

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 070006

This is to certify that FACTORS FINANCIAL FR INC / Jay Villani

has permission to Change of use from office to restaurant and bathroom

AT 685 CONGRESS ST

047 C034001

PERMIT ISSUED

JAN 25 2007

provided that the person or persons responsible for the construction accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or any enclosed-in-4
 FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Carey Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanne Burke 1/25/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

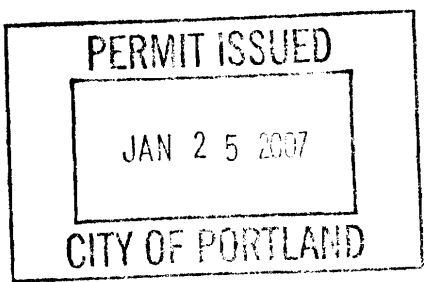
Permit No: 07-0006	Issue Date:	CBL: 047 C034001
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Location of Construction: 685 CONGRESS ST	Owner Name: FACTORS FINANCIAL FRC INC	Owner Address: PO BOX 7002	Phone:
Business Name:	Contractor Name: Jay Villani	Contractor Address: 43 Clark St Portland	Phone: 2072723004
Lessee/Buyer's Name: Jay Villani	Phone: 207-272-3004	Permit Type: Change of Use - Commercial	Zone: B2b
Past Use: Commercial - office	Proposed Use: Restaurant- Change of use from office to Restaurant- build ADA bathrooms	Permit Fee: \$345.00	Cost of Work: \$25,000.00
Proposed Project Description: Change of use from office to Restaurant- build ADA bathrooms		CEO District: 2	B2b
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: A-2 Type: ABC 2083
		Signature: <i>Cora, C-28</i>	Signature: <i>QMB 1/25/07</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 01/02/2007	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/12/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> <i>Abutt</i> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Additional work per Capt. Cass: 01/08/07

To build an hour rated firewall along the wall that separates the two spaces at 685-congress street. The wall is to consist of metal studs, 16" on center and double 5/8" sheet rock.

To set up an appointment with Captain Cass and Inspections (Arthur Rowe) to discuss and review plans for Adobe oven.

* Furthest Point From Prep Room to nearest exit
60'-65'

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0006	Date Applied For: 01/02/2007	CBL: 047 C034001
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Location of Construction: 685 CONGRESS ST	Owner Name: FACTORS FINANCIAL FRC INC	Owner Address: PO BOX 7002	Phone:
Business Name:	Contractor Name: Jay Villani	Contractor Address: 43 Clark St Portland	Phone: (207) 272-3004
Lessee/Buyer's Name: Jay Villani	Phone: 207-272-3004	Permit Type: Change of Use - Commercial	

Proposed Use: Restaurant- Change of use from office to Restaurant- build ADA bathrooms	Proposed Project Description: Change of use from office to Restaurant- build ADA bathrooms
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/02/2007

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/25/2007

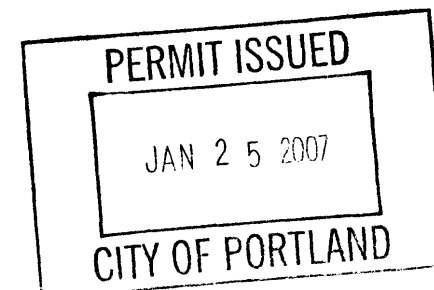
Note:**Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations to adjoining spaces shall be protected with listed & approved products
- 3) The hood system is not approved, separate application and approval is required prior to installation.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 01/09/2007

Note:**Ok to Issue:**

- 1) This permit for the construction of walls only.
The Fireplace, Hoods , and Electrical all require sepeaqte permits and shall be reviewed seperately





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>685 Congress St.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot <u>4200'</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>FACTORS FINANCIAL INC.</u> <u>PO Box 7002</u> <u>PORTLAND, ME 04112</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>JAY VILLANI</u>	Applicant name, address & telephone: <u>JAY VILLANI</u> <u>43 CLARK ST.</u> <u>PORTLAND, ME</u> <u>04102 207 272-3004</u>	Cost Of Work: \$ <u>25,000</u> Fee: \$ <u>270</u> <u>+ 75.00</u> C of O Fee: \$ <u>345.00</u>
Current Specific use: _____ If vacant, what was the previous use? <u>PORTLAND BIOLOGICALS</u> Proposed Specific use: <u>RESTAURANT</u>		
Project description: <u>CLASS A RESTAURANT; BUILD ADA BATHROOMS, KITCHEN LINE, INSTALLATION OF HOOD EXHAUST SYSTEM, MISC. ELECTRICAL REGARDING REFRIGERATION ETC.</u>		
Contractor's name, address & telephone: <u>JAY VILLANI</u> <u>43 CLARK ST. PORTLAND, ME 04102</u>		
Who should we contact when the permit is ready: <u>JAY VILLANI</u> Mailing address: <u>JAY VILLANI</u> <u>43 CLARK ST</u> <u>PORTLAND, ME 04102</u> Phone: <u>272-3004</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>J. Jay Villani</u>	Date: <u>1/02/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Good day,

