckal
Zoning Administrator
11/25/03

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Marge Schmuckal
Zoning Administrator
11/25/03

From: Marge Schmuckal
To: Kandi Talbot
Date: Tue, Nov 25, 2003 2:23 PM
Subject: Re: Grant & MellonSt

We have a whole schedule made out for the next year with due dates for submitted applications. I can fax them the information. It would be the beginning of January (first Thursday).
Marge

>>> Kandi Talbot 11/25 2:18 PM >>>

I have to let PROP know. What are we looking for as far as scheduling time?

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Zoning Administrator
11/25/03

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0144

Application I. D. Number

7/16/03

Application Date

PROP Family Housing

Project Name/Description

PROP

Applicant

510 Cumberland Ave. Portland, ME

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 842-2983

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

73 - 87 Grant St, Portland, Maine

Address of Proposed Site

048 B011001

Assessor's Reference Chart-Block-Lot

Proposed Development (check all that apply) New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

R7

Zoning

Check Review Required:

Site Plan
(major/minor)

Subdivision
of lots 18

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional
Use (ZBA/PB)

Zoning Variance

Other _____

Fees Paid:

Site Plan

\$500.00

Subdivision

Engineer Review

Date:

7/21/03

Planning Approval Status:

Reviewer _____

Approved

Approved w/Conditions
See Attached

Denied

Approval Date _____

Approval Expiration _____

Extension to _____

Additional Sheets
Attached

OK to Issue Building Permit

signature

date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issued

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

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The rest of the zoning review is meeting the R-7 criteria for setbacks, parking, height and minimum unit sizes.

Marge Schmuckal
Zoning Administrator
11125103

CC: Sarah Hopkins

- (1) Authorized uses. A conditional use permit may be issued for any use denominated as a conditional use in the regulations applicable to the zone in which it is proposed to be located.
- (2) Standards. Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the board determines that:
 - a. There are unique or distinctive characteristics or effects associated with the proposed conditional use;
 - b. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area; and
 - c. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

(d) *Conditions* on conditional use permits. The board of appeals may impose such reasonable conditions upon the premises benefited by a conditional use as may be necessary to prevent or minimize adverse effects therefrom upon other property in the neighborhood. Such conditions shall be expressly set forth in the resolution authorizing the conditional use permit and in the permit. Violation of such conditions shall be a violation of this article.

(e) *Effect* of issuance of a conditional use permit. The issuance of a conditional use permit shall not authorize the establishment or extension of any use nor the development, construction, reconstruction, alteration or moving of any building or structure, but shall merely authorize the preparation, filing and processing of applications for any permits or approvals which may be required by the codes and Ordinances of the city, including but not limited to a building permit, a certificate of occupancy, subdivision approval and site plan approval.

(f) *Limitations* on conditional use permits. No conditional use permit shall be valid for a period longer than ~~six~~ ^{six} (6) months from the date of issue, or such other time as may be fixed at the time granted not to exceed two (2) years, unless the conditional use has been commenced or is issued and construction is actually begun

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

Patric Santerre, **Chair**
Catherine Decker, Secretary
Nan Sawyer
Julie Brady
Joe Lewis
Kimberly **Boggiatto**
William Hall

January 9, 2003

Peninsula Community LP2
510 Cumberland Avenue
Portland, ME 04101

RE: 73-78 Grant Street
CBL: 048-B-011, 12, 13 & 14
ZONE: R-7 Zone

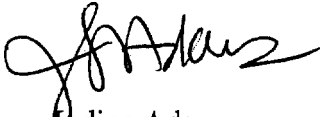
Dear Sir or Madame;

As you know, at its December 5, 2002 meeting, **the Board of Appeals voted 5-0 to grant the Conditional Use Appeal** that you presented to the Zoning Board.

Should you have any questions please do not hesitate to contact me at 207-874-8701 if you have any questions or concerns.

Enclosed you will find a copy of the Boards decision.

Sincerely,



Rodine Adams
Office Manager

wood studs using 10d galv box nails spaced 6 in. OC on perimeter and 12 in. OC in the field.

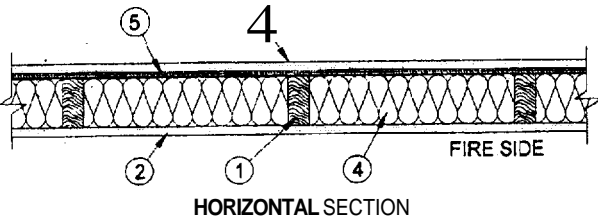
- C. Fiber-Cement Siding — 0.250 in. min thick fiber-cement based siding. Fastened over foam plastic sheathing to wood studs using min 1-1/2 in. long galv nails.

*Bearing the UL Classification Mark

Design No. U356

(Exposed to Fire on Interior Face Only)

Bearing Wall Rating — 1 Hr
Nonbearing Wall Rating — 23 Min



1. Wood Studs — Nom 2 by 4 in. spaced 16 in. OC with two 2 by 4 in. top and one 2 by 4 in. bottom plates. Studs laterally braced by wood structural panel sheathing (Item 5) and effectively fire stopped at top and bottom of wall.
2. Gypsum Board* — Any Classified 5/8 in. thick, 4 ft wide, applied vertically and nailed to studs and bearing plates 7 in. OC with 6d cement-coated nails, 1-7/8 in. long with 1/4 in. diam head. See Gypsum Board (CKNX) Category for names of Classified Companies.
3. Joints and Nailheads — (Not Shown) — Wallboard joints covered with tape and joint compound. Nail heads covered with joint compound.
4. Batts and Blankets* — Mineral fiber or glass fiber insulation, 3-1/2 in. thick, pressure fit to fill wall cavities between studs and plates. Mineral fiber insulation to be unfaced and to have a min density of 3 pcf. Glass fiber insulation to be faced with aluminum foil or kraft paper and to have a min density of 0.9 pcf (min R-13 thermal insulation rating). See Batts and Blankets (BKNV) Category in the Building Materials Directory and Batts and Blankets (BZJZ) Category in the Fire Resistance Directory for names of Classified Companies.
- 4A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 4) — Spray applied cellulose insulation material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb/ft³.
U S GREENFIBER L L C — Cocoon stabilized cellulose insulation.
5. Wood Structural Panel Sheathing — Min 7/16 in. thick, 4 ft wide wood structural panels, min grade "C-D" or "Sheathing". Installed with long dimension of sheet (strength axis) or face grain of plywood parallel with or perpendicular to studs. Vertical joints centered on studs. Horizontal joints backed with nom 2 by 4 in. wood blocking. Attached to studs on exterior side of wall with 6d cement coated box nails spaced 6 in. OC at perimeter of panels and 12 in. OC along interior studs.
6. Exterior Facings — Installed in accordance with the manufacturer's installation instructions. One of the following exterior facings is to be applied over the sheathing:
 - A. Vinyl Siding — Molded Plastic+ — Contoured rigid vinyl siding having a flame spread value of 20 or less. See Molded Plastic (BTAT) category in the Building Materials Directory for names of manufacturers.
 - B. Particle Board Siding — Hardboard exterior sidings including patterned panel or lap siding.
 - C. Wood Structural Panel or Lap Siding — APA Rated Siding, Exterior, plywood, OSB or composite panels with veneer faces and structural wood core, per PS 1 or APA Standard PRP-108, including textured, rough sawn, medium density overlay, brushed, grooved and lap siding.
 - D. Cementitious Stucco — Portland cement or synthetic stucco systems with self-furring metal lath or adhesive base coat. Thickness from 3/8 to 3/4 in., depending on system.
 - E. Brick Veneer — Any type on nom 4 in. wide brick veneer. When brick veneer is used, the rating is applicable with exposure on either face. Brick veneer fastened with corrugated metal wall ties attached over sheathing to wood studs with 8d nail per tie; ties spaced not more than each sixth course of brick and max 32 in. OC horizontally. One in. air space provided between brick veneer and sheathing.
 - E Exterior Insulation and Finish System (EIFS) — Nom 1 in.

