

Addendum #2

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 20,2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

CC:

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 29,2004. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

Addendum #1 dated 2/12/04

ATTACHMENTS TO THE ADDENDUM

- 2-1 Drawing SKA 12, dated 2/17/04
- 2-2 Specification Section 08800 - Glazing

CHANGES TO THE SPECIFICATIONS

- 2-3 Section 07620, Paragraph 2.4, C - DELETE 'NIC' reference.
- 2-4 Section 07620, Paragraph 2.6, B & C - DELETE 'NIC' references.
- 2-5 Section 07620, Paragraph 2.6, D & E - DELETE 'MCS' references.
- 2-6 ADD Section 08800, Glazing
- 2-7 Section 09680, Paragraph 2.4, - **ADD** the following section
 - E. Concrete slab primer: Nonstaining type provided by the following:
 - 1. Sealflex pH blocker primer designed to reduce moisture vapor emission.
- 2-8 Section 09680, Paragraph 2.4, - **ADD** the following section
 - F. Adhesive (Concrete substrate): High solids water based acrylic adhesive, resistant to moisture vapor emission up to 8 pounds per 1000 square feet in 24 hours.
 - 1. Sealflex ultrabond Adhesive.
- 2-9 Section 09680, paragraph 3.01, **ADD** the following section:
 - E. Concrete subfloors: Verify that concrete slabs comply with ASTM F 710 and the following:
 - 1. Slab substrates are dry and free of curing compound, sealers, hardeners, and other materials that may interfere with adhesive bond. Determine adhesion and dryness characteristics by performing bond and moisture test recommended by carpet manufacturer, carpet cushion manufacturer and with the following specified requirements:
 - a. An independent testing agency shall perform calcium chloride moisture tests on concrete slabs on ground to receive carpet at the rate of 1 test per 1000 square feet of floor area at locations receiving glue down installation.

- b. Maintain a minimum temperature of 70 deg F in spaces to be tested for at least 72 hours prior to and during the test.
 - c. Tests shall be conducted in accordance with ASTM 1869-02, except that the area of the CaCl² dish shall not be deducted.
 - 2. Concrete pH Test: Perform pH tests on concrete floors regardless of age or grade level.
 - 3. Subfloors are free of cracks, ridges, depression, scale, and foreign deposits of any kind.
- 2-10 Section 09680, Paragraph **3.03**, **ADD** the following section:
 H Direct Glue Down Installation (Concrete surfaces): Comply with CRI 104, Section 8, "Direct Glue-Down installation" for basement level installation.
- 2-11 Section 15991, Air Temperature Controlse (Electric), Paragraph 1.02 (B), **ADD** the following item:
 e. Northeast Controls.

CHANGES TO THE GEO-TECH REPORT

None

CHANGES TO THE DRAWINGS

None

NEW DRAWINGS

Item	Sheet	Detail	Description
2-12	SKA-12	-	ADD SKA-12, detail 9 to sheet A5.2

Questions & Clarifications

- 2-13 QUESTION
 North Elevation A2-1, room 014 & 012 windows are labeled s #2, but shown differently on the elevation. Can I assume the smaller windows are the correct ones?
 ANSWER
 Yes, the 4 windows along exterior of rooms 012 & 014 are mislabeled. These windows should be labeled window type 4.
- 2-14 QUESTION
 Any detail measurements on the granite cap for 'A' Building retaining wall at the north side of the play area? Structural detail on S6.0 doesn't provide dimensions.
 ANSWER

The granite caps around Building A are to match the belt course and window sill blocks @ 7 5/8" h, see plans for widths & lengths. All details will be revised to reflect this height.

2-15 QUESTION

Is the tile mosaic is to be done at some future point and not as an alternate? It is labeled at one spot in the structurals as option 1.

ANSWER

The tile mosaic will be done by others after completion of the building. Please disregard any reference to mosaic options; they are intended as guidance to the owner.

2-16 QUESTION

What are the requirements for the chimney cap? Any details?

ANSWER

Please see attached sketch SKA-12.

2-17 CLARIFICATION

CCA treatment for pressure treated lumber on residential projects was banned on 1/1/04. There are currently a number of available substitutes for this material. Sub-contractors and suppliers should provide the appropriate level of chemical concentrations for the given exposure (i.e. ground contact, above ground, etc.). Fasteners should be stainless steel whenever in contact with pressure treated lumber. Any substitute will require submittal data with performance equal to stainless steel fasteners. Joist hangers should be Simpson Strong's 'Zmax' series. Anchor bolts should have a heavy duty galvanizing. No aluminum should be used in contact with pressure treated lumber. Copper flashing is to be used where visible, flexible membrane flashing can be used where concealed.

2-18 QUESTION

Building B, South elevation, A2.0#1 shows single windows in rooms 301 & 328, floor plan A1.3 indicates 2 windows each, which is correct?

ANSWER

The floor plan is correct, elevation #1, A2.0 should be revised to indicate double windows.

2-19 QUESTION

Is tempered glass required at windows and doors?

ANSWER

Yes, both in doors and within 24" of a vertical edge. This includes but is not limited to doors – Bldg. A - 141, 1081, 1091, 1271, 2092, 2272, 3092, 3272. Bldg B – 2011, 2242.

2-20 QUESTION

February 20, 2002

PNC & Affordable Housing
Addendum #2

Page 4

Is tempered glass required at windows above bathtubs?

ANSWER

Yes, such as bathrooms 303 & 326.

2-21 QUESTION

Is Shaw carpet the only approved carpet?

ANSWER

No, given similar performance specifications and color ranges, other carpet manufacturers and styles could be approved per specification section 09680.

2-22 CLARIFICATION

Please clarify the following accessories;

Single roll toilet tissue dispensers are not owner provided. Provide single roll units in residences, double roll units in PNC.

Medicine cabinets are required in full baths only.

A regular channel frame in half baths, Hdcp adjustable in PNC.

1 - 24" towel bar per bath is required. In accessible units, substitute 1" grab bar with sufficient blocking.

Shower grab bars and a tip down seat are included in the one piece unit provided under Section 15000

Toothbrush holders are not required.

All public restrooms in the PNC are to receive accessories as indicated on sheet A3.1. Room 111 is the only toilet to receive a baby changing station.

Shower curtains are not required.

Sanitary napkin vendors are not required.

Lavguards are supplied under division 15.

A mop and broom holder is required in Janitors closet rm. 010 only.

2-23 QUESTION

Where is the protection course required as mentioned in specification section 07115, paragraph 3.4, A

ANSWER

If required by the chosen damproofing product's manufacturer, a protection course **is** to be provided on all concrete foundations surrounding habitable space in Buildings A & B.

2-24 QUESTION

Please clarify the acoustical tile work.

ANSWER

Room 113 is to receive 12"x12" adhered ACT in the coffer.

Room 120 is to receive 24"x 48" washable tile in the north/cooking portion, painted GWB in the south section.

Room is to receive 12"x12" adhered ACT in the coffer, similar to rm. 113, but not indicated correctly.

