

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 081391

This is to certify that NICO REAL ESTATE LLC / Benchmark
has permission to Amendment to permit# 08105 include ramp, structural support for HVAC unit, add storage above break room
add exterior metal facade, add interior stairs
AT 691 CONGRESS ST 047 C033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

OTHER REQUIRED APPROVALS	
Fire Dept.	<i>[Signature]</i>
Health Dept.	<i>[Signature]</i>
Appeal Board	DEC 1 2000
Other	
Department Name CITY OF PORTLAND	

[Signature] 12/01/00
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1391	Issue Date: 11/25/08	CBL: 047 C033001
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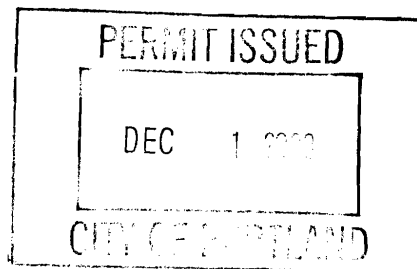
Location of Construction: 691 CONGRESS ST	Owner Name: NICO REAL ESTATE LLC	Owner Address: 148 SUMMIT PARK AVE	Phone:
Business Name:	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone: 2075917600
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B2b

Past Use: Commercial - Retail "Gorham Bike & Ski"	Proposed Use: Commercial - Retail "Gorham Bike & Ski" Amendment to permit# 081058 to include ramp, structural support for HVAC unit, add storage above break room, add exterior metal facade, add bar joists	Permit Fee: \$290.00	Cost of Work: \$27,000.00	CEO District: 2
Proposed Project Description: Amendment to permit# 081058 to include ramp, structural support for HVAC unit, add storage above break room, add exterior metal facade, add bar joists		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: M Type: SB <i>IBC-2003</i>	
		Signature: <i>Craig Cross</i>	Signature: <i>CE 11/25/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 10/29/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>exemption to be applied for</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/4/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Bench TR
Signature of Applicant/Designee

12/1/08
Date

Signature of Inspections Official

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1391	Date Applied For: 10/29/2008	CBL: 047 C033001
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Location of Construction: 691 CONGRESS ST	Owner Name: NICO REAL ESTATE LLC	Owner Address: 148 SUMMIT PARK AVE	Phone:
Business Name:	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone (207) 591-7600
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial - Retail "Gorham Bike & Ski" Amendment to permit# 081058 to include ramp, structural support for HVAC unit, add storage above break room, add exterior metal facade, add bar joists	Proposed Project Description: Amendment to permit# 081058 to include ramp, structural support for HVAC unit, add storage above break room, add exterior metal facade, add bar joists
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/04/2008

Note: **Ok to Issue:**

- 1) Any previous conditions on the previous renovation permit are still in force.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted on 11/3/08. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/01/2008

Note: **Ok to Issue:**

- 1) This permit is issued based on the plans submitted. Variations in actual construction that effect grades may change the requirements for handrails and guards.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 11/06/2008

Note: Will update cover sheet to reflect current codes used. **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Fire extinguishers required. Installation per NFPA 10
- 3) All means of egress to remain accessible at all times
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) All construction shall comply with NFPA 101
- 6) Application requires State Fire Marshal approval.

Comments:

11/26/2008-gg: received granted site exemption as of 11/25/08. /gg filed with permit (Chris)

10/30/2008-mes: The front staff did not get a site plan with this application. There is a new exterior ramp addition being added. Applicant had the wrong zone on other drawings. This property is located within a B-2b Zone not a B-1b zone. Left a message with Richard Egan - reminded him that he needs a site plan review or an exemption from it from Planning.

11/4/2008-mes: on 11/3/08 I received a plot plan for the new work (ramp & new facade extension). I reminded Jessie Thompson that at a minimum a site plan exemption is required from Planning - Barbara is aware of the work. HOLD FOR SITE PLAN EXEMPTION



Amended General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>691 Congress St Portland</u>		
Total Square Footage of Proposed Structure <u>4,800</u>		Square Footage of Lot <u>, 247</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>047 C03301</u>	Owner: <u>Koutsivitis Dorothy B Trustee</u>	Telephone: <u>591-7606</u>
Lessee/Buyer's Name (If Applicable) <u>James Wright - Gorham Bike - Ski</u>	Applicant name, address & telephone: <u>Benchmark 34 Thomas Drive Westbrook</u>	Cost Of Work: \$ <u>27,000</u> Fee: \$ <u>290</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Retail</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Retail</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Amendment - Add ramp @ side door, Add structural support for HVAC unit, Add storage above breakroom, add exterior metal facade, add bar joists</u>		
Contractor's name, address & telephone: <u>Benchmark 34 Thomas Drive Westbrook</u> Who should we contact when the permit is ready: <u>Richard Egan</u> <u>591-7606</u> Mailing address: _____ Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10-29-08</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Certificate of Design

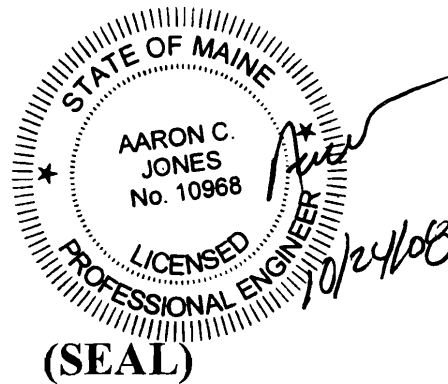
Date: 10/24/08

From: Aaron C Jones, PE, SECB

These plans and / or specifications covering construction work on:

Gorham Bike + Ski Renovation at
691 Congress street

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

(Structure ONLY!)