LOOK FOR THE UL MARK ON PRODUCT

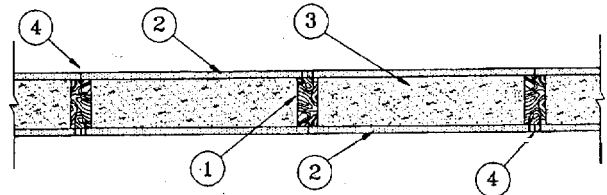
Foamed Plastic" insulation bearing the UL Classification Marking, attached over sheathing and finished with coating system, or Portland cement or synthetic stucco systems, in accordance with manufacturer's instructions. See Foamed Plastic (BRYX and CCVW) categories for names of Classified companies.

- G. Siding — Aluminum or steel siding attached over sheathing to studs.
- H. Fiber-Cement Siding — Fiber-cement exterior sidings including smooth and patterned panel or lap siding.

*Bearing the UL Classification Mark

Design No. U357

Bearing Wall Rating — 1 Hr
Nonbearing Wall Rating — 2 Hr



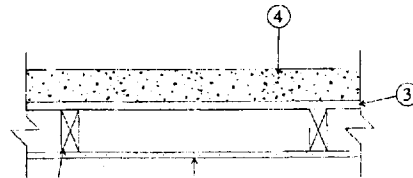
1. Wood Studs — Nom 2 by 4 in. spaced 16 in., effectively firestopped.
2. Gypsum Board* — Any 5/8 in. thick wallboard, with beveled, square or tapered edges, Classified for Fire Resistance. Wallboard installed horizontally or vertically. Wallboard secured to studs and plates with 8d coated nails, 2-3/8 in. long, 0.113 in. shank diam with 1/4 in. heads, spaced 8 in OC. All joints staggered 2 ft with joints on opposite sides of wall. See Gypsum Board (CKNX) category for names of manufacturers.
3. Spray-Applied Fire Resistive Material — Applied in accordance with application instructions to completely fill the stud cavity for the 2 Hr nonbearing assembly and at a thickness of 2 in. for the 1 Hr bearing assembly. Min avg and min ind densities of 13 and 11 pcf, respectively for Types DC/F and II. Min avg and min ind densities of 22 and 19 pcf, respectively for Type HI? For method of density determination, refer to Design Information Section.
ISOLATEK INTERNATIONAL — Type DC/F, II, or HP. Type EBS or X adhesive/sealer optional.
4. Joints and Nailheads — When tapered edge wallboard is used, joints covered with joint compound and paper tape. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of wallboard. When square-edge wallboard is used, treatment of joints is optional. Nailheads covered with joint compound.
5. Wall and Partition Facings and Accessories* — (Not shown) — (Optional) In lieu of Item 4 used to cover all wallboard joints and nail heads.

DWC L L C — "One Step Above Drywall Compound"

*Bearing the UL Classification Mark

Design No. U358

Bearing Wall Rating — 1 Hr
Nonbearing Wall Rating — 1 Hr



1. Wood Studs — Nom 2 by 4 in. spaced 24 in. OC, laterally braced, and effectively firestopped at top and bottom.
2. Gypsum Board* — 5/8 in. thick, 4 ft wide, applied horizontally or vertically. Attached to studs with 6d cement coated nails 1-7/8 in. long 0.0915 in. shank diam and 1/4 in. diam head spaced 6 in. OC. Joints exposed or covered with tape and compound. See Gypsum Board (CKNX) category for names of Classified Companies.
3. Furring Channels — 7/8 in. deep formed of 25 MSG galv steel, spaced 24 in. OC perpendicular to the studs. Channels overlap 1/2 in. and fastened to the studs with 1-1/4 in. long screws.
4. Precast Autoclaved Aerated Concrete — Min 3 in. thick and max 2 ft wide panels fastened to the furring channels with 2-1/2 in. long No.

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March 24, 2004

Mike Nugent, Inspectional Services Manager
City of Portland, Department of Planning and Development
City Hall Room 315, 389 Congress St.
Portland, ME 04101

RE: PROP, Parkside Neighborhood Center and Affordable Housing, Portland, ME
CBL: 0486011

Dear Mike,

We've reviewed your comments forwarded via fax and also over the phone and offer the following explanations and supplemental information.

Building separation / exterior wall ratings-

Building **B** to eastern Abutter - due to the proximity of our proposed building to the potential of an abutting building to the east, we will increase the fire assembly rating of the exterior wall along the eastern side to 1 hour per Table 705.2. I have attached the UL assembly that we intend to use.

Building **A** to building **B** - summarizing from my previous letter, In BOCA 99 table 705.2 for the associated Use Groups (**B**, R-2) for greater than 10' to- 15' there is no exterior wall rating. The imaginary centerline from Bldg. **A** to Bldg. **B** is $\pm 14'-4"$, therefore, neither the east wall of building **A**, or the west wall of building **B** require a rating.

Exterior wall areas & openings-

Per my previous letter we will reduce the unprotected openings to below the 15% allowed by table 705.3. I've included the calculations again below for your reference.

- Area of the East wall of Building **B** = **1493.5 SF**
- As submitted, area of unprotected openings on the East wall of Building **B** =

Large dbl hung windows	14 x 14.1 SF =	197.4 SF
Small dbl hung windows	4 x 8.0 SF =	32.0 SF
Misc. louvers, vents =		3.9 SF
Total		233.3 SF

Therefore as submitted we have-

$1493.5 \text{ sf} \times 15\% = 224.0 \text{ sf}$ allowed, proposed = 233.3 sf, +9.3 sf

With the reduction of 3 large double hung windows we will bring the opening area down to 191 sf, or 42.3 sf below the minimum allowed.

For the east wall of Bldg. A and west wall of Bldg B, after reviewing Section 705.1 the first exception does not require compliance to maximum exterior opening areas if the combined building limits for all buildings on the same lot fall within Section 503 limits. Therefore the eastern wall of Bldg **A** requires no modification from our submitted plans.

Briefly – By the areas calculated in my code review, we are allowed a ±13,080 sf footprint with sprinkler and frontage increases. Our combined footprint adds up to ±7850 sf, well under the requirement.