- 2-25 QUESTION
The residential kitchen cabinets specified in Section 12356 are no longer available. Please provide an additional manufacturer and style which can be priced.
ANSWER
The owners preferred cabinet is the 'Premier' series, 'Greenfield' style by Yorktowne. This is a clear or honey finished shaker style front. Substitutes will be considered of equal durability and appearance; however any substitution should be qualified when submitting a bid. Cabinets for the PNC kitchen room 120 should be commercial quality laminate faced and lockable. Colors can come from the manufacturer's standard range. Cabinet interiors should be white melamine with adjustable shelves.
- 2-26 QUESTION
Please provide additional information for the linoleum counter indicated on sheet A3.0, # 3 C & D.
ANSWER
Linoleum should be from the Forbo 'Real' line, 2.0 mm thick, color from the standard range. Edge should be clear finished maple with a full bullnose profile
- 2-27 QUESTION
Please identify the item having radiused corners on the north wall just above the dimension 2'-10 1/2"
ANSWER
This is a bulletin board provided & installed by the owner.
- 2-28 QUESTION
On sheet A3.2, # 5 B D, should there be a framed wall below the raised counter top?
ANSWER
Yes, a framed wall should be included in the counter depth to support the counter. When not end supported brackets should also be provided for sufficient support.
- 2-29 CLARIFICATION
Residential unit elevations on sheet A3.2 are indicative of most, but not all conditions. Bidders should use floor plans, reflected ceiling plans and unit elevations as a guide to determining all layouts.
- 2-30 QUESTION
Are there any approved equals to the specified Paridigm double hung windows?
ANSWER

At this time the Paradigm is the only approved window. No other windows will be reviewed at this time. Vendors may submit bids with a substitution, but *are* required *to* qualify the substitute on the bid form. Substitutions may or may not be reviewed should budget concerns arise.

2-31 QUESTION
Is there a glass and glazing specification?

ANSWER
See attached short form specification for Glazing.

2-32 QUESTION
What is the scope of work for the mini blinds? Please clarify operation.

ANSWER
The mini-blinds specified in section **12491** are to be provided for all windows of the Parkside Neighborhood Center in the basement **and** ground floor of Bldg. A. Revise the specifications to require 2% extra material, top locking, box bracket w/ no valence.

2-33 QUESTION
What is the scope of work for the Roller shades? Please clarify operation.

ANSWER
The roller shades specified in section **12494** are to be provided for all windows of the residential units in the 2nd & 3rd floor of Bldg. A and throughout Bldg. B. Roller shades are to be for room darkening, not filtering.

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

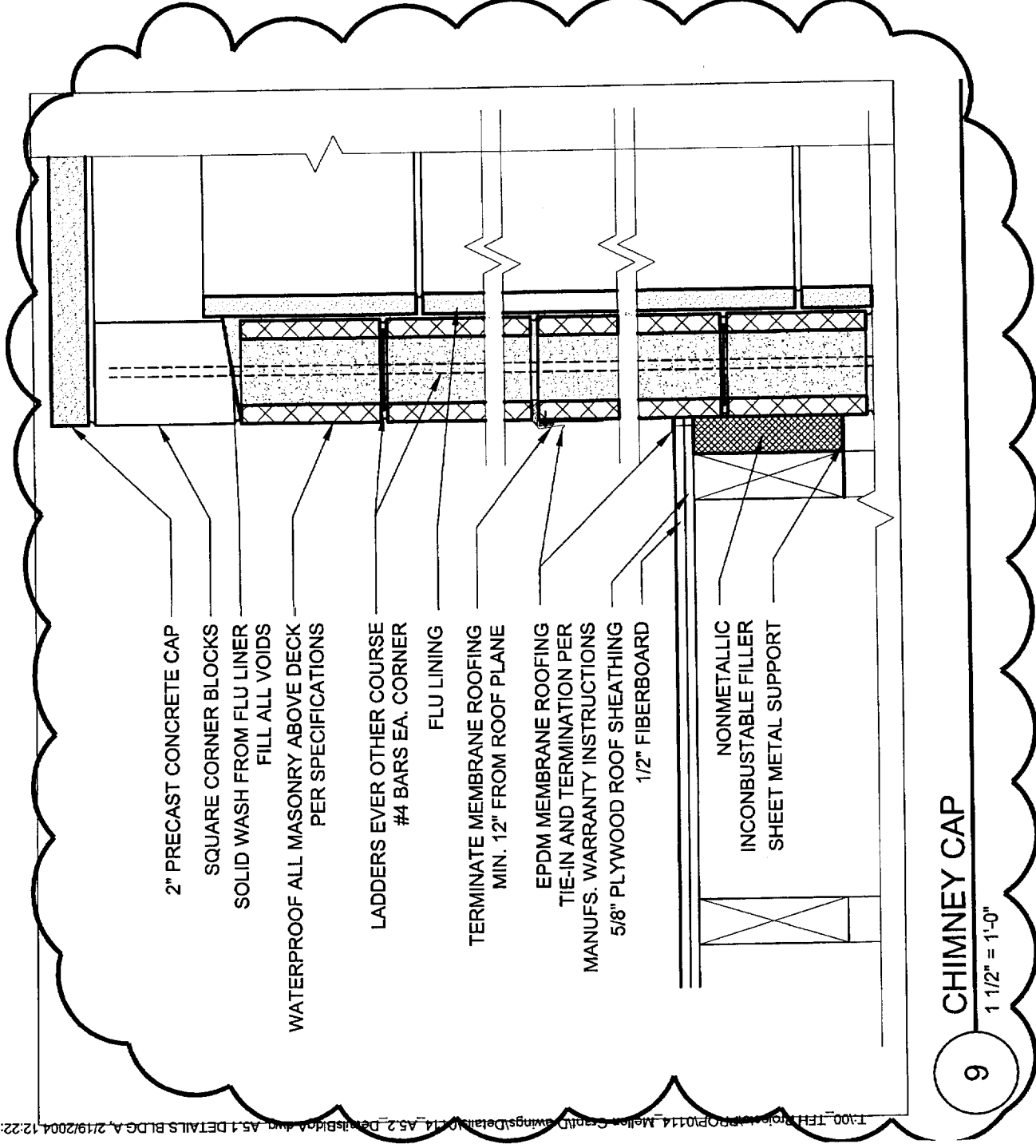
None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #2

T:\00_TFH\Projects\03\PROJ0114_Mellon_Capitol_Dwgs\Details\Detail10_C114_A5.2_DetailBldgA.dwg - A5.1 DETAILS BLDG.A. 2/19/2004 12:22:04 PM



2" PRECAST CONCRETE CAP

SQUARE CORNER BLOCKS

SOLID WASH FROM FLU LINER
FILL ALL VOIDS

WATERPROOF ALL MASONRY ABOVE DECK
PER SPECIFICATIONS

LADDERS EVER OTHER COURSE
#4 BARS EA. CORNER

FLU LINING

TERMINATE MEMBRANE ROOFING
MIN. 12" FROM ROOF PLANE

EPDM MEMBRANE ROOFING
TIE-IN AND TERMINATION PER
MANUFS. WARRANTY INSTRUCTIONS

5/8" PLYWOOD ROOF SHEATHING
1/2" FIBERBOARD

NONMETALLIC
INCOMBUSTIBLE FILLER
SHEET METAL SUPPORT

CHIMNEY CAP

1 1/2" = 1'-0"

9

2

SKA-12
2/19/04
PARTIAL A5.2

2.1 GLASS

A. Provide glass types and thicknesses as per Drawings and Window Schedule:

Float (or "plate"): Comply with Federal Specification DD-G-45 1.

Clear wire glass: Comply with Federal Specification DD-G-45 1.

B. Tempered, heat strengthened glass: Comply with Federal Specification DD-G-1403, and ANSI 2971.

Do not attempt to cut tempered glass in the field.