My name is Jay Villani and I am the chef/owner of Local 188, 188 State Street, Portland Maine. I have been in business for 8 years, and I have the opportunity to expand my business into the space formerly known as Portland Biologicals. This is a narrative explaining what it is I wish to do at **685 Congress Street**:

685 Congress Street is comprised of two separate spaces; a 4200sqft space in front and a 6000 sqft space (currently occupied by Protection One) in the back. There is also a 4600 sqft asphalt parking lot directly behind the building, half of which shall be used for customer parking. The space I am referring to is the store front directly on Congress Street.

It is my intention to build an 80 seat Class A restaurant with a full service bar. An open kitchen will featured an adobe style wood fired oven along with commercial ranges, a salamander and grill. Licensed professionals shall install the appropriate hood and commercial kitchen fire suppression system.

Two ADA approved bathroom structures shall be built; a men's room with two toilets, one 3'x3' for wheel chair access, and a single urinal. A women's room with two toilets, one 3'x3' for wheel chair access.

The space is currently fitted with a sprinkler system, and 3 points of egress. Two store front entrances and exits and one side door exit. The side door being of the crash bar variety. All exits are clearly lit.

Demo work to include:

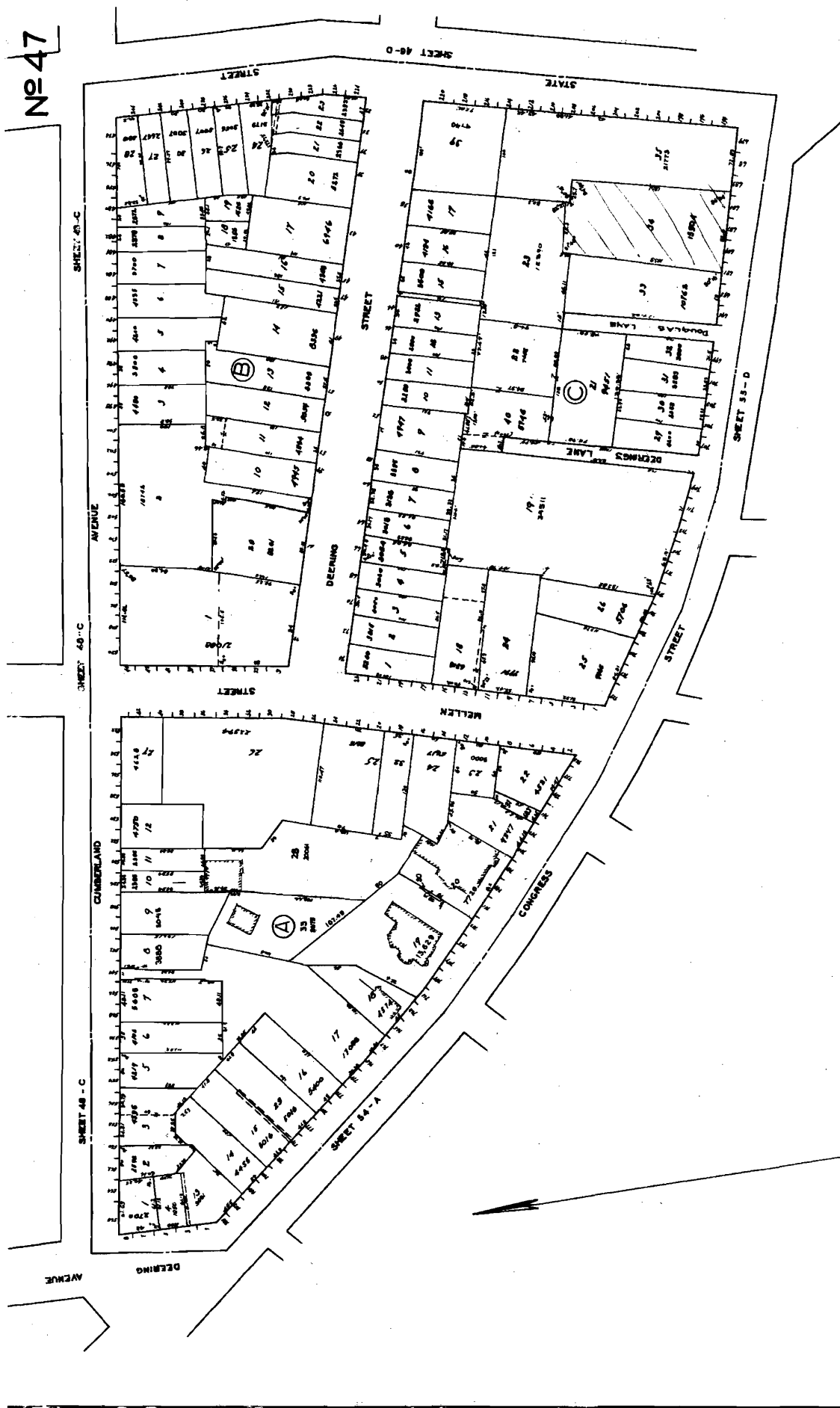
There are currently several non-bearing walls that will be removed. I would also like to take down an acoustic tile ceiling and refurbish the original tin ceiling that is covered within. Tightening up all loose wires in appropriate conduit, and install drop lighting system. Along with the ceiling, the removal of what seems to be a half-century-old pvc tile floor and the installation of a pine board floor.