Signature: Aaron C Jones

Title: President

Firm: Structural Integrity, Inc

Address: 77 OAK Street
Portland, ME 04101

Phone: 207-774-4614

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

Aaron C Jones, PE SECB

Date:

10/24/08

Job Name:

Gorham Bike + Ski Renovation

Address of Construction:

691 Congress St. Portland, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) ~~See Arch~~ I-M (Retail)

Type of Construction V-B Non-rated ~~See Arch~~ (I/II)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC See Arch

Is the Structure mixed use? See Arch If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? See Arch Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

IF requested Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Marine</u>	<u>100 psf LL</u>
<u>Storage</u>	<u>125 psf LL</u>
<u>office</u>	<u>50 psf LL</u>
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

Analytical Design option utilized (1609.1.1, 1609.6)

100 Basic wind speed (1809.3)

1.0 Building category and wind importance Factor, I_w
table 1604.5, 1609.5)

B Wind exposure category (1609.4)

$C_{pi} = 0.18$ Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

23 psf effective Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Simplified Design option utilized (1614.1)

Seismic use group ("Category") _____

.20 / .05 Spectral response coefficients, S_D & S_{DI} (1615.1)

0 Site class (1615.1.5)

No Live load reduction

20 psf Roof live loads (1603.1.2, 1607.11)

34 psf + drift Roof snow loads (1603.7.3, 1608)

50 psf Ground snow load, P_g (1608.2)

34 If $P_g > 10$ psf, flat-roof snow load P_f

1.0 If $P_g > 10$ psf, snow exposure factor, C_e

1.0 If $P_g > 10$ psf, snow load importance factor, I_s

1.0 Roof thermal factor, C_t (1608.4)

N/A Sloped roof snowload, P_s (1608.4)

B Seismic design category (1616.3)

Plan masonry bearing shear walls Basic seismic force resisting system (1617.6.2)

1.05 Response modification coefficient, R , and

1.25 deflection amplification factor, C_d (1617.6.2)

Simplified Analysis procedure (1616.6, 1617.5)

Not taken N/A Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

150' +/- Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

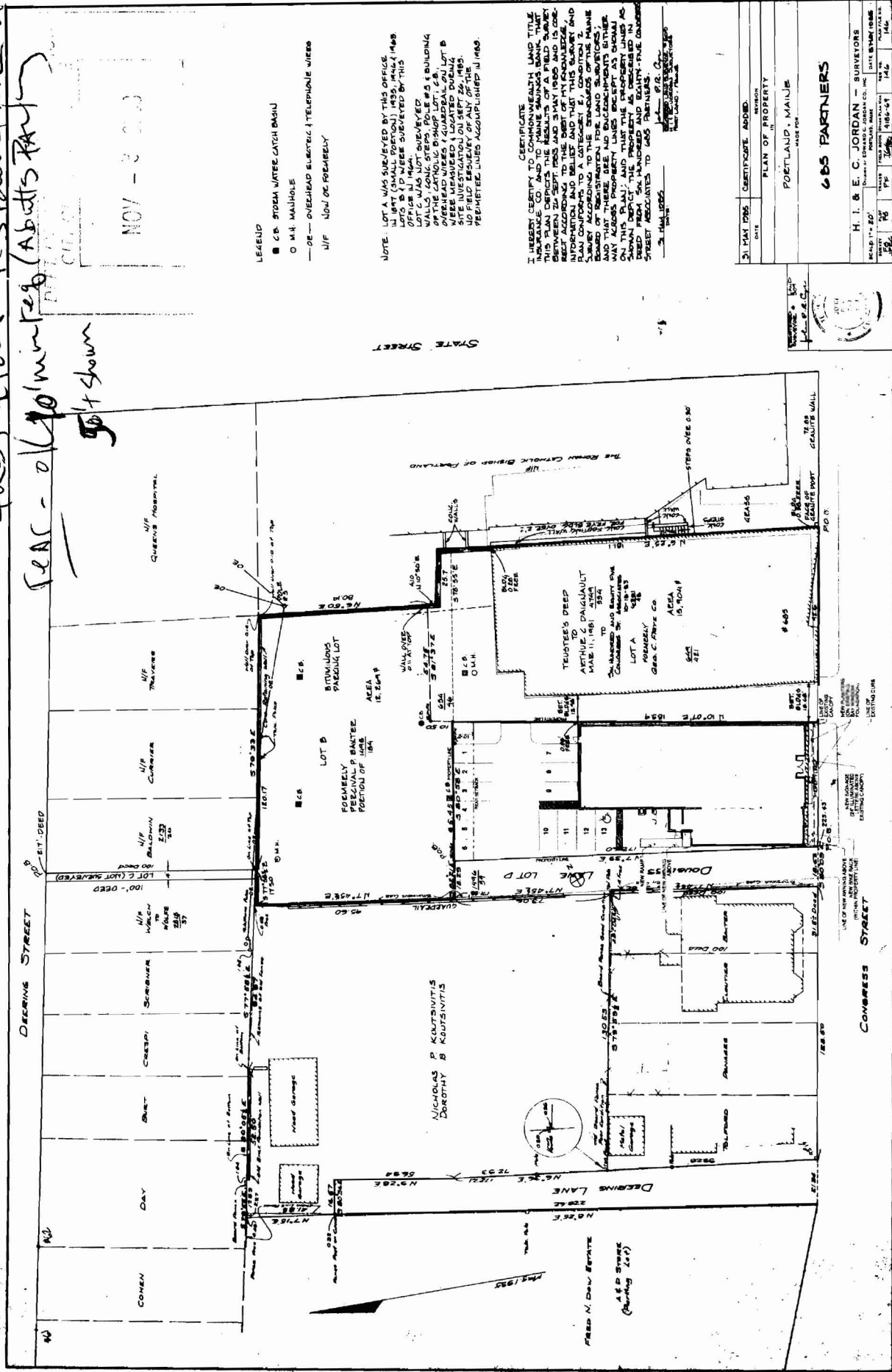
_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