C. Laminated: Float glass laminated to plastic core as per standards of the Standard Specifications for Architectural Flat Glass Clad Polycarbonate in the Laminated Glass Design Guide of the Glass Association of North America. Laminated glass in sizes up to 5' x 10' shall be at least 1/4" thick; larger sheets shall be at least 3/8".

E. Insulating glass: Comply with ASTM E-773, ASTM E-774. Sealed insulating units fabricated from two panes of glass with air space between. Glass thicknesses and heat strengthening to be determined by manufacturer for wind loading conditions. Insulating glass warranty: 10 years.

F. Glazing materials: Comply with the standards of the Glass Association of North America Glazing Manual and Sealant Manual.

PART 3 -- CONSTRUCTION AND INSTALLATION

3.1 PRECONSTRUCTION

A. Examine job conditions and verify that all are satisfactory for speedy and acceptable work.

B. Clean and prepare glazing support materials according to manufacturer's instructions and standards of the Glass Association of North America Glazing Manual.

C. Inspection and cleaning shall include but is not limited to the following: Clean dirt or foreign materials from channels, stops, rabbets, setting blocks, spacers, etc. Remove non-permanent protective coatings. Wipe surfaces clean immediately prior to adding primer, tapes or glazing compounds. Apply primer to surfaces as required to receive glazing compounds.

3.2 INSTALLATION

A. Inspect framing before installation and provide written report of any conditions that might interfere with satisfactory installation.

B. Inspect all glass immediately before installation. Reject any unlabeled, edge-damaged, scratched, or mis-sized pieces. Leave manufacturer's labels attached until the Architect directs that they can be removed.

- C. Install as per manufacturer's instructions and the standards of the Flat Glass Marketing Association.
- D. Maintain the highest standards of installation and consistency in application and appearance. Install setting blocks and spacers, gaskets, and felts exactly as directed by manufacturer. Support glass firmly and evenly with setting blocks. Keep glass completely separated from any material other than cushioning stops, spacers, gaskets, etc. Install glass to maintain uniform appearance in surfaces. Do not vary glazing materials except as approved or directed by the Architect.
- E. Install sealants to provide complete bond and to assure water will wash away from glass.
- F. Provide precise miter cuts or other directjoints where detailed. Seal miter joints and other joints so they are completely air- and water tight.

3.3 PROTECTION AFTER INSTALLATION

- A. Protect glass after installation with safety strips and warning markers. Keep safety strips and warning markers off of the glass surface to avoid staining or marring the surface. Protect metal parts from damage after installation.

3.4 CLEANING

- A. Clean all glass at the conclusion of interior construction work, or when directed by the Architect. Clean all glass with cleaner, cleaning materials, and methods recommended by the glass manufacturer. Clean all glass completely clear of streaks or spots.
- B. Any glass that is scratched or damaged during cleaning will be replaced at the contractor's expense.

3.5 REPAIR AND REPLACEMENT

- A. Remove and replace any damaged glass and glazing. Install, protect, and clean replacement glass as specified above.

END OF SECTION

Addendum #3

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 25,2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

c c :

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

February 25,2002

**PNC & Affordable Housing
Addendum #3**

Page 1

This ADDENDUM supplements and amends the original Plans and Specifications dated January 29,2004. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

Addendum #1 dated 2/12/04
Addendum #2 dated 2/20/04

ATTACHMENTS TO THE ADDENDUM

- 3-1 Revised Drawing SKA 11, dated 2/20/04
- 3-2 Revised Drawing SKA 12, dated 2/20/04
- 3-3 Drawing SKA 13, dated 2/20/04
- 3-4 Drawing SKA 14, dated 2/20/04
- 3-5 Drawing SKA 15, dated 2/20/04

CHANGES TO THE SPECIFICATIONS

- 3-6 Section 04810 UNIT MASONRY ASSEMBLIES- REVISE section 2.1, paragraph B, #4 to read '8 inches nominal: 7 5/8" actual'.
- 3-7 Section 15400, Paragraph 2.3, C – ADD the following item;

Elevator Sump Pump

8 gpm @ 20 ft of Head, 1/3 HP, 115/60/1, 5 amps – Seewater ABS Robusta 33 with "Oil Smart" water pump switch, float switch, high level float switch, oil probes and cables. Provide alarm system electrical control panel with audible alarm, red beacon, oil present amber light, water smart alarm switch with 15' cord, 1/2" wire grips for alarm panel, cord mounting devise piping mount assembly for float and high water switch.

CHANGES TO THE GEO-TECH REPORT

None

CHANGES TO THE DRAWINGS

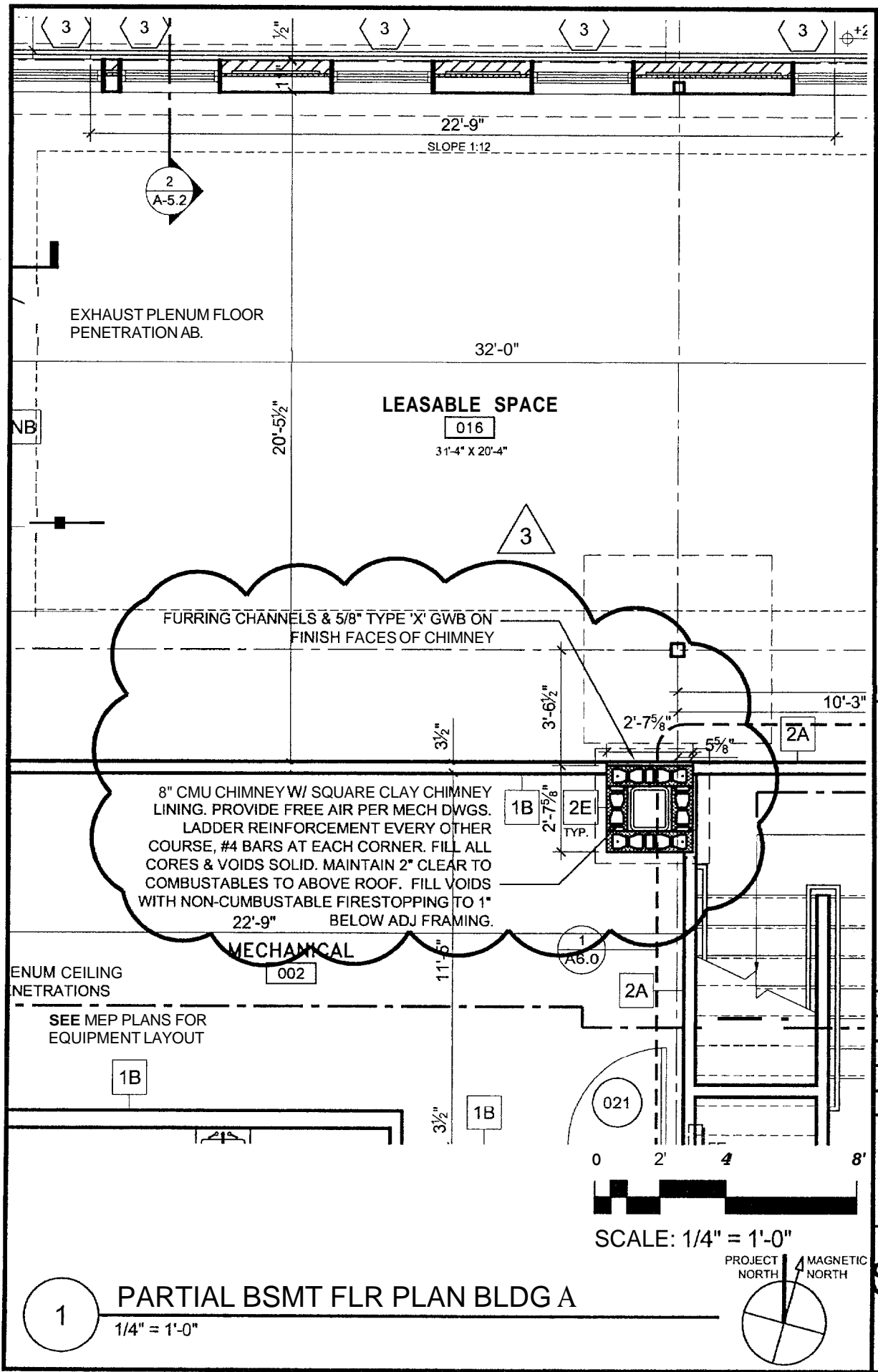
- 3-8 G-1 Partition Types REVISE 2 hr partition type '2E' to 8" CMU.
- 3-9 A1.0 A 1 REVISE chimney with attached revised SKA-11.