Hallway fire and sound transmission ratings

On the second and third floors of building **A** we will revise the wall type to include a resilient channel per the attached detail. This will increase the STC to 50 – **54** and therefore make the partition compliant. The hallway walls will be 1 hour rated assemblies, not the half hour rating as indicated in the code review.

Fire separation between uses.

Per your comment and the exception to section 313.2.1, we will upgrade the currently called for **NFPA 13R** sprinkler system on the second & third floors of building A to a **NFPA 13** system throughout the building. **We** are specifying a 1 hour rating for the floor / ceiling between the Neighborhood Center and the Residences.

Fire separation assembly penetration protection.

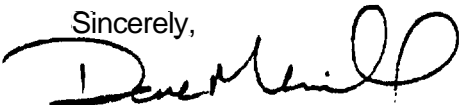
Specification section 15100, section 1.01, paragraph 2, 'o' calls for firestopping of all mechanical and plumbing penetrations through rated partitions, floors & ceilings.
Specification section 16000, section 3.13, 'A' calls for firestopping of all electrical penetrations through rated partitions, floors & ceilings.

Bathroom vent fire dampers.

Fire dampers are called for in the Fan schedule on sheet HVAC 2.2. Light fixtures are physically separated but on the same switch to insure they are used.

I believe this answers your questions to date. If I can provide further clarification, or you find there are additional questions, please forward immediately and I will respond. **As** soon as the plan review is complete with your department and the State Fire Marshall we will issue an Addendum that will incorporate these items into the Construction document package.

Sincerely,



Dave Merrill
Project Manager
TFH Architects

cc: **Betsy Sawyer-Manter (PROP),**
John DeStefano (Destefano & Assocs.), TST (TFH)

attachments: wall assemblies

INTERIOR CORRIDOR PARTITIONS Bldg A

WALLS AND INTERIOR PARTITIONS, WOOD FRAMED

GA FILE NO. WP 3240

PROPRIETARY†

**1 HOUR
FIRE**

**50 to 54 FSTC
SOUND**

**GYPHUM WALLBOARD, RESILIENT CHANNELS,
MINERAL FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type S drywall screws 12" o.c. End joints backblocked with resilient channels. 3" mineral fiber insulation, 2.0 or 2.3 pcf, in stud space.

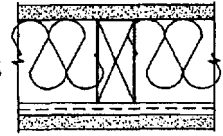
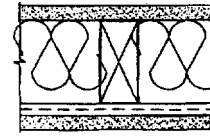
OPPOSITE SIDE: One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 1/4" Type W drywall screws 12" o.c.

Vertical joints staggered 48" on opposite sides. Sound tested with studs 16" o.c. and open face of mineral fiber insulation blankets toward resilient channel-side of stud space. **(LOAD-BEARING)**

PROPRIETARY GYPHUM BOARD

United States Gypsum Company

5/8" SHEETROCK® Brand Gypsum Panels, FIRECODE® C Core



Thickness: 5 3/8"
Approx. Weight: 7 psf
Fire Test: UL R1319-93, 94, 129; 8-10-66; UL Design U311; ULC Design U311
Field Sound Test: BBN 760903, 9-17-76

GA FILE NO. WP 3241

PROPRIETARY†

**1 HOUR
FIRE**

**50 to 54 FSTC
SOUND**

**GYPHUM WALLBOARD, RESILIENT CHANNELS,
MINERAL FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type S drywall screws 12" o.c. End joints backblocked with resilient channels. 3" mineral fiber insulation, 2.0 or 2.3 pcf, in stud space.

OPPOSITE SIDE: One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 1/4" Type W drywall screws 12" o.c.

Vertical joints staggered 48" on opposite sides. Sound tested with studs 16" o.c. and open face of mineral fiber insulation blankets toward resilient channel-side of stud space. **(LOAD-BEARING)**

PROPRIETARY GYPHUM BOARD

American Gypsum Company
Celotex Corporation
Continental Gypsum

5/8" FIREBLOC TYPE C
5/8" FIROK PLUS™

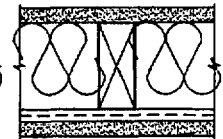
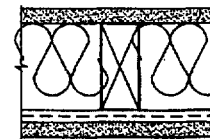
5/8" MoreRock® FireBar® Type C (CGTC-C)

G-P Gypsum
James Hardie Gypsum

5/8" GyProc® Fireguard® C
5/8" Hardirock™ Brand Max "C"™ Gypsum Panels

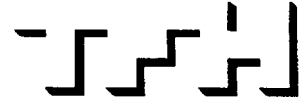
Lafarge Gypsum
Pabco Gypsum
Republic Gypsum

5/8" Firecheck® Type C
5/8" FLAMECURB® Super 'C'
5/8" FIRE-ROC RG-C
5/8" TG-c



Thickness: 5 3/8"
Approx. Weight: 7 psf
Fire Test: Based on UL R3660-7, 11-12-87; UL R2717-61, 8-18-87; UL R7094, 10-24-90; UL Design U 311
Sound Test: Estimated

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FAX TRANSMITTAL

TO:	Mike Nugent Inspectional Services Portland City Hall	FAX: <u>(207) 874-8716</u> FAX:
CC:		
FROM:	Dave Merrill TFH Architects	FAX: 207-773-0194
DATE:	March 25, 2004	
TIME:	8:44 AM	
PAGES:	5, including this page	

RE: PROP – Parkside Neighborhood Center

Description-

- Response letter & attachments

Message-

Mike-

Please see attached letter for outstanding items.

Thanks,

M. Roof Construction Table 602, pg. 64	Bldg. A – 5B – no rating required. Bldg. B – 5B – no rating required.	Ohr 0 hr
M. Roof Covering 1506.0, pg. 159 1506.1.4, pg. 160	Bldg. A – 5B – no rating required Bldg. B – 5B – no rating required.	Min. Class C provided
N. Interior Wall and Ceiling Finishes Table 803.4, pg. 86	Bldg. A – 5B Class I - in vertical exits & passageways. Class II in corridors providing exit access. Class III in rooms or enclosed spaces See table 803.4 for exceptions. Bldg. B – 5B Class I - in vertical exits & passageways. Class II in corridors providing exit access. Class III in rooms or enclosed spaces See table 803.4 for exceptions.	
O. Fireblocking, & Draftstopping 721.0, pg. 159	Fireblocking –.Required per 721.6.1-7 Draftstopping –. Required per 721.7.	Provided Provided
8. OCCUPANCY SEPARATION		
A. Boiler/ Furnace rooms 302.1.1, pg. 17	1 hr. or automatic fire suppression system with smoke partitions.	1 hr provided
B. Storage rooms 302.1.1, pg. 17	>50 sf, & <100 sf - 1 hr. or automatic fire suppression system with smoke partitions. > 100 sf. - automatic fire suppression system with smoke partitions.	Provided
C. See 7.F for use group separations		
9. OCCUPANCY LOAD	Building A	
A. Basement Table 1008.1.2, pg. 114	Business, Offices & lobby – 1207 gsf/100 = 12 occ. Mechanical 519 gsf/300 = 1 occ.	
B. Ground/1st. Floor Table 1008.1.2, pg. 114	Business, Offices & lobby – 1765gsf/100 = 18 occ.	
	Community Room - 881 nsf/7 = 126 occ.	
	Child Development - 718 nsf/35 = 21 occ.	
C. Second Floor Table 1008.1.2, pg. 114	Residential - 4221 gsf/200 = 21 occ.	
D.—Third Floor Table 1008.1.2, pg. 114	Residential – 4221 gsf/200 = 21 occ.	
E. Total Building Occupancy	280 occ.	