B-2b side yard
 Does Not Abut A Residential Zone
 Abuts "Douglas Lane" NOT A
 first floor residential use

GBS
 10/31/2008

SEAC - 0/10 minutes (Abt's Party)
 50' shown



LEADED

- CB - STORM WATER CATCH BASIN
- M.I. MAILHOLE
- OE — OVERHEAD ELECTRIC / TELEPHONE WIRES
- W/F - W/OF OR FORMERLY

NOTE: LOT A WAS SURVEYED BY THIS OFFICE IN 1988. THE SURVEY IS NOT VALID UNLESS THE LOTS B AND C WERE SURVEYED BY THIS OFFICE IN 1988. LOT C WAS NOT SURVEYED BY THIS OFFICE. THE SURVEY OF LOT B IS THE CATHOLIC BISHOP LOT. CB, OVERHEAD WIRES / QUADRANTAL PL, SITE INVESTIGATION ON SECT 2A, 1988. NO FIELD EVIDENCE OF ANY OF THE PERMITEE LINES ACCOMPLISHED IN 1988.

I HEREBY CERTIFY TO COMMONWEALTH LAND TITLE INSURANCE CO. AND TO YANKEE SAVINGS BANK, THAT THIS PLAN IS A TRUE AND CORRECT COPY OF THE PLAN AS FILED IN THE OFFICE OF THE REGISTRAR OF DEEDS AND AS RECEIVED ACCORDING TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF AND THAT THIS SURVEY AND PLAN IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY ACCORDING TO THE STANDARDS OF THE BOARD OF REGISTRATION FOR LAND SURVEYORS, COMMONWEALTH OF MASSACHUSETTS. I HAVE NOT BEEN ADVISED OF ANY OTHER SURVEYS OF THIS PROPERTY WHICH MIGHT BE AFFECTED BY THIS PLAN. AND THAT THE PROPERTY LINES AS SHOWN ON THIS PLAN ARE THE PROPERTY LINES AS SURVEYED BY THIS OFFICE IN 1988. THE SURVEY IS NOT VALID UNLESS THE LOTS B AND C WERE SURVEYED BY THIS OFFICE IN 1988.

31 MAY 1985	CERTIFICATE ADDED	REVISION
PLAN OF PROPERTY		
PORTLAND, MAINE		
MADE FOR		
GBS PARTNERS		
H. I. & E. C. JORDAN - SURVEYORS		
SCALE 1" = 20'	DATE OF SURVEY	DATE OF PLAN
1988	1988-05-11	1988-05-11
108	108	108

1 SITE PLAN
 SCALE 1" = 20'

KAPLAN THOMPSON
 ARCHITECTS
 425 FORT ST., PORTLAND, ME 04101
 207-761-8881 FAX 207-761-8882

PROJECT: GORHAM BIKE & SKI
 JAMIE WRIGHT
 691 Congress Street
 Portland, ME

DRAWING: SITE PLAN
 SCALE:
 DATE: OCTOBER 31, 2008
 DRAWN BY: JUT
 REVISIONS:

C-1.1

KAPLAN THOMPSON
ARCHITECTS

T R A N S M I T T A L

TO: CHRIS HANSON

VIA: FAX 674-8716

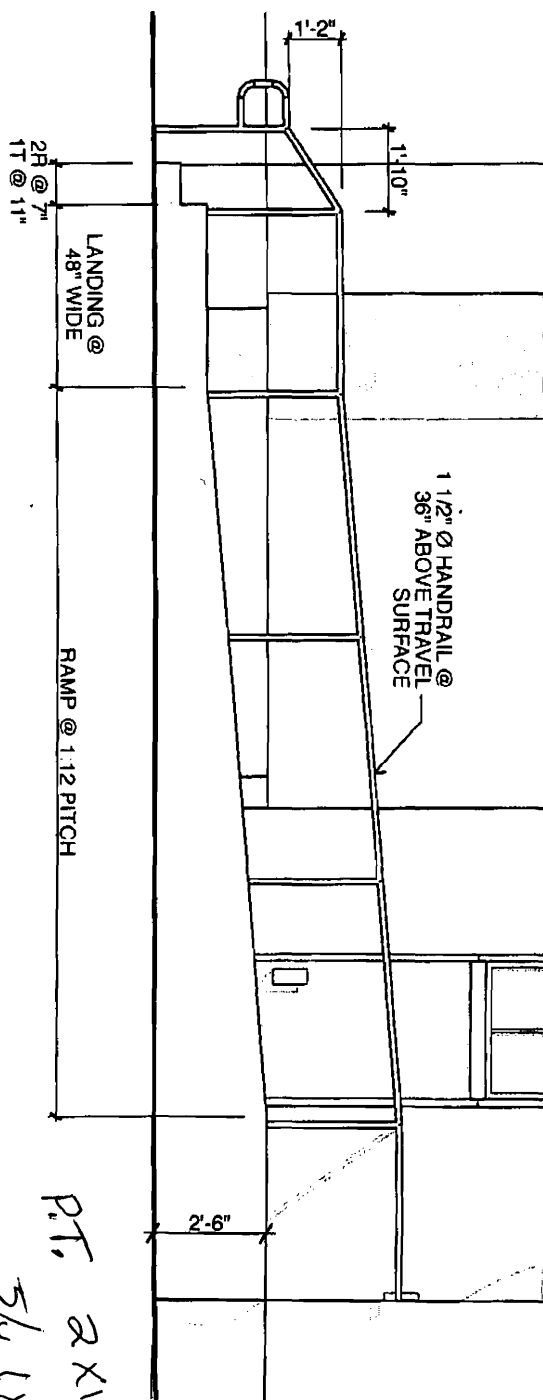
DATE: NOV 25, 2008

PAGES: 3

RE: 691 CONGRESS, GORHAM BIKE & SKI

Chris,

SK's for GBS ramp / stair.