February 25,2002

PNC & Affordable Housing
Addendum #3

Page 2

T:\00_TFH Projects\PROP10114_Mellen Grant\Drawings\Plan\0114_A1.0_BM_Bldg A.DWG, SKA-11, 2/25/2004 11:10:20 AM



GRANT & MELLETT STREETS
Neighborhood Center and Affordable Housing
 PEOPLE'S REGIONAL OPPORTUNITY PROGRAM
 Portland, Maine

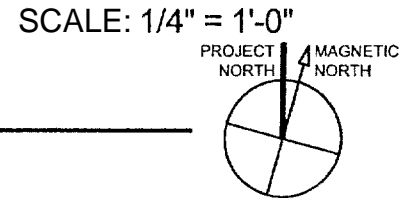
TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:
 DATE: 02/25/04
 PROJECT No. 0114
 DRAWN BY: DAM
 CHECKED BY: TST
 SCALE: AS NOTED

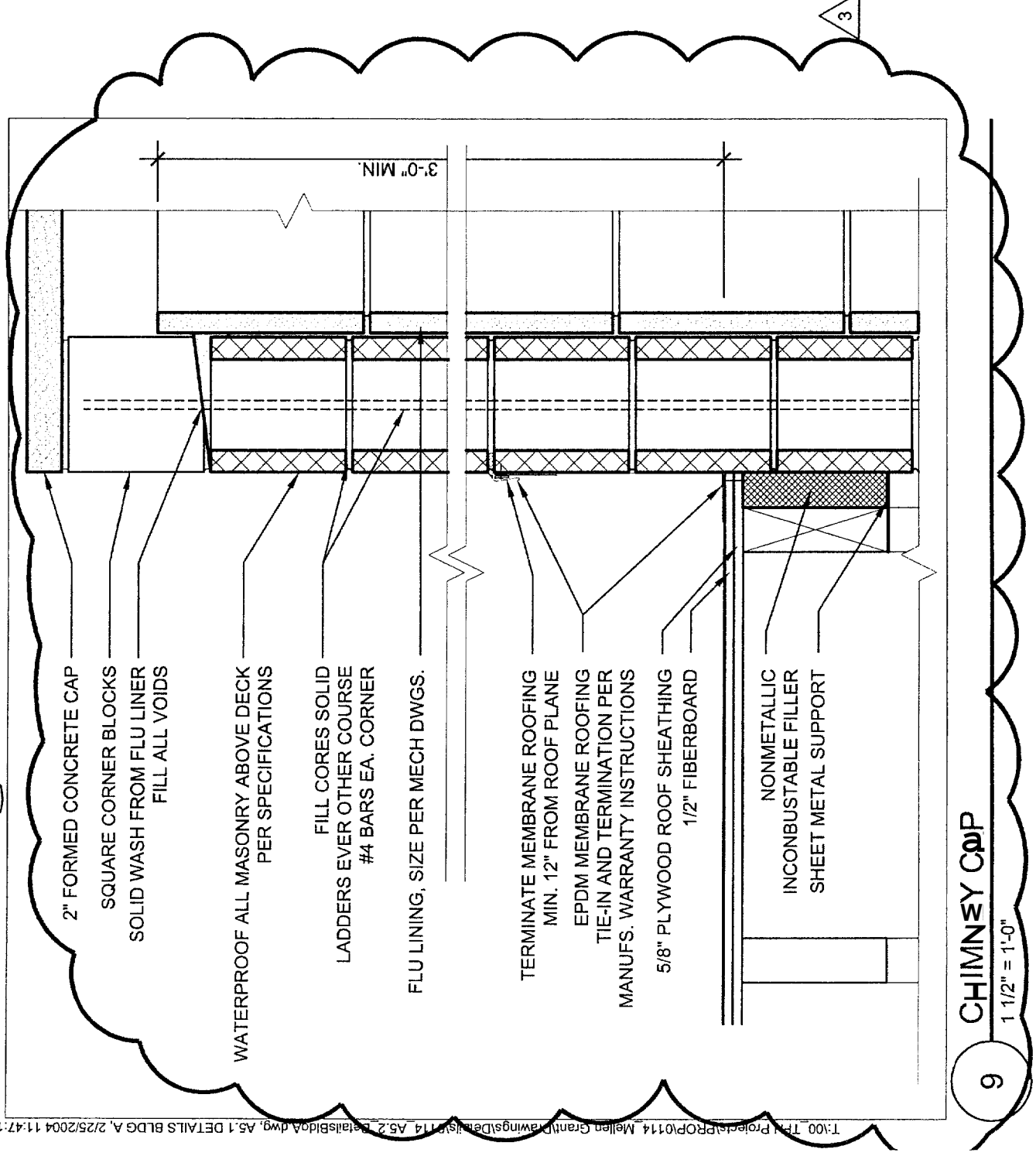
SHEET TITLE:
 PARTIAL
 BLDG. A
 A1.0

REVISED
SKA-11

1 PARTIAL BSMT FLR PLAN BLDG A
 1/4" = 1'-0"



T:\00_TPM\Projects\PROJ0114_Mellen_Grant\Drawings\Details\14_A5.2_Details\BldgA.dwg, A5.1 DETAILS BLDG A, 2/25/2004 11:47:17 AM



2" FORMED CONCRETE CAP
 SQUARE CORNER BLOCKS
 SOLID WASH FROM FLU LINER
 FILL ALL VOIDS

WATERPROOF ALL MASONRY ABOVE DECK
 PER SPECIFICATIONS

FILL CORES SOLID
 LADDERS EVER OTHER COURSE
 #4 BARS EA. CORNER

FLU LINING, SIZE PER MECH DWGS.

TERMINATE MEMBRANE ROOFING
 MIN. 12" FROM ROOF PLANE
 EPDM MEMBRANE ROOFING
 TIE-IN AND TERMINATION PER
 MANUFS. WARRANTY INSTRUCTIONS

5/8" PLYWOOD ROOF SHEATHING
 1/2" FIBERBOARD

NONMETALLIC
 INCOMBUSTIBLE FILLER
 SHEET METAL SUPPORT

3'-0" MIN.