7. FIRE RESISTIVE REQUIREMENTS		
A. Exterior Bearing Walls Table 602, pg. 64 705.0, pg. 69 Table 705.2, pg. 70	Bldg. A - 5B - 0 hrs, 0 by 705.2 Bldg. B - 5B - 0 hrs, 0 by 705.2	Greater than 15' to 30' Greater than 15' to 30'
B. Exterior Non-bearing Walls Table 602, pg. 64; 705.0, pg. 69 Table 705.2, pg. 67	Bldg. A - 5B - 0 hrs, 0 by 705.2 Bldg. B - 5B - 0 hrs, 0 by 705.2	Greater than 15' to 30' Greater than 15' to 30'
C. Fire Walls and Party Walls Table 707.1, pg. 72	NA	NA
D. Fire enclosure of Exits Table 602, pg. 64; Table 1014.11, pg. 122 Exception 2	Bldg. A - 5B - 2 hrs Bldg. B - 5B - 2 hrs Stairs serving & contained within a dwelling unit in R-2,3- 0 hr.	2 hrs. NA 0 hrs
E. Shafts Table 602, pg. 64; Table 710.3, pg. 75	Bldg. A - 5B - 2 hrs Bldg. B - 5B - 2 hrs	2 hrs. 2 hrs.
F. Mixed use & Fire area separations Table 602, pg. 64; 313.0, pg. 28; Table 313.1.2, pg. 29	B/R-2 - 2 hrs reduced to 1 hr by 313.1.2 For separations between Business & Day care, Business & Residential, Day care & Residential.	1 hr. provided with Automatic Sprinkler
G. Exit Access & Corridors Table 602, pg. 64; Table 1011.4, pg. 117	Bldg. A - 5B - 1/2 hr w/ sprinkler Bldg. B - 5B - 1/2 hr w/ sprinkler	1/2 hr 1/2 hr
H. Tenant Separations Table 602, pg. 64; Table 1011.4, pg. 117 Table 1011.4.1, pg. 117	Bldg. A - 5B - 0 hr w/ sprinkler Bldg. B - 5B - 0 hr w/ sprinkler	0 hr 0 hr
I. Dwelling unit separations Table 602, pg. 64; Table 711.0, pg. 75 Table 713.0, pg. 76	Bldg. A - 5B - 1/2 hr w/ sprinkler Bldg. B - 5B - 1/2 hr w/ sprinkler	1/2 hr 1/2 hr
J. Smoke Barriers Table 602, pg. 64 Table 711.4, pg. 75 Table 712.0, pg. 75 Table 712.2, pg. 72	Bldg. A - 5B - 1 hr in use group I-2,3 Bldg. B - 5B - 1 hr in use group I-2,3	NA NA
K. Interior Bearing Walls Table 602, pg. 64 Table 705.2, pg. 70	Bldg. A - 5B - 0 Bldg. B - 5B - 0	0 hr 0 hr
L. Structural Members Supporting Walls Table 602, pg. 64 716.0, pg. 81	Bldg. A - 5B - no rating required. Bldg. B - 5B - no rating required.	0 hr 0 hr
L. Floor Construction Table 602, pg. 64	Bldg. A - 5B - no rating required. Bldg. B - 5B - no rating required.	0 hr 0 hr

10. OCCUPANCY LOAD	Building B	
A. Basement Table 1008.1.2, pg. 114	Storage, Mechanical – 1264 gsf/300 =	5 occ.
B. Ground/1st. Floor Table 1008.1.2, pg. 114	Residential – 3433 gsf/200 =	17 occ.
C. Second Floor Table 1008.1.2, pg. 114	Residential – 3433 gsf/200 =	17 occ.
D.—Third Floor Table 1008.1.2, pg. 114	Residential – 3433 gsf/200 =	17 occ.
E. Total Building Occupancy		56 occ.
11. EXIT REQUIREMENTS		
A Number Table 1010.2, pg. 115	2 exits min.	2 exits min. provided
B. Total Width Table 1009.2, pg. 115 Table 1011.3, pg. 116	Bldg. A - 280 occ x .15 = 42" OA exit width required Bldg. B - 56 occ x .15 = 9" OA exit width required	Table 1011.3 dictates 44" width for > 50 occupants 36" width for < 50 occupants
C. Arrangement 1006.2, pg. 109	Shall be so located as to be discernible with unobstructed access thereto.	Arrangement of exits in compliance.
D. Distance to Exit Table 1006.5, pg. 110	250'-0" max. with approved sprinkler system.	250'-0" max. Provided. Building Fully Sprinkled.
E. Through Adjoining or Accessory Areas 1006.2.1, pg. 109	Egress permitted where adjoining rooms or areas are accessory to the area served, are not a high-hazard occupancy; and provide a discernible path of travel to an exit. A maximum of one exit access shall be permitted to pass through a kitchen, storeroom or similar space provided that passage through such space is not the only means of access to an exit. An exit access shall not pass through a room subject to locking.	
F. Doors 1. Width 1017.3, pg. 124 2. Height 1017.3, pg. 124 3. Special Doors 1017.4.3, pg. 126	32" min. 6'-8" min. Power-operated doors used as a means of egress shall not require a force exceeding 50 lbs. to manually set the door in motion and 15 lbs. to swing the doors to a full-open position.	34" min. 6'-8" min. provided Force to manually open doors does not exceed maximum permitted.

G. Exit Signs 1023.1, pg. 129	All "Exit" signs shall be located at exit doors or exit access areas, so as to be readily visible. Sign placement shall be such that any point in the exit access shall not be more than 100 feet from the nearest visible sign.	
12. CORRIDOR REQUIREMENTS		
A. Width 1011.3, pg. 114	44" min. for occ. load greater than 50. 36" min. for occ. load 50 or less	44" min. provided.
B. Height 1204.1, pg. 139	Ceiling height of not less than 7 feet measured to the lowest projection from the ceiling.	
C. Projections 1011.1.4, pg. 114; 1022.2.1, pg. 129	Doors when fully opened shall not reduce required width by more than 7". Doors in any position shall not reduce the required width by more than 1/2. Handrails shall not project into required width more than 3-1/2".	Provided.
D. Dead End 1011.2, pg. 114	20'-0" max.	No dead end corridor is greater than 20'-0".
13. SPRINKLERS		
507.1, pg. 58; 904.7, pg. 91	Required and must conform with Section 906.2.1.	Provided with automatic sprinkler system throughout.
14. ROOF ACCESS		
1027.1, pg. 130; 1027.1.1, pg. 131	Stairway or ladder not required. Where optional ladder or stairway provides access to roof, it shall conform to Section 1027.	
15. SANITATION		
Table 1008.1, pg 112; St. of Maine, Internal Plumbing Code Sect. 10. J, Appendix B	Basement Ground floor 1 st / 2 nd floor common for Center tenants	2 ADA unisex WC, 2 lavs. 2 ADA (1 adult, 1 child) unisex WC, 2 lavs. Residential per unit
16. ATTICS		
A. Access 1211.2, pg. 141	Access shall be provided to 'attic' spaces by an opening not less than 22 inches by 30 inches.	Provided
B. Draft Stops 721.7.2.1, Except. 5, pg. 85	When subdivided into <3000 sf areas of every 2 units, whichever is smaller, sprinklers w/l attic space are not required	Draft stops provided
C. Roof Vents 1210.3, pg. 141	Not required.	See roof plans for attic ventilation calculations.
17. ROOF COVERING		