1

South Alley Elevation

SCALE: 1/4" = 1'-0"

*P.T. 2x12
5/4 1x6 Decking*

KAPLAN THOMPSON
ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2828 FAX: 842-2828

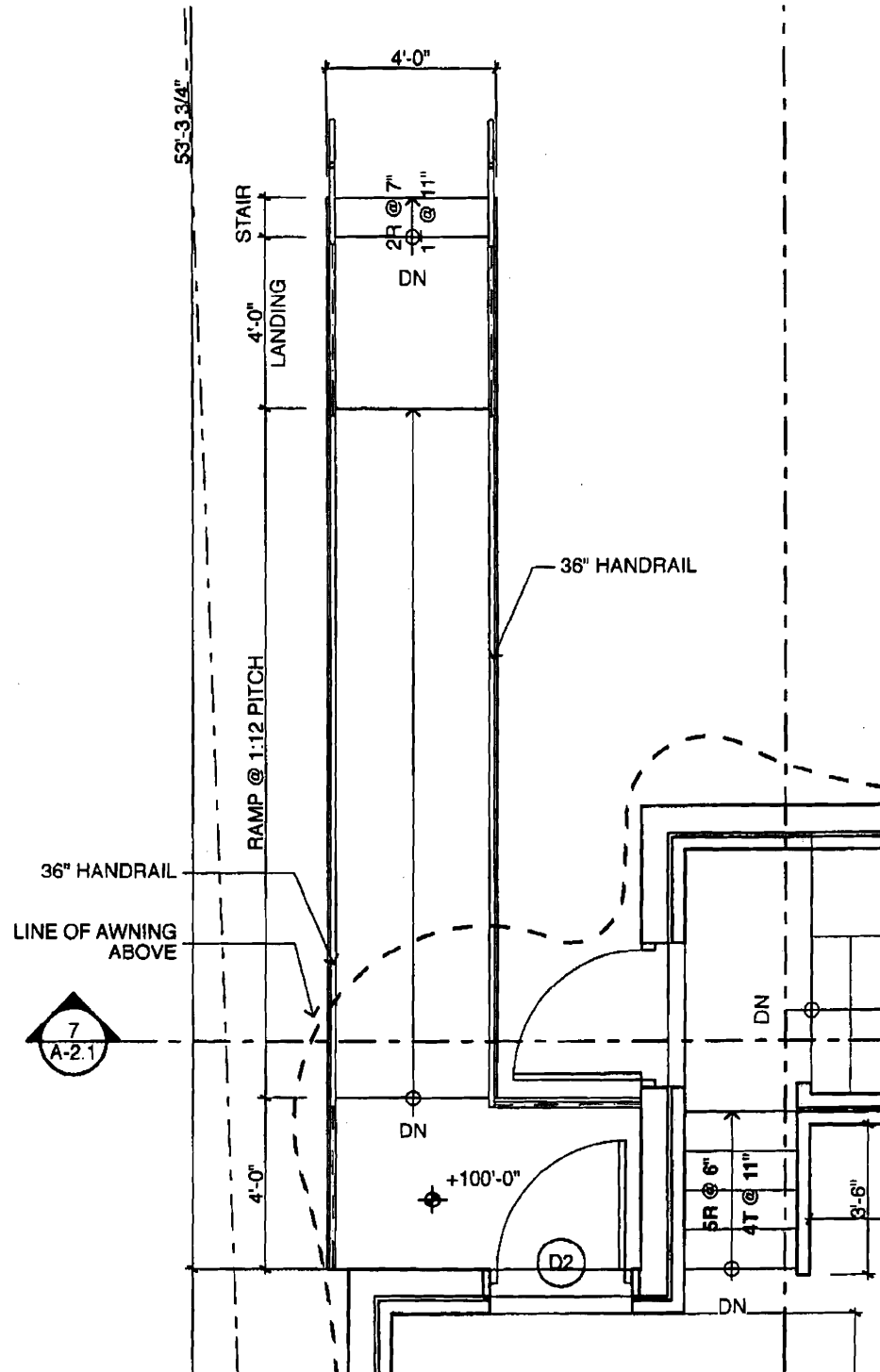
GORHAM BIKE & SKI, 691 CONGRESS ST., PORTLAND, ME

DRAWING: REVISED REAR ENTRY ELEVATION

SCALE: 1/4" = 1'-0"

DATE: NOVEMBER 25, 2008

SK-13



1 REAR ENTRY STAIR / RAMP
SCALE: 1/4" = 1'-0"


KAPLAN THOMPSON
ARCHITECTS
 424 FORE ST., PORTLAND, ME 04101
 207-842-2888 FAX: 842-2828

GORHAM BIKE & SKI, 691 CONGRESS ST., PORTLAND, ME

DRAWING: REVISED REAR ENTRY PLAN

SCALE: 1/4" = 1'-0"

DATE: NOVEMBER 25, 2008

SK-12



T R A N S M I T T A L

TO: CHRIS HANSON

VIA: FAX 874-8716

DATE: Nov 25, 2008

PAGES: 3

RE: 691 CONGRESS, GORHAM BIKE & SKI

Chris,

SK's for GBS ramp / stair.