3

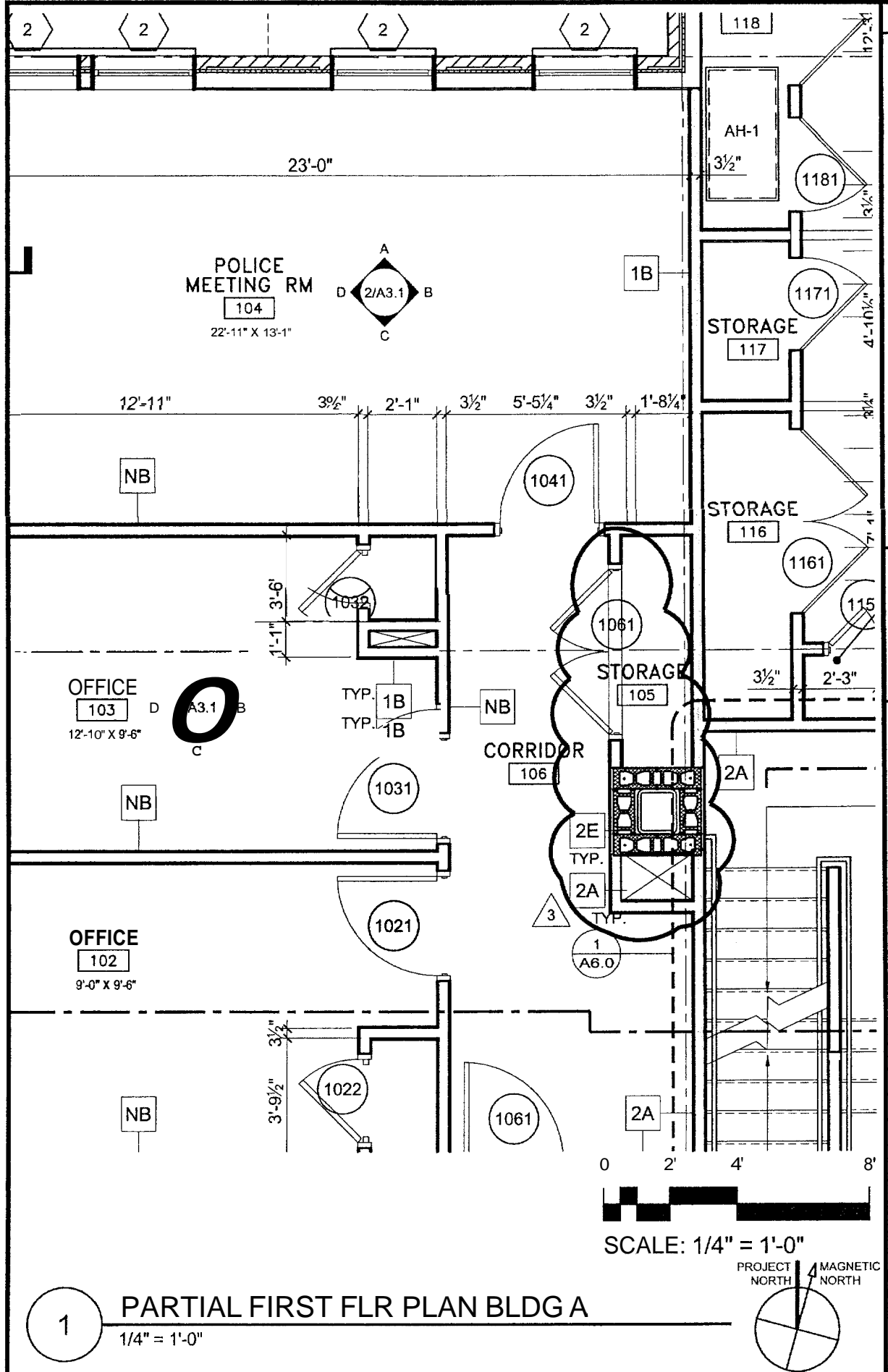
SKA-12
 rev. 2/25/04
 PARTIAL A5.2

CHIMNEY CAP

9

1 1/2" = 1'-0"

T:\00_TFH Projects\PROPI0114_Mellen Grant\Drawings\Plan\0114_A1.1_1stFlr_BldgA.dwg, SKA-13, 2/25/2004 12:02:54 PM



1

PARTIAL FIRST FLR PLAN BLDG A
1/4" = 1'-0"

© 2004 TFH ARCHITECTS

GRANT & MELLEN STREETS
Neighborhood Center and Affordable Housing
 PEOPLES REGIONAL OPPORTUNITY PROGRAM
 Portland, Maine

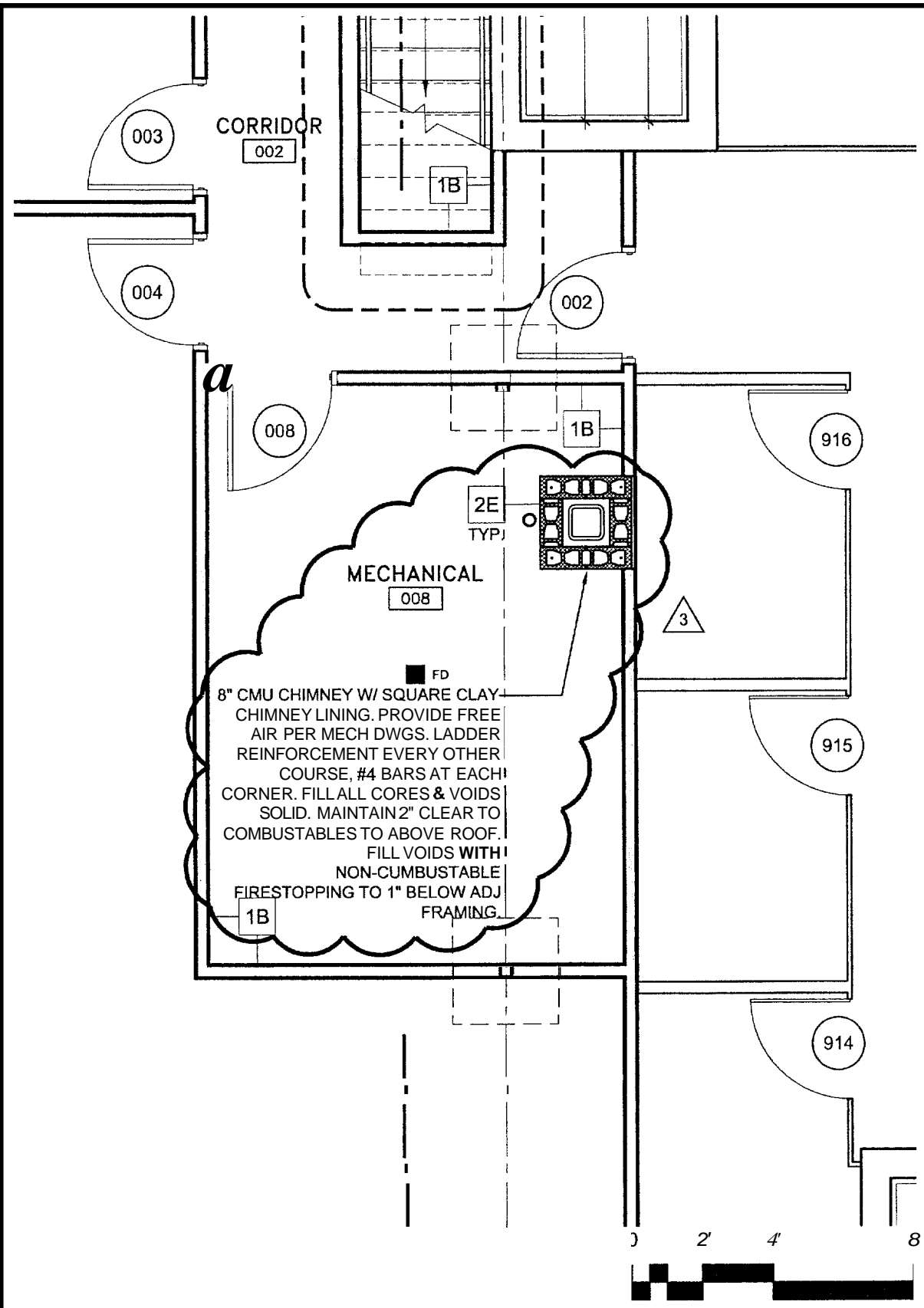
TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