1506.0, pg. 159	Class C roof coverings allowed	Provided
Single ply roof covering		
1507.5, pg. 153	Minimum 1/4" per foot slope.	1/4" per foot provided

PROP – Mellen & Grant Streets BOCA 1999 Code Review		
1. PERMITS AND INSPECTIONS		
108.7, pg. 4	The code official is authorized to issue a permit for the construction of foundations or any other part of a building or structure before the <i>construction documents</i> for the whole building or structure have been submitted, provided that adequate information and detailed statements have been filed complying with all of the pertinent requirements of this code.	
2. OCCUPANCY CLASSIFICATION	Bldg. A – Mixed Use, see below Bldg. B – Residential R-2	
A. Neighborhood Center 304.0, pg. 18 310.4, pg. 26 310.2, pg. 26	Use Group B & R-2– Business with accessory uses – Residential Care Occupancy Condition 2, (Child Development)	Bldg. A - Ground Floor, Partial Basement
D. Dwelling Units 310.4, pg. 26	Use Group R-2 – Residential	Bldg. A - 2 nd & 3 rd Floors Bldg. B –Whole structure
3. FIRE LIMITS	Prescribed by local jurisdiction	
4. TYPE OF CONSTRUCTION	REQUIRED	PROVIDED
Table 503, pg. 58; 603, pg. 64	Building A - Type 5-B, Combustible, Unprotected Building B – Type 5-B, Combustible, Unprotected	
5. ALLOWABLE HEIGHT		
Table 503, pg. 58; 504.2, pg. 59;	Building A - Most restrictive use– R-2 Residential, 2 stories, 35'-0" with Automatic sprinkler – 3 st. 55'-0" Building B - 2 stories, 35'-0" with Automatic sprinkler – 3 st. 55'-0"	3 story, ± 45'-0", sprinkled 3 story, ± 45'-0", sprinkled
6. ALLOWABLE FLOOR AREA		
Table 507.1, pg. 58 506.2 pg. 58, 59 - Frontage 506.3 pg. 58, 59 – Sprinkler Table 506.4, pg. 60	Bldg. A - 4800 sf allowed Perimeter = 289 lf, Frontage = 144 lf 298/404=50% less 25% =25% excess 25% x 2 = 50% increase 4800 sf x 150%= 6750 sf 4800 sf x 200% = 9600 sf Subtotal = 16,350sf 16,350 sf x 20% reduction= 13,080 sf Allowed	Footprint actual: 4111 sf Fire separation is 30'-0" or greater on 3 sides
Table 507.1, pg. 58 506.3 pg. 58, 59 – Sprinkler Table 506.4, pg. 60	Bldg. B - 4800 sf allowed 4806 sf x 200% = 9600 sf 9600 sf x 20% reduction= 7680 sf Allowed	Footprint actual: 3738 sf

BISKUP CONSTRUCTION, INC.
 16 Danielle Drive
 WINDHAM, MAINE 04062

LETTER OF TRANSMITTAL

(207) 892-9800 Fax (207) 892-9895

TO Building Inspections
City of Portland

DATE	3/25/04	JOB NO.	
ATTENTION	Mike Nugent		
RE:	Peter Holmes Bid #1		
	429 Warren Ave		

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

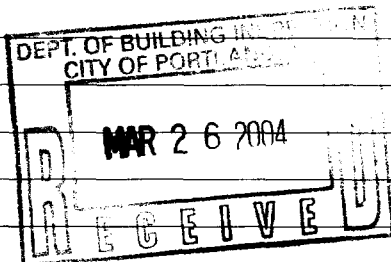
- Shop drawings 3 Prints 7 Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1			Revised & stamped Drawings A1, A2, E1
1			Reduced copies 11x17" Drawings A1, A2, E1
1			Geo tech report dated 3/24/04 by S.W. Cole
1			letter on Special Inspections

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____



COPY TO _____

SIGNED: [Signature]

If enclosures are not as noted, kindly notify us at once.

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

APPEAL AGENDA

To: City Clerk

From: Marge Schmuckal, Zoning Administrator

Date: December 18, 2002

RE: Action taken by the Zoning Board of Appeals on December 5, 2002.

The meeting was called to order at 6:04

Roll Call as follows:

Members Present: Patric Santerre, William Hall, Joseph Lewis, Catherine Decker, secretary and Nan Sawyer

Members Absent: Kimberly Boggiatto and Julie Brady

The Board of Appeals will hold a public hearing on Thursday, December 5, 2002 at 6:00 p.m. on the second floor in Room 209 at the Portland City Hall 389 Congress Street, Portland, Maine to hear the following Appeals:

- 1: **Unfinished Business:** There was no unfinished business
- 2: **New Business:**

A. Conditional Use Appeal

Peninsula Community LP2 of 73-78 Grant Street & 91-95 Mellon Street. Tax Map #048, Block B, Lots 11, 12, 13, 14 in the R-7 Zone is requesting a Conditional Use Appeal under section 14-137.c (7) (Community Center) of the Portland Zoning Ordinance. The applicant is proposing a 6,000 s.f. Community Center to include child development space, offices and meeting space for the Police and community meeting area. Mr. David Merrill of TFH Architects will represent the applicant. The Board granted the Conditional Use Appeal 5-0.

B. Practical Difficulty Variance

Michael & Monica of 18 Dole Street Tax Map #352, Block A, Lot 050 in the R-2 Zone is requesting a Practical Difficulty Appeal under section 14-80(d) 1 (dimensional requirements) of the Portland Zoning Ordinance. The applicant is proposing a front setback reduction from the 25' requirement to 22.9' thru 23.3'. This is for the purpose of finishing the construction of the partially built 24' x 24' garage. The owner is the applicant. The Board granted a withdrawal without prejudice to allow an Interpretational Use Appeal.

C. Interpretation Appeal

John W. and Marco S. DiSanto of 108 Veranda Street/12 Hodgins Street, Tax Map #431, Block #L, Lot #002, 3, 5 & 7 in the R-5 Zone is requesting a Interpretation Appeal from section 14-471(a) (Jurisdiction of Board of Appeals to hear and decide appeals from, and review orders, decisions, determinations or interpretations made by the building authority).