GORHAM BIKE & SKI

PROJECT INFORMATION

Client: JAMIE WRIGHT

Architect: Kaplan Thompson Architects

Contractor: Benchmark Construction

Book/Page: 26121/337, 47-C-33

Project Address: 691 Congress St.

Zoning: B-2B district

Building Codes: IRC 2003
NFPA / 1999

Site Area: 10,762 SF / 0.24 ACRE

Building SF: 5,200 SF

Occupancy: I-M (Retail), Type V-B Non-Rated

Maximum Building Height: 45'-0"

Setbacks: Front: 110'-0" Max
Side: 10'-0"
Rear: 110'-0"

DRAWING INDEX

COVER SHEET

C-1.1 SITE PLAN

A-1.1 BASEMENT FLOOR PLAN

A-1.2 MAIN FLOOR PLAN

A-1.3 UPPER FLOOR PLAN

A-1.4 ROOF PLAN

A-2.1 ELEVATIONS & SECTIONS

A-5.1 CANOPY DETAILS

A-6.1 INTERIOR ELEVATIONS

A-9.1 PERSPECTIVES

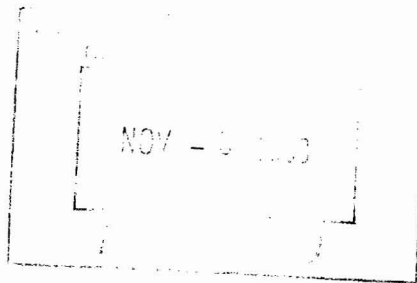
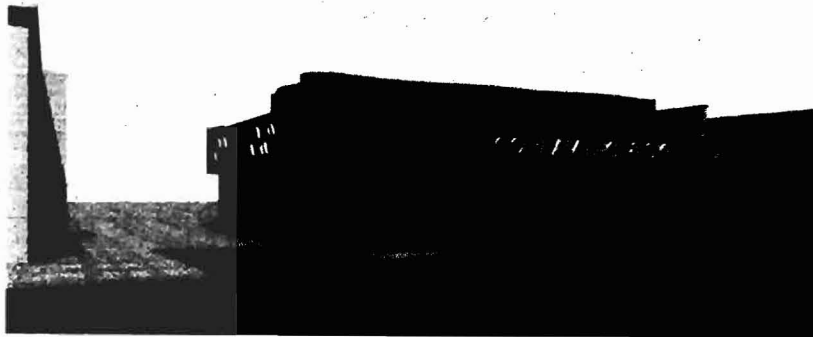
E-1.1 REFLECTED CEILING PLAN

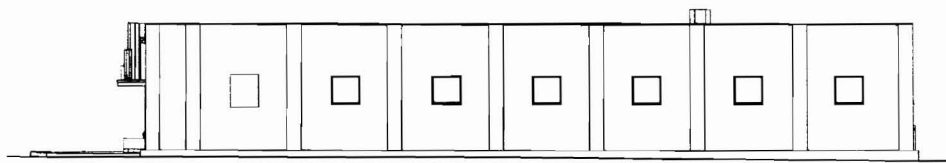
E-1.2 REFLECTED CEILING PLAN: QU...

S-1.1 STRUCTURAL GENERAL NOTES

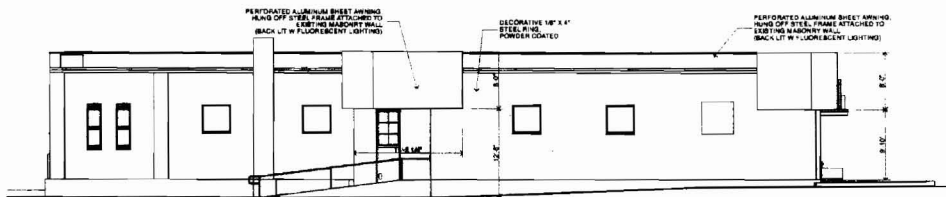
S-1.2 FRAMING PLANS

S-1.3 STRUCTURAL DETAILS

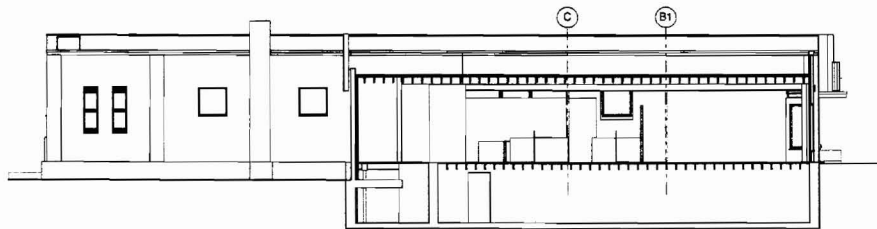




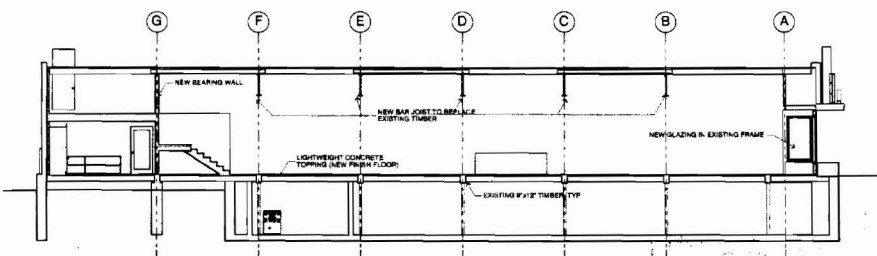
2 North Alley Elevation
SCALE: 1/8" = 1'-0"