DATE:	02/25/04
PROJECT No.	0114
DRAWN BY	DAM
CHECKED BY:	TST
SCALE:	AS NOTED
SHEET TITLE:	PARTIAL BLDG. A A1.1

SKA-13

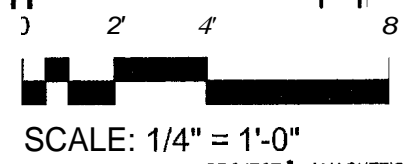
T:\100_TFH Projects\PROJ\0114_Mellen Grant\Drawings\Plan\0114_A1.0_BM_BldgB.dwg, SKA-14, 2/25/2004 12:09:24 PM



8" CMU CHIMNEY W/ SQUARE CLAY CHIMNEY LINING. PROVIDE FREE AIR PER MECH DWGS. LADDER REINFORCEMENT EVERY OTHER COURSE, #4 BARS AT EACH CORNER. FILL ALL CORES & VOIDS SOLID. MAINTAIN 2" CLEAR TO COMBUSTIBLES TO ABOVE ROOF. FILL VOIDS WITH NON-CUMBUSTABLE FIRESTOPPING TO 1" BELOW ADJ FRAMING.

1

PARTIAL BSMT FLR PLAN BLDG B
1/4" = 1'-0"



© 2004 TFH ARCHITECTS

GRANT & MELLEEN STREETS
Neighborhood Center and Affordable Housing
PEOPLE'S REGIONAL OPPORTUNITY PROGRAM
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04107
TELEPHONE 207 775 614
ARCHITECTURE PLANNING

CONSULTANTS:

DATE:	02/25/04
PROJECT No.	011
DRAWN BY:	DAI
CHECKED BY:	TS
SCALE:	AS NOTED
SHEET TITLE:	PARTIAL BLDG. B A1.0

SKA-14

3-10	A1.1 A	1	REVISE chimney with attached revised SKA-13.
3-11	A1.0 B	1	REVISE chimney with attached revised SKA-14.
3-12	A1.1 B	1	REVISE chimney with attached revised SKA-15.
3-13	A5.2 A/B	1	REVISE chimney cap with attached revised SKA-15.

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
-------------	--------------	---------------	--------------------

None

Questions & Clarifications

None

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #3

Addendum #4

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 26, 2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

c c :

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January **29,2004**. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

Addendum #1 dated 2/12/04
Addendum #2 dated 2/20/04
Addendum #3 dated 2/26/04

ATTACHMENTS TO THE ADDENDUM

4-1 None

CHANGES TO THE SPECIFICATIONS

4-2 Section 15400, Paragraph 2.13, C – REVISE the following item to read;

Tub/Shower P-4

Universal-Rundle Kingsport one-piece tub/shower with integral dome, high gloss acrylic surface fiberglass reinforced construction with built-in grab bar.
Coordinate side of drain outlet with room orientation shown on architectural drawings. Shower head shall be Oxygenics 2.0 GPM with control adjustment.
Provide Symmons Temptrol pressure balanced mixing valve with combination integral diverter, volume control, adjustable screw to limit handle turn and tub diverter spout. Provide integral service stops.

CHANGES TO THE GEO-TECHREPORT

None

CHANGES TO THE DRAWINGS

None

NEW DRAWINGS

Item Sheet Detail Description

February 26,2002

PNC & Affordable Housing
Addendum #4

Page 2

None

Questions & Clarifications

4-3 QUESTION

Are the P-4 and P-4A tub/shower fixtures the same and to be provided throughout the project? If not what is the non accessible spec and what is the scope of each?

ANSWER

No, see specification above for the non-accessible tub/shower. P-4A accessible fixtures are only required in the 2 ground floor units of Building 'B'. P-4 fixtures are to be provided elsewhere.

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #4

Addendum #1

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 12,2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

c c :

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 29, 2004. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS DDENDUM

None

ATTACHMENTS TO THE ADDENDUM

- 1-1 Specification pg TOC-3, – dated 2/10/04
- 1-2 Specification pg 05120-1, – dated 2/10/04
- 1-3 Specification section 06401 – dated 2/10/04
- 1-4 Specification section 09640 – dated 2/10/04
- 1-5 Specification section 09650 – dated 2/10/04
- 1-6 Specification section 11451 – dated 2/10/04
- 1-7 Drawing C-8, dated 2/11/04
- 1-8 Drawing CSK1, dated 2/10/04
- 1-9 Drawing CSK2, dated 2/10/04
- 1-10 Drawing CSK3, dated 2/10/04
- 1-11 Drawing CSK4, dated 2/06/04
- 1-12 Drawing CSK5, dated 2/11/04
- 1-13 Drawing CSK6, dated 2/11/04
- 1-14 Drawing SKA 1, dated 2/10/04
- 1-15 Drawing SKA 2, dated 2/10/04
- 1-16 Drawing SKA 3, dated 2/10/04
- 1-17 Drawing SKA 4, dated 2/10/04
- 1-18 Drawing SKA 5, dated 2/10/04
- 1-19 Drawing SKA 6, dated 2/10/04
- 1-20 Drawing SKA 7, dated 2/10/04
- 1-21 Drawing SKA 8, dated 2/10/04
- 1-22 Drawing SKA 9, dated 2/10/04
- 1-23 Drawing SKA 10, dated 2/10/04
- 1-24 Drawing SKA 11, dated 2/12/04
- 1-25 Drawing SKS 1, dated 2/12/04
- 1-26 Drawing SKS 2, dated 2/12/04
- 1-27 Drawing SKS 3, dated 2/12/04
- 1-28 Drawing SKS 4, dated 2/12/04
- 1-29 Drawing SKS 5, dated 2/12/04
- 1-30 Drawing SKS 6, dated 2/12/04

1-31	Drawing MSH P-1, dated 2/13/04
1-32	Drawing MSH P-2, dated 2/13/04
1-33	Drawing MSH P-3, dated 2/13/04
1-34	Drawing MSH P-4, dated 2/13/04
1-35	Drawing MSH P-5, dated 2/13/04
1-36	Drawing MSH P-6, dated 2/13/04