The property is legally 3 dwelling units. This zone states that a multiplex (defined as three or more attached dwelling units) is required to have 6,000 square feet of land area per dwelling unit (section 14-117) or 18,000 square feet for three dwelling units. The land division proposal would reduce the current lot size from 19,354 square feet to just under 13,161 square feet. This reduction of a lot size is not allowable under section 14-422 and 14-117. The lot split proposal would reduce the existing garage rear setback from 49 feet to 7 feet. Section 14-120 requires a minimum rear setback of twenty (20) feet. This reduction is not allowed under section 14-422 and 14-120. The newly proposed lot and new single family along Hodgins Street does not meet the requirements of the R-5 zone. Section 14-120 requires a **minimum** street frontage of fifty (50) feet. The proposal is showing only 42 feet of street frontage. Section 14-120 requires a

viii. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the residential appearance of the building.

7. Community Center, as defined in Section 14-17.

(Ord. No. 538-84, 5-7-84; Ord. No. 267-84, § 2, 12-17-84; Ord. No. 76-85, § 8, 7-1-85; Ord. No. 85-88, § 3, 7-19-88; Ord. No. 235-91, § 13, 2-4-91; Ord. No. 118-93, § 11, 10-18-93; Ord. No. 133-96, § 7, 11-18-96; ; Ord. No. 154-96, § 11, 12-16-96; Ord. No. 125-97, § 3, 3-3-97; Ord. No. 232-99, §2, 3-15-99; Ord. No. 77-02/03, § 2, 10-21-02)

Sec. 14-138. Prohibited uses.

Uses that are not expressly enumerated herein as either permitted uses or conditional uses are prohibited.

(Ord. No. 538-84, 5-7-84)

Sec. 14-139. Dimensional requirements.

In addition to the provisions of division 25 (space and bulk regulations and exceptions) of this article, lots in the R-6 zone shall meet or exceed the following minimum requirements:

(a) *Minimum lot size:*

1. Residential: Forty-five hundred (4,500) square feet, except as provided for lots of record in section 14-433 (lots of record and accessory structure setbacks for existing buildings) of this article.
2. Reserved.
3. Long-term and extended care facilities: Ten thousand (10,000) square feet for the first nine (9) residents plus seven hundred fifty (750) square feet for each additional resident, up to a total of two (2) acres.
4. Intermediate care facility: One (1) acre.
5. School: Thirty thousand (30,000) square feet.

Commercial vessel: Any watercraft used principally in a business or trade, including common carriers of passenger or freight, whether for governmental, nonprofit or emergency purposes; but not including pleasure craft used principally for recreational purposes.

Common areas: Portions of a lodging house which are available for use by all residents of the lodging house. Common areas shall include, but are not limited to, one (1) or more of the following: kitchens, living rooms, recreation rooms, improved basements, and finished porches. Bathrooms, stairways, hallways and storage areas shall not be counted as **common** areas.

Community Center: A building used for recreational, social, educational, health, culture, or similar activities and services, usually owned and operated by a public or nonprofit group or agency.

Community Hall: A building or portion of a building, used for social, recreational, artistic, civic, or educational community functions. Such a facility would be open to the public for such functions, which, for example, could include but not be limited to performances, dance, exhibitions, cultural exchange, training programs and workshops, neighborhood meetings or gatherings. As part of these functions and activities, it shall be permissible to serve food, subject to other applicable codes and ordinances.

Community living arrangements: A state approved, authorized, certified or licensed group home for eight (8) or fewer mentally handicapped or developmentally disabled persons.

Congregate care facility: A planned residential unit development which provides individual living units with support services which provide assistance to residents. Services to be provided shall include:

- (a) Transportation for essential support activities. This service shall be included in the base rent;
- (b) Provision of at least one (1) meal per day;
- (c) Programmed social activities which are facilitated by staff. This service shall be included in the base rent;
- (d) Provision of personal care services including, but not limited to, housekeeping, laundry, and minimal health monitoring; and
- (e) Installation of emergency call buttons or systems in each congregate care living unit.

space for each additional guest room in excess of four (4).

2. *In the I-B zone:* No off-street parking required.

- (t) [Exception:] Notwithstanding the preceding provisions of this section, the parking requirement for any new structure in excess of fifty thousand (50,000) square feet shall be as established by the planning board pursuant to section 14-526 (a)(2) .
- (u) Exception for historic structures. No parking in excess of that existing on or servicing the lot as of March 15, 1999 shall be required for any structure under Article IX of this Chapter, as a contributing structure in a local or National Register historical district, or as a locally designated or National Register landmark building; however, parking may not be decreased from that existing on or servicing the lot on March 15, 1999 except to the extent necessary to meet the requirements of the Americans with Disabilities Act.
- (v) **Private clubs:** One (1) parking space for each one hundred fifty (150) square feet, or major fraction thereof, of floor area.
- (w) **Community Centers:** One (1) parking space for each 150 square feet, or major fraction thereof, of floor area, except for community centers which serve primarily clientele from the surrounding neighborhood, the parking requirement shall be one (1) parking space per 1,000 square feet, or major fraction thereof, of floor area.

(Code 1968, § 602.14.B; Ord. No. 268-77, 5-16-77; Ord. No. 431-82, § 2, 2-22-82; Ord. No. 575-86, §§ 1, 2, 5-19-86; Ord. No. 65-87, 11-2-87; Ord. No. 230-90, § 2, 3-5-90; Ord. No. 33-91, § 14, 1-23-91; Ord. No. 243-91, § 1, 3-11-91; Ord. No. 33A-91, § 8, 4-17-91; Ord. No. 125-97, § 10, 3-3-97; Ord. No. 232, §4, 3-15-99; Ord. No. 94-99, 11-15-99; Ord. No. 77-02/03, § 1, 10-21-02)

Supplement 2002-4

14-367

October 27, 2003

Kandi Talbot
City of Portland
Planning and Development Department
389 Congress Street
Portland, Maine 04101

11/5/03

Re: Peoples Regional Opportunity Program
Parkside Neighborhood Center at Grant and Mellen Streets

Dear Kandi,

Per the memo and comments at our Workshop, we are delivering 6 copies of a draft easement plan for this project. As you are aware we will be building up to the property line on the southern and western sides of this lot. These boundaries abut city sidewalks currently constructed of concrete, brick and asphalt, which are in varying degrees of repair. I've outlined below the specific purposes for each proposed easement. This plan includes all the easements required for the project, but as noted on the plan easements A, B & C involve the City of Portland, D thru H involve abutters to the property.

To review, the City easements are as follows:

Easement A A temporary easement for excavation allowing for installation of temporary sheet piling and for construction of the concrete footings. Once backfilled this area will provide for staging and construction of the buildings above grade.

Space required – approximately 8'-0" out from property line into sidewalk, full length of the property on Grant Street (200'), approximately 60'-0" on Mellen Street.

Duration- Full length of construction, approximately 10-12 months.

Easement B Consists of 2 configurations, one below grade for concrete footings to overhang the property line and one above grade for granite steps to sit over the property line and on the sidewalk. At all above grade easements a 5'-0" minimum width to any obstructions will be provided to maintain pedestrian traffic.