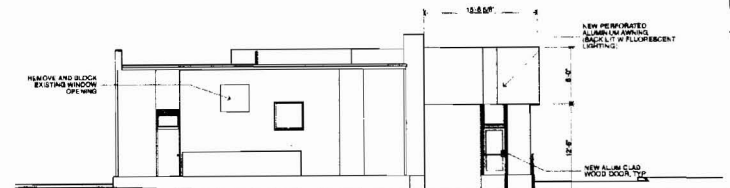
4 South Alley Elevation
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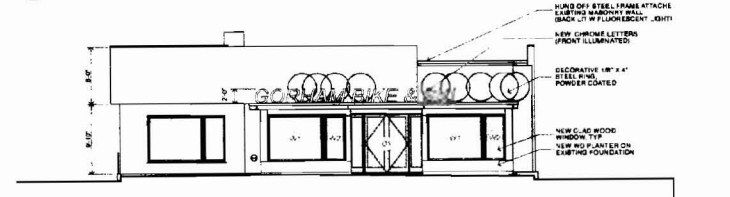
6 North / South Building Section
SCALE: 1/8" = 1'-0"



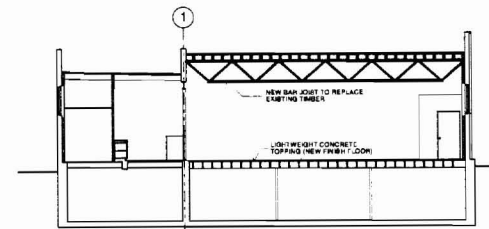
8 North / South Building Section
SCALE: 1/8" = 1'-0"



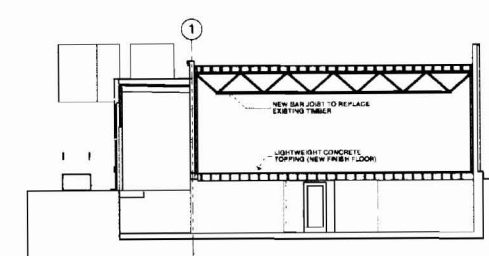
1 Rear Elevation
SCALE: 1/8" = 1'-0"



3 Congress Elevation
SCALE: 1/8" = 1'-0"



5 East / West Building Section
SCALE: 1/8" = 1'-0"



7 East / West Building Section
SCALE: 1/8" = 1'-0"



GBS
10/31/2008

GORHAM BIKE & SKI

PROJECT INFORMATION

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Contractor: Benchmark Construction
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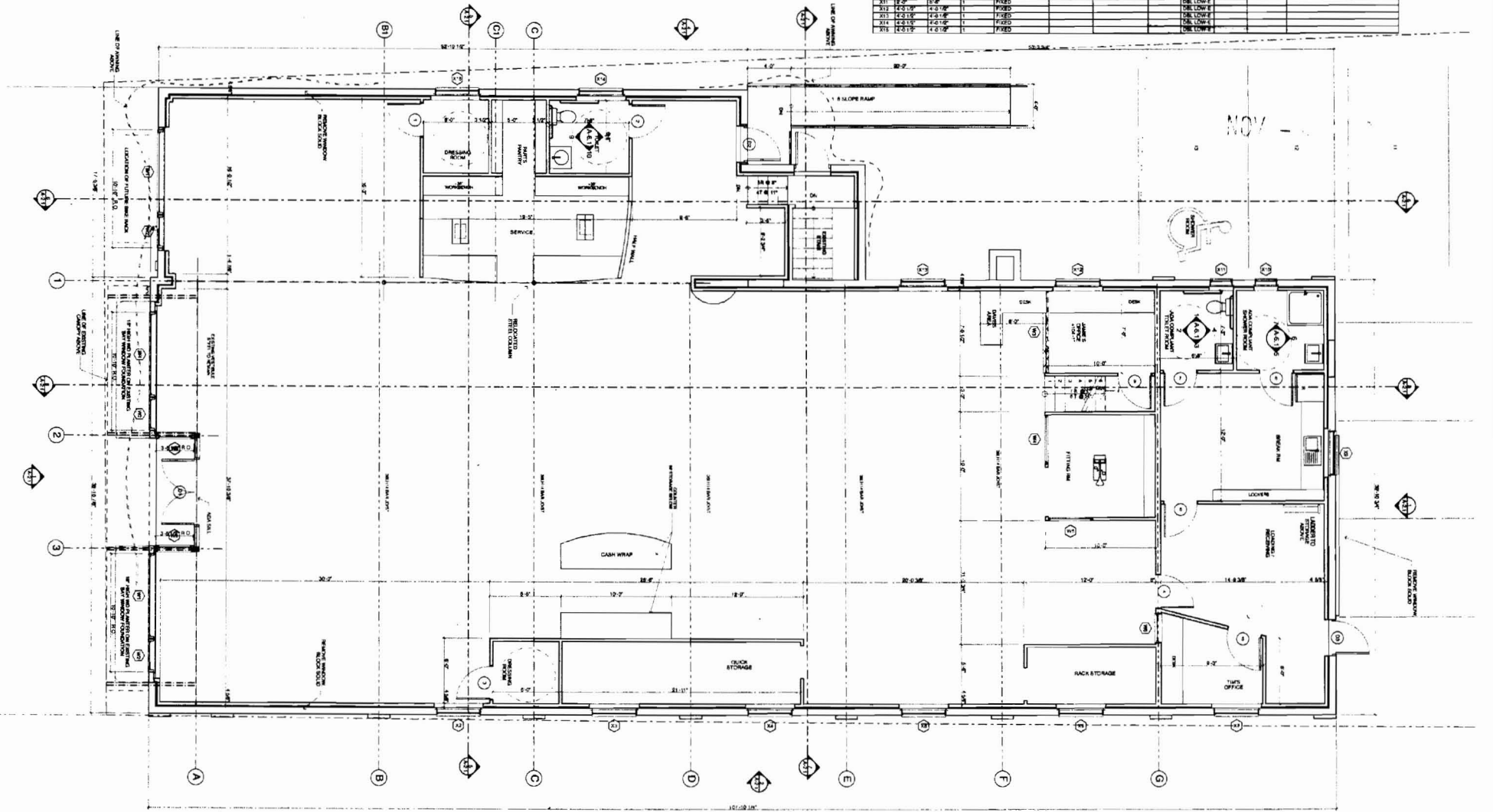
COVER SHEET