CHANGES TO THE SPECIFICATIONS

- 1-37 Table of Contents - DELETE page TOC- 3, dated 1/29/04 and REPLACE with page TOC- 3, dated 2/10/04.
- 1-38 Instructions to Bidders –REVISE Paragraph 3 – The bid due date is being extended until February 27,2004 at 1:00 PM. The remainder of this paragraph remains intact.
- 1-39 Instructions to Bidders –REVISE Paragraph 17 – ADD the following sentence to end of this paragraph. ‘Bid Bonds are only required for contracts in excess of \$25,000’.
- 1-40 Instructions to Bidders - REVISE paragraph # 21 with the following, which will be included in the Construction Managers contract
21 ‘Liquidated Damages – The Construction Manager and the Construction Manager’s surety, if any shall be liable for and shall pay the Owner the sums hereinafter stipulated as liquidated damages for each calendar week of delay after the date established for Substantial Completion in the Contract Documents until the Work is Substantially complete:’
Nine hundred and twenty three Dollars (\$923).
- 1-41. Section 05 120 Structural Steel, paragraph 1.3. DELETE Paragraph B. Specification section 05500 Metal Fabrications does not exist.
- 1-42. Section 02200 Earthwork DELETE Specifications sections 2.01 B & 2.01D, dated 1/29/04. The gradations for select fill and crushed stone are as specified in the Geotechnical Report dated 2/07/04.
- 1-43. Section 048 10 UNIT MASONRY ASSEMBLIES – Revise section 2.1, paragraph B, #4 – a, to read ‘6 inches nominal; 5 5/8” actual’.
- 1-44 Section 0640 1 Exterior Architectural Woodwork - DELETE entire section dated 1/29/04 and REPLACE with Section 0640 1 Exterior Architectural Woodwork, dated 2/10/04.
Handrail performance requirements have been integrated throughout the section.
- 1-45 Section 09650 Resilient Flooring - ADD entire section, dated 2/10/04.
Incorporates Linoleum called for on finish schedule sheet A7.1.

- 1-46 Section 11451 Residential Appliances - DELETE entire section dated 1/29/04, and REPLACE with Section 11451, Residential Appliances, dated 2/10/04. Section clarifies the scope of work for Kitchen appliances.
- 1-47. Section 15400, REVISE Paragraph 2.06 ADD the following sentence: "Provide a trap primer for all floor drains".
- 1-48. Section 15400, REVISE Paragraph 2.1.1 ADD the following sentence: "Provide domestic hot water recirculating pumps as shown on drawings. Add aquastat to control recirculating pump with temperature set to 120F (adjustable). Provide a circuit steer, check valve and ball valve at the end of domestic hot water branch piping shown on drawings and start of recirculation pipe back to the boiler room.
- 1-49. Section 15991, Paragraph 2.01 Thermostats - DELETE Specification section 2.01 Thermostats dated 1/29/04, and replace with the following dated 2/10/04:

2.01 THERMOSTATS

Provide thermostats for each heating zone and both of the Domestic Hot Water Heaters. Thermostats to be electronic temperature sensing (no mercury bulb). Room thermostats **to** have range of 50°F to 85°F. Thermostats to be digital non-programmable with 24 VAC power (no battery). Thermostats to have freeze protection feature that will keep room at 40°F even if thermostat switch is in "Off" position. Each sensor shall be located where shown or not shown, where it will respond to the average temperature in the room. Sensors shall be mounted 48 inches above the floor and shall not be mounted on outside walls or partitions between offices if other locations are possible. If located on outside wall, it shall have an insulated base. Provide protective enclosures for thermostats in public areas to prevent tampering. Protective enclosures must not protrude more than 4" from wall surface. Thermostat to be Invensys T201-FP series or approved equal.

CHANGES TO THE GEO-TECH REPORT

- 1-50 DELETE 'UNDERDRAIN DETAIL', dated 1/21/03 and REPLACE with 'UNDERDRAIN DETAIL' CSK-4, dated 2/06/04.
Revises entrance slab note, adds dimensions to underdrain.

CHANGES TO THE DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
General			
1-51.	G-1	Partition Types	REVISE 2 hr partition type '2E' to 6" CMU.

Civil

- 1-52. C-2 Site plan REVISE Site Plan dated 1/29/04 with the following. Assume the existing paved driveway area to the east of the will require 10' of repaving and subsurface preparation east of the lot line, per site details.
- 1-53. C-4 4 REVISE detail #4 dated 1/29/04 with the following. Increase size of pressure treated wood from the currently noted 4" x 4" to 6" x 6". The copper cap should increase in size accordingly.
- 1-54. C-6 2 DELETE detail #2 dated 1/29/04 and REPLACE with new detail #2/ CSK-4 dated 02/10/04. Revises entrance slab note, adds dimensions to underdrain.
- 1-55. C-8 2 DELETE Drawing C-8 dated 1/07/04 and REPLACE with new Drawing C-8 dated 02/11/04. Revises the site plan background with the most recent site plan from Pinkham & Greer Consulting Engineers.

Architectural

- 1-56. A-1.0 1 REVISE Basement Floor Plan dated 1/29/04, with SKA-11 dated 02/12/04. Revises chimney construction.
Bldg A
- 1-57. A-2.0 1 REVISE detail #1 1/29/04 with SKA-2 dated 02/10/04. Revises height of mechanical louvers and tile mosaic band.
Bldg A
- 1-58. A-2.0 2 REVISE detail #2 1/29/04 with SKA-3 dated 02/10/04. Revises height of mechanical louvers and tile mosaic band.
Bldg A
- 1-59. A-2.1 2 REVISE detail #2 1/29/04 with SKA-1 dated 02/10/04. Revises height of mechanical louvers and tile mosaic band.
Bldg A
Add detail tag out for bracket detail on SKA-4
- 1-60. A-3.2, Bldg A 5 REVISE detail #5 1/29/04 with the following. Add the following notation for Building B accessible unit kitchens rooms 104 & 129.
'Kitchen sink and minimum 36" of counter immediately adjacent to be mounted @ 34" aff. The

February 12, 2002

PNC & Affordable Housing
Addendum #1

Page 5

- area below the sink is to be clear and comply with ANSI 117.1 (1986). Protect piping with removable panel matching finish of adjacent cabinets. The bottom of wall mounted cabinets are to be mounted at 48" aff. ADD new details on SKA-8 & 9 for accessible units.
- 8, 9
- 1-61. A-5.2 Bldg A 6,7,8 ADD details #6, 7, & 8 on SKA-6 & 7 dated 02/10/04. Details for bottom, top and section of porch brackets.
- 1-62. A-1.1 Bldg B 1 ADD notes on SKA-10 dated 02/10/04. Replace sheathing and air barrier with pressure treated plywood & ice and water shield to 48" above foundation. Delete chase in closet off bedroom 124.
- 1-63. A-7.1 Bldg A/B ADD Window flashing sequence on SKA 5 dated 2/10/04 to Sheet A7.1 dated 1/29/04. Indicates typical window flashing sequence for window openings.

Structural

- 1-64 SO.1 Bldg A/B INSERT Joist Hanger Schedule per SK6.
- 1-65 S1.0 Bldg A Revise footing elevations and step locations per SK 1
- 1-66 S1.0 Bldg B Add footings and foundation walls for porches per SK2.
- 1-67 S1.0 Bldg B Add chimney footing per SK3.
- 1-68 S3.0 Bldg B Add porch framing per SK4.
- 1-69 S7.0 Bldg A/B INSERT Section 9 per SK5

Mechanical

- 1-70. P 1.0, Bldg A REVISE sheet P1.0 dated 1/29/04 per MSH P-1, MSH P-2 and MSH P-3 dated 2/13/04 as follows: Clarified pipe sizing and added trap primers, backflow preventer data and fire department connection.
- 1-71. P1.1, Bldg A REVISE sheet P 1.1 dated 1/29/04 per MSH P-4 and MSH P-5 dated 2/13/04 as follows: Clarified pip sizing and added trap primers and non-freeze hose bib.
- 1-72. HVAC2.1, Bldg A REVISE sheet dated 1/29/04 as follows:

Domestic Hot Water Heaters are mislabeled. DWH-1 is Community Domestic Hot Water Heater and DHW-2 is Apartment Domestic Hot Water Heater.