All plumbing and electrical needs shall be addressed by licensed professionals and the appropriate permits shall be pulled by these technicians. At this time, I am getting quotes for said work and the names of those who shall be responsible for the installation will be submitted when applicable.

Thank you for your time,

Jay Villani
Local 188
207 272 3004

No 47



CITY OF PORTLAND
ASSESSOR'S PLAN
SCALE 1" = 50'
REVISED 3-18-17
SHEET 8/1/24

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Donna Martin Admin

Date

1-25-07

Signature of Inspections Official

Date

CBL: 47 C 034

Building Permit #: 07-0006

JAY VILLANI
272-3004

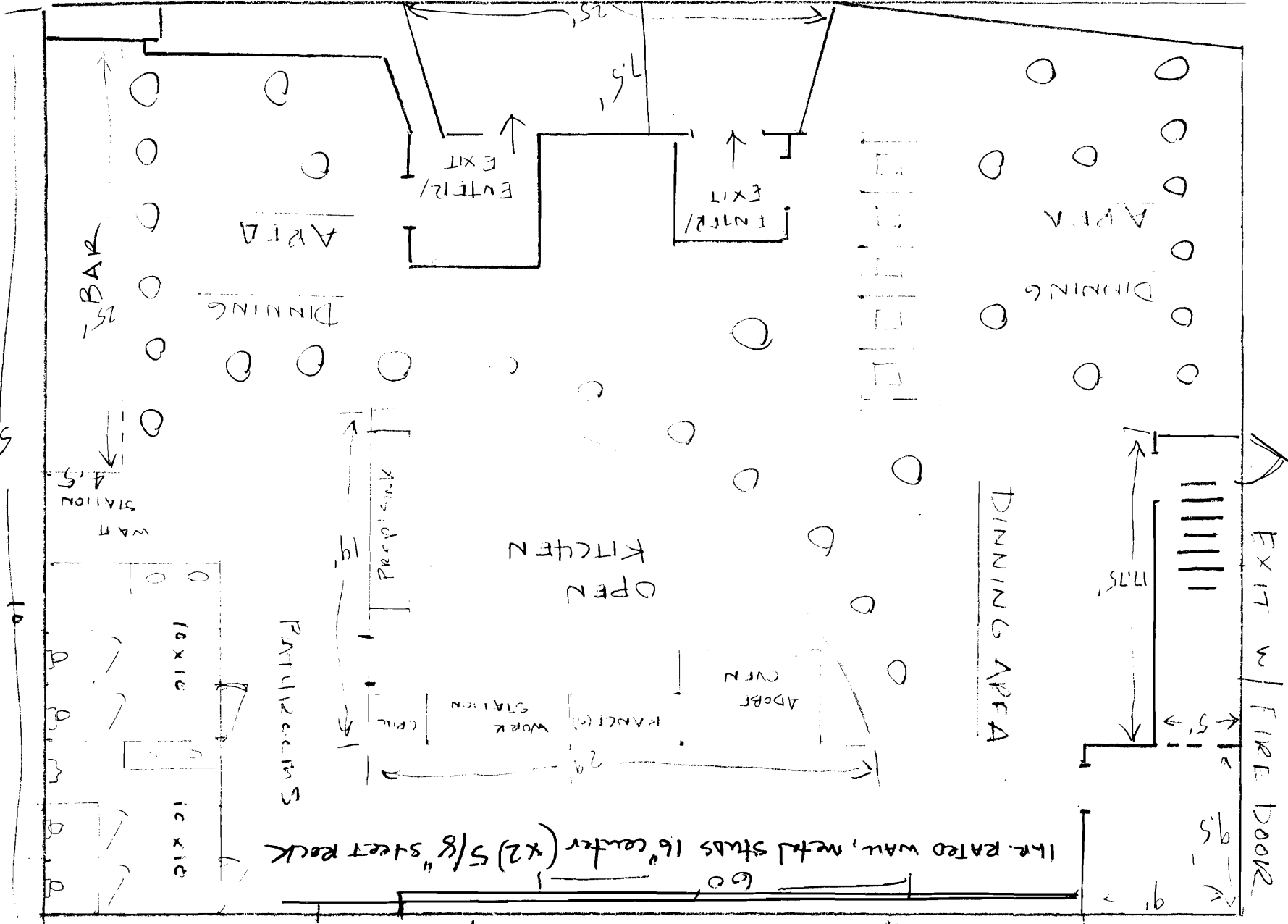
Proposed: 685 Congress St.