C-1.1 SITE PLAN
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A-6.1 INTERIOR ELEVATIONS
A-9.1 PERSPECTIVES
E-1.1 REFLECTED CEILING PLAN
E-1.2 REFLECTED CEILING PLAN: QUALITY LIGHTING
S-1.1 STRUCTURAL GENERAL NOTES
S-1.2 FRAMING PLANS
S-1.3 STRUCTURAL DETAILS

MARK	SIZE			Quantity	Model #	Manufacturer	Type	Material	Glazing	NOTES
	WT	HIT	THK							
1	2'-0"	8'-1"	7'-3 1/2"	1			WD			
2	3'-0"	8'-1"	7'-3 1/2"	1			WD			
3	1'-2"	8'-1"	7'-3 1/2"	1			WD			
4	1'-2"	8'-1"	7'-3 1/2"	1			WD			
5	1'-2"	8'-1"	7'-3 1/2"	1			WD			
6	1'-2"	8'-1"	7'-3 1/2"	1			WD			
7	1'-2"	8'-1"	7'-3 1/2"	1			WD			
8	1'-2"	8'-1"	7'-3 1/2"	1			WD			
9	1'-2"	8'-1"	7'-3 1/2"	1			WD			
10	1'-2"	8'-1"	7'-3 1/2"	1			WD			
11	8'-0"	8'-1"	7'-3 1/2"	1			GLASS GLASS			
12	1'-2"	8'-1"	7'-3 1/2"	1			STEEL NEKA			

ID	R.O. SIZE		Quantity	Type	Model #	Manufacturer	Material	Glazing	Egress	Tempered	NOTES
	Width	Height									
W1	3'-0"	8'-0"	3	FIXED						YES	
W2	3'-0"	8'-0"	3	FIXED						YES	
W3	4'-0"	8'-0"	3	FIXED						YES	
W4	1'-0"	7'-0"	1	FIXED/CAMPBELL							
W5	1'-0"	7'-0"	1	FIXED							
W6	1'-0"	7'-0"	1	FIXED							
W7	1'-0"	7'-0"	1	FIXED							
W8	1'-0"	7'-0"	1	FIXED							
W9	4'-0"	4'-0"	1	COMBIBEST						GLASS	
W10	4'-0"	4'-0"	1	FIXED						GLASS	
W11	4'-0"	4'-0"	1	FIXED						GLASS	
W12	4'-0"	4'-0"	1	FIXED						GLASS	
W13	4'-0"	4'-0"	1	FIXED						GLASS	
W14	4'-0"	4'-0"	1	FIXED						GLASS	
W15	4'-0"	4'-0"	1	FIXED						GLASS	
W16	4'-0"	4'-0"	1	FIXED						GLASS	
W17	4'-0"	4'-0"	1	FIXED						GLASS	
W18	4'-0"	4'-0"	1	FIXED						GLASS	
W19	4'-0"	4'-0"	1	FIXED						GLASS	
W20	4'-0"	4'-0"	1	FIXED						GLASS	
W21	4'-0"	4'-0"	1	FIXED						GLASS	
W22	4'-0"	4'-0"	1	FIXED						GLASS	
W23	4'-0"	4'-0"	1	FIXED						GLASS	

GBS
10/31/2008





Application for Exemption from Site Plan Review Portland, Maine

2008 0171

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

Croham Bikes Ski - Jamie Wright
Applicant/Owner

691 Congress St, Portland
Mailing Address

Jesse Thompson - Kaplan Thompson Arch.
Consultant/Agent 424 Pine St, Port, ME 04101

842-2888 / 842-2825 /
Phone Fax Cell

2. Project Information

Oct 31, 2008
Application Date

reuse of store for Croham bikes ski
Project Name/Description

691 Congress
Address of Proposed Site

047 C 033
08 1391
Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

Adding a new ramp, signage and interior renovation

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>No</u>	<u>✓</u>
b) Footprint Increase Less Than 500 sq. ft.	<u>yes</u>	<u>✓</u>
c) No New Curb Cuts, Driveways, Parking Areas	<u>yes</u>	<u>✓</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>yes</u>	<u>✓</u>
e) No Additional Parking/No Traffic Increase	<u>yes</u>	<u>✓</u>
f) No Known Stormwater Problems	<u>yes</u>	<u>✓</u>
g) Sufficient Property Screening Exists	<u>yes</u>	<u>✓</u>
h) Adequate Utilities	<u>yes</u>	<u>✓</u>

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

NOV 26 2008

Planner's Signature

Stephan Berlyatt

Date

Nov 25, 2008

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW**

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

GORHAM BIKE & SKI

PROJECT INFORMATION

Client: JAMIE WRIGHT

Architect: Kaplan Thompson Architects

Contractor: Benchmark Construction

Book/Page: 26121/337, 47-C-33

Project Address: 691 Congress St.