Space required – The concrete footings will overhang approximately 12" over the property line at either ± 4 ft. or ± 10 ' below grade, depending on the basement function. These will run along the full length of Grant Street and approximately 55 ft along Mellen Street. Three of the stair locations require approximately 12" out from the property line and approximately six feet in

length. The main entry to 85 Grant Street requires 24" out from the building and approximately 10 ft. in length.

Duration- Permanent.

Easement C Temporary easements above grade on the sidewalks to allow for ongoing maintenance such as painting, exterior repair and roof work. Work to be done standing, on ladders or scaffolding.

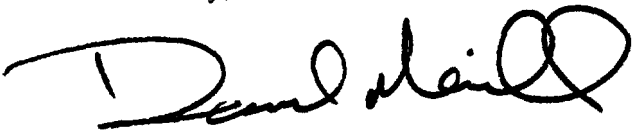
Space required – The maximum space required would be 6 feet outside the property line to allow for scaffolding. To simplify the configuration, this easement will run along the full length of Grant Street and approximately 55 feet along Mellen Street.

Duration- Periodic as required, short durations as required by task.

The remaining easements are with abutters and are undergoing negotiation between PROP and the specific property owners.

Upon your review and comment we will fix dimensions to these easements and add any additional detail you require. Should you have any questions please contact me directly.

Sincerely,

A handwritten signature in black ink, appearing to read "David Merrill". The signature is fluid and cursive, with a large initial "D" and a stylized "M".

David Merrill

TFH Architects
100 Commercial Street
Portland, Maine 04101

cc: Betsy Sawyer-Manter (PROP)
Tom Greer (P&G), TST, file

November 3, 2003

Planning Board
City of Portland
Planning and Development Department
389 Congress Street
Portland, Maine 04101

Re: Peoples Regional Opportunity Program
Parkside Neighborhood Center at Grant and Mellen Streets

Dear Board Members,

We present for your review and approval the revised documents for Site Plan and Subdivision Approval, as required by Chapter 14 of the Land Use Code.

These documents address the comments made during the peer reviews and workshop held on October 14, 2003 in anticipation of a Public Hearing on November 18, 2003. Listed below are some of the major outstanding items and brief explanations for proposed solutions.

Landscaping Although the tree requirement was noted as being met in the review comments, in actuality the proposed plan does not meet the subdivision ordinance. This ordinance requires 2 trees for every unit, in this case 16, for a total of 32 trees. In the limited amount of green space available after the building and parking are satisfied, we are providing 17 trees on the lot and the street and a 900 sf playground for use by the child development program on site. As this area of the peninsula is dense urban neighborhood we are asking that this requirement be waived, accepting the quantity of trees and the playground as suitable to the neighborhood.

Soil and Drainage Due to the existing grade of the site and surrounds parking lot and rooftop stormwater will be collected and routed into the combined sewer system running down Mellen Street. Rooftop runoff for each building will be collected in a gutter system and directed to a catch basin or manhole for discharge to the street. Initial information indicated there was sufficient capacity in the City system. Upon completion of related building and lot details stormwater calculations will be completed and submitted for Planning Board and peer review.

Lighting The chosen exterior flood fixture specification has been provided in this package. It is intended that all fixtures be mounted from the building in order to provide proper lighting for circulation and parking, meeting City design standards. Upon completion of a photometric study, it will be provided for Planning Board and peer review.

Utility capacity letters Revised Portland Public Works and Portland Water District letters of adequacy have been submitted. Northern Utility and Central Maine Power adequacy letters were submitted with the previous design. Loads have not significantly changed from the original proposal, so we have not had these letters revised at this time.

Financial and Technical Capacity The appropriate letters were submitted at the Workshop.

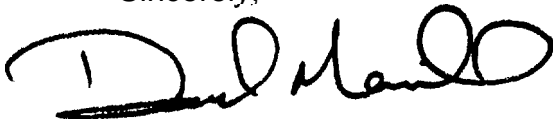
Easements Copies of a draft easement plan have been submitted to staff for Public Works, Traffic and council review. This plan indicates locations for all easements and parties involved related to the site, construction, maintenance and permanent encroachments. Based on workshop review materials, It is anticipated that a City permission to proceed or perhaps license with the City Manager will be sufficient. Discussions are ongoing with the abutters to the east and north. At this time there appear to be no impediments to formalizing these easements in the near future.

Road access/Circulation In order to address the limited aisle width of the parking area we have made the following adjustments: reduced the total depth of Building B from 55'-0" to 52'-2", in the deepest spaces, increase the spaces to 9 ft. & 10 ft. foot wide spaces, and also noting that the van access space is also available for turning. These combined measures, although still under the City Standards, we feel make the parking circulation manageable and comparable to other similar situations. We therefore request a waiver for from the 24' width to the 20' proposed width with widening measures noted above.

Grading/Drainage- As noted Casco traps will be installed in each catch basin. Regarding the retaining wall along the Burnham property, we have a proposed design of concrete landscape blocks, picket fence and wood bollards to run along the property line. Once approved by the abutter will then have our civil and geotechnical engineers review and approve the design and then submit to staff.

This list address' the major issues noted in the project Memorandum dated 10/14/03 as well as a number of the Development Review Coordinator's items. Any additional items not mentioned hear can certainly be discussed at the Public Hearing or prior if necessary. Please call if us if there are any concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "David Merrill". The signature is fluid and cursive, with a large initial "D" and "M".

David Merrill

TFH Architects
100 Commercial Street
Portland, Maine 04101

**PROP Mellen & Grant Streets.
Neighborhood Center & Affordable Housing
NFPA 101 - 2000 Code summary**

1. OCCUPANCY CLASSIFICATION		
Section 6.1.1, pg.. 84	Bldg. A – Mixed Use – Basement, Ground floor – Assembly, Business, Day-care 2 nd /3 rd Floors – Residential type 4 (Apartment)	Bldg. B – Residential type 4 (Apartment)
2. HAZARD OF CONTENTS		
Section 6.2.1, pg.. 90	Bldgs. A & B - Ordinary Hazard throughout	
3. MEANS OF EGRESS		
Exit access corridors - Section 7.1.3.1, pg.. 99 Section 38.3.6, pg.. 880 Exits - Section 7.1.3.2, pg.. 99 Doors - Section 7.2.1, pg.. 107 Stairs - Section 7.2.2, pg.. 133 Guards & Handrails- Section 7.2.2.4, pg.. 141 Areas of Refuge- Section 7.2.12, pg.. 175, Section 7.5.4, pg. 206, Section 30.2.2.12, pg. 867	1 hr over with occupancy of 30, exceptions- % hr. fire resistance, 20 min. doors in Apartment Buildings. In Assembly, Business Day Care occupancy, no rating required with approved sprinkler system 2 hr separation >3 stories 32" min width 4 4 min width incl. rail, 36" w/ occupant. load <50, 7"/11" rise to run, 6'-8 min headroom, 12'-0" max ht. between landings Guards req. with 3 0 drop, 42" min height., Openings ≤ 4" dia., Handrails req. w/i 30" of width, Handrails 3 4 – 38" aff Exception - In Apartment Building occupancies with an approved sprinkler system, 2 rooms or spaces separated by a smoke resistant partition per 3.3.14 a separated Area of Refuge shall not be required.	
4. OCCUPANCY LOAD	Building A	
Basement Section 7.3.1, pg.. 183	Business, Offices & lobby – 1207 gsf/100 = 12 occ. Mechanical 519 gsf/300 = 1 occ.	
Ground/1st. Floor Section 7.3.1. pg.. 183	Business, Offices & lobby – 1765 gsf/100 = 18 occ.	
	Community Room - 881 nsf/15 = 127 occ.	
	Child Development - 718 nsf/35 = 21 occ.	
Second Floor Section 7.3.1, pg.. 183	Residential - 4221 gsf/200 = 21 occ.	
Third Floor Section 7.3.1, pg.. 183	Residential – 4221 gsf/200 = 21 occ.	
Total Building Occupancy		280 occ.