Protection 1

THRU WALLS

DISH ROOM
PREP ROOM

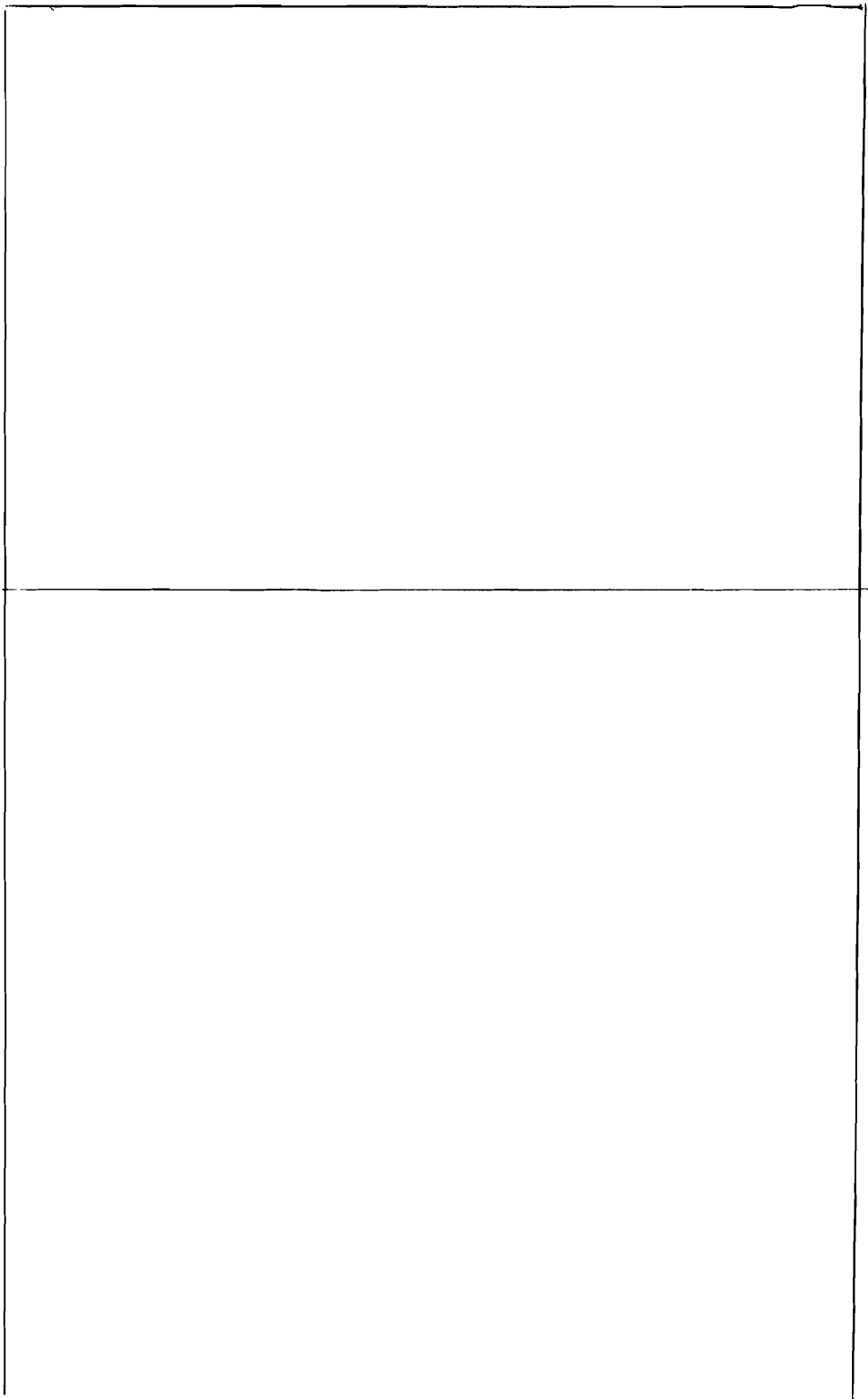
15.25'
575

FURTHEST POINT
NEAREST EXIT =

CONGRESS STREET

SCALE 1/8" = 1 FT.

CONGRESS ST.



DRIVE WAY



W/AN ADDITIONAL 20 AFTER 5:00 PM