Zoning: B-1B district

Building Codes: IRC 2003
NFPA / 1999

Site Area: 10,762 SF / 0.24 ACRE

Building SF: 5,200 SF

Occupancy: I-M (Retail), Type V-B Non-Rated

Maximum Building Height: 35'-0"

Setbacks: Front: 10'-0" Max
Side: 0'-0"
Rear: 0'-0"

B-2b
See revised
received by
e-mail
11/3/08

DRAWING INDEX

Cover Sheet

A-1.1 Basement Floor Plan

A-1.2 Main Floor Plan

A-1.3 Upper Floor Plan

A-1.4 Roof Plan

A-2.1 ELEVATIONS & SECTIONS

A-6.1 INTERIOR ELEVATIONS

E-1.1 REFLECTED CEILING PLAN

E-1.2 REFLECTED CEILING PLAN: QU...

S-1.1 STRUCTURAL GENERAL NOTES

S-1.2 FRAMING PLANS

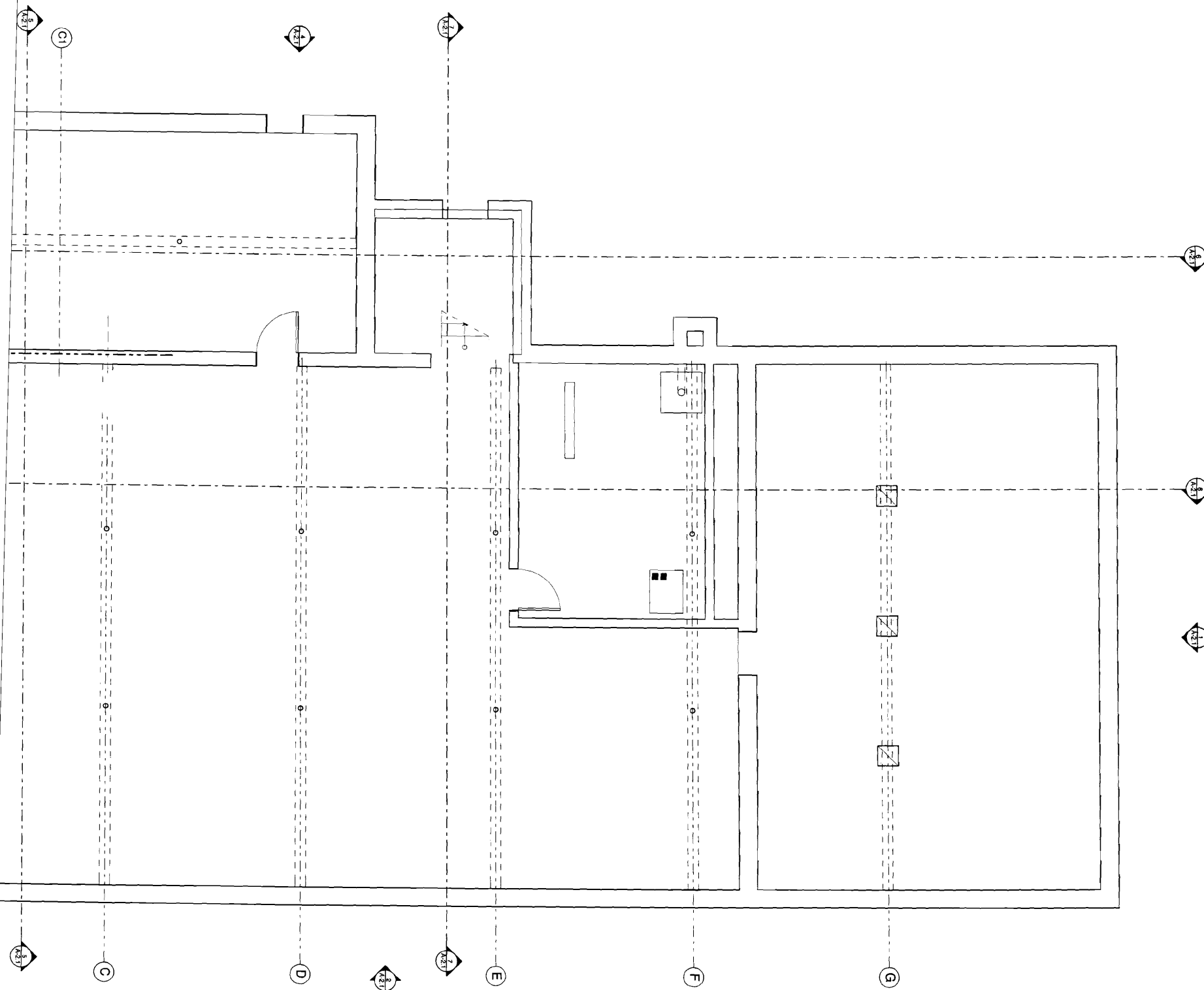
S-1.3 STRUCTURAL DETAILS

PROJECT:
GORHAM BIKE & SKI
JAMIE WRIGHT
691 CONGRESS ST.
PORTLAND, ME

DRAWING: COVER SHEET