	Building B	
Basement Section 7.3.1, pg.. 183	Storage, Mechanical - 1264 gsf/300 =	5 occ.
Ground/1 st . Floor Section 7.3.1, pg.. 183	Residential - 3433 gsf/200 =	17 occ.
Second Floor Section 7.3.1, pg.. 183	Residential - 3433 gsf/200 =	17 occ.
Third Floor Section 7.3.1, pg.. 183	Residential - 3433 gsf/200 =	17 occ.
Total Building Occupancy	56 occ.	
Egress Capacity - Section 7.3.1, pg.. 189 Total Width Table 7.3.3.1, pg. 189	Bldg. A - Basement Stairways-13 occ x .3" = 4" req. Level components-13 occ x .2" = 3" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
	Ground Floor - mixed use Stairways-280 occ x .3" = 84 req. Level components-280 occ x .2" = 56" req.	88" provided from levels above 64" Provided from levels above 224" provided total
	Second Floor - Residential Doors - 17 occ x .2" = 4" req. Stairs - 17 occ x .3" = 6" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
	Third Floor - Residential Doors - 17 occ x .2" = 4" req. Stairs - 17 occ x .3" = 6" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
	Bldg. B - Basement Stairways-5 occ x .3" = 2" req. Level components-5 occ x .2" = 1" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
	Ground Floor - mixed use Stairways-56 occ x .3" = 17" req. Level components-56 occ x .2" = 12" req.	88" provided from levels above 64" Provided from levels above 224" provided total
	Second Floor - Residential Doors - 17 occ x .2" = 4" req. Stairs - 17 occ x .3" = 6" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
	Third Floor - Residential Doors - 17 occ x .2" = 4" req. Stairs - 17 occ x .3" = 6" req.	Minimums pertain - doors - 32", stairs & corridors - 44" ≥ 50 occupants, 36" < 50 occupants
Number of Means of Egress - Section 7.4.1, pg.. 189	1 required w/ < 50 occupants	Provided

Arrangement of Means or Egress- Section 7.5 , pg.. 195, Remoteness section 7.5.1.4	Bldg. A - 1/3 max. diagonal distance w/ sprinkler	Max diagonal distance = $102\sqrt{3} = 34'$ Distance between exit doors = 36'
Travel Distance to Exits, Section 7.6 , pg.. 206 Table A.7.6.1, pg. 208	Assembly – Common Path Limit Dead-End Limit Travel Distance. Limit	20' > 50 occ, 75' ≤ 50 occ. 20', no dead end corridors allowed 200'
	Day Care – Common Path Limit Dead-End Limit Travel Distance. Limit	100' 50' 200'
	Business – Common Path Limit Dead-End Limit Travel Distance. Limit	100' 50' 300'
	Residential- Apartments – Common Path Limit Dead-End Limit Travel Distance. Limit	50' 50' 325'
5. CONSTRUCTION		
Construction Types, Section 8.2.1 , pg.. 233	Building A Building B	Type V(000) Type V(000)
Compartmentation, Section 8.2.2 , pg.. 234	See specific uses	
Concealed Spaces, Section 8.2.7 , pg.. 269	(1) Partitions shall be fire-stopped at each floor level, the top floor ceiling and at the roof support level. (2) Unoccupied attic spaces to be draft stopped into areas ≤ 3000 ft ²	
6. INTERIOR FINISH		
Use of Interior Finishes, Section 10.2.2 , pg.. 308 Section 10.2.8 , pg.. 320	Assembly I 300 occ – Exits Access to Exits Other spaces	Class A, w/ sprinkler Class. B Class A or B, w/. sprinkler Cl. B, C Class A, B or C
Class A Flame spread 0-25 Class B Flame spread 26-75 Class B Flame spread 76-200	Day Care– Exits Access to Exits Other spaces	Class A, w/. Sprinkler Cl. B Class A, w/. Sprinkler Cl. B Class A or B, w/. Sprinkler Cl. B, C
	Business– Exits Access to Exits Other spaces	Class A or B, w/. Sprinkler Cl. B, C Class A or B, w/. Sprinkler Cl. B, C Class A. B or C
	Apartments– Exits Access to Exits Other spaces	Class A, w/. Sprinkler Cl. B Class A or B, w/. Sprinkler Cl. C Class A, B or C
Trim and Incident Finish, Section 10.2.5 , pg.. 308	≤ 10% aggregate floor/wall area can be Class C in Class A or B	
7. ASSEMBLY OCCUPANCY		
Minimum Construction Requirements, Section 12.1.6 , pg. 349	Table 12.1.6 Construction Type Limits Type III(200)	Allowed on Level of Exit Discharge with Occupant load I 1000

Panic Hardware, Section 12.2.2.2.3 , pg.. 359	Panic hardware required with occupant load \geq 100	
Arrangement of Means of Egress, Section 7.5.1.4 , pg. 198, Section 12.2.5.1 , pg. 366	Maximum diagonal distance = 102' 1/3 diagonal distance = 34'	Actual exit separation = 43'
Aisles serving seating @ tables, Section 12.2.5.8 , pg. 387	NA	
8. DAY CARE OCCUPANCY		
Mixed Occupancies, Section 6.1.2 , pg.. 477	1 hr fire separation between occupancies	
Location and Construction, Section 61.1.6 , pg.. 479	Type III(200) approved	
Number of exits, Section 16.2.4 , pg.. 483	2 exits required	
Travel distance to Exits, Section 36.2.6 . pg.. 837	200' allowed with approved sorinkler svstem	
9. BUSINESS OCCUPANCY		
Minimum Construction Requirements, Section 38.1.6 , pg.. 863	No special requirements	
Number of exits, Section 38.2.4.2 , pg.. 869	Not less than 2	
Arrangement of Means of Egress, Section 38.2.5.1 , pg.. 869 Section 38.2.5.2 , pg.. 869	Dead end corridor \leq 20' Common Path of travel \leq 75'	
Travel distance to Exits, Section 38.2.6 , oa.. 875	200' allowed with approved sprinkler system	
Corridors, Section 38.3.6 , pg.. 880	No rating required with Exception No. 3 – Within buildings with an aooroved sorinkler svstem.	