- 1-73. P1.0, Bldg B REVERSE sheet P1.0 dated 1/29/04 per MSH P-6 dated 2/13/04 as follows:
Added fire department connection and showed exterior valve boxes for sprinkler and domestic water entrance.
- 1-74. HVAC2.1, Bldg B REVERSE sheet dated 1/29/04 as follows:
Domestic Hot Water Heater is mislabeled. Hot water heater is DWH-3 and is Apartment Domestic Hot Water Heater.
- 1-75. HVAC2.2, REVERSE sheet 'Fan Schedule', dated 1/29/04 as follows:
The EF-2 in for the Elevator Room A006 is to be controlled by Division 15.

Electrical
No items.

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
1-76	CSK-2	Underdrain locations, Building A.	
1-77	CSK-3	Underdrain locations, Building B.	
1-78	CSK-4	Underdrain locations, Building B.	
1-79	SKS-1	Foundation plan , Building A	
1-80	SKS-2	Partial Foundation plan, Building B	
1-81	SKS-3	Partial Foundation plan, Building B	
1-82	SKS-4	Partial 2 nd floor framing plan, Building B	
1-83	SKS-5	Partial 2 nd floor framing plan, Building B	
1-84	SKS-6	Partial 2 nd floor framing plan, Building B	

Questions & Clarifications

- 1-85. CLARIFICATION
All bidders are responsible for reviewing the information contained in the Specification Manual through Division 1. Failure to do so will not be grounds for changes to the Contract.
- 1-86. QUESTION
Will a licensed electrical engineer be required for construction supervision of the work described in Section 16000.
ANSWER

February 12, 2002

PNC & Affordable Housing
Addendum #1

Page 7

No.

1-87. CLARIFICATON

Refer to detail 'Typical soil supported slab section' on Sheet SO.1 for typical slab section. Coordinate all concrete form and flat work with Civil and Geo-tech documents.

1-88. QUESTION

MSHA requires all public carpets 26 oz. and unit carpet to be 20 oz. this is not in the spec.

ANSWER

Public areas residences will have sheet linoleum flooring; all units shall have minimum 20 oz yarn weight carpet.

1-89. QUESTION

Is pad used under all carpet?

ANSWER

All carpet is to be padded **except** areas on concrete slabs in the basement of Building A. These areas will be direct glue down on a properly prepared slab.

1-90. QUESTION

What is the approved list of manufacturers for the engineered wood flooring?

ANSWER

See also attached revised Specification section 09640 paragraph 3.5. The basis of design is Green Mountain Flooring (Portland, ME), 'Red Oak'. Alternates in oak, maple or ash & meeting this products specification with a vertical grain or quarter sawn slicing should be acceptable. A rotary sawn slicing will not be approved.

1-91. QUESTION

What is the spec for vinyl flooring?

ANSWER

See attached new Specification section 009650 Resilient Flooring. This specifies the linoleum (not vinyl) to be bid.

1-92. QUESTION

What kind of finish is carried on the landings of the public stairways?

ANSWER

Public landings are to be rubber similar to stairs. Landings at grade level are to be rubber unless specified as walk off mat (PNC). Stairs within units are to be carpet.

1-93. CLAIUFICATON

Specification 07531 EPDM Single Ply Membrane Roofing, Paragraph 3.9 – The ‘Roofing Installers Warranty’ indicated is a sample indicting the expected criteria for the selected roofing contractor. The selected roofing contractor will be expected to provide a similar warranty upon completion of the work.

1-94. CLARIFICATON

Typical residence unit interior elevations are shown on Sheet A3.2 Bldg A. These are intended to cover the range of interior conditions for all units in Buildings A & B. Unique conditions are called out in respective plans and reflected ceiling plans or similar interior elevations as required. Sub contractors are to coordinate plans, reflected ceiling plans, schedules and typical unit elevations for the appropriate scope of work.

1-95. QUESTION

There appears to be no specification for the granite wall caps. Can I acquire those?

ANSWER

Swenson or Concord Grey Granite with a flame finish is the basis for design. Granite with similar characteristics will be acceptable. For bidding purposes assume all caps are 7 5/8” in height, see drawings for lengths, and widths.

1-96. QUESTION

Is there a spec on the concrete block sills, are these precast sills?

ANSWER

The sill blocks and belt course blocks are specified in section 04810, pg. 3, Paragraph C – Decorative Concrete Masonry Units.

1-97. QUESTION

The Specs call for the aluminum fence to have .080 wall rails and .060 wall posts Delgard (nor any other company that I am aware **of**) offer .080 wall rails. I believe they should be .070. The posts should be .075 thick for an Industrial grade fence.

ANSWER

Both of the fence options are to be of commercial grade. Revise specifications for the base bid ‘Delgard’, ‘Stratford’ style on Sheet A1.1, Bldg. A to the following:

Pickets – 1” x 1”x .065” walls, Rails – 1 5/8” x 1 5/8” x .070” top wall, .100 side walls, Posts 2 1/2” x 2 1/2”x .075 walls, gates 4” x 4” x .125” walls

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #1

Addendum #4

To

Construction Documents

For

**The Parkside Neighborhood Center
and Affordable Housing
Mellen & Grant Streets,
Portland, Maine 04101**

February 26,2004

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

**The Parkside Neighborhood Center
And Affordable Housing**

c c :

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 29,2004. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

Addendum #1 dated 2/12/04
Addendum #2 dated 2/20/04
Addendum #3 dated 2/26/04

ATTACHMENTS TO THE ADDENDUM

4-1 None

CHANGES TO THE SPECIFICATIONS

4-2 Section 15400, Paragraph 2.13, C – REVISE the following item to read;

Tub/Shower P-4

Universal-Rundle Kingsport one-piece tub/shower with integral dome, high gloss acrylic surface fiberglass reinforced construction with built-in grab bar. Coordinate side of drain outlet with room orientation shown on architectural drawings. Shower head shall be Oxygenics 2.0 GPM with control adjustment. Provide Symmons Temptrol pressure balanced mixing valve with combination integral diverter, volume control, adjustable screw to limit handle turn and tub diverter spout. Provide integral service stops.

CHANGES TO THE GEO-TECH REPORT

None

CHANGES TO THE DRAWINGS

None

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
-------------	--------------	---------------	--------------------

February 26,2002

PNC & Affordable Housing
Addendum #4

Page 2

None

Questions & Clarifications

4-3 QUESTION

Are the P-4 and P-4A tub/shower fixtures the same and to be provided throughout the project? If not what is the non accessible spec and what is the scope of each?

ANSWER

No, see specification above for the non-accessible tub/shower. P-4A accessible fixtures are only required in the 2 ground floor units of Building 'B'. P-4 fixtures are to be provided elsewhere.

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By: _____ Date: _____

END of ADDENDUM #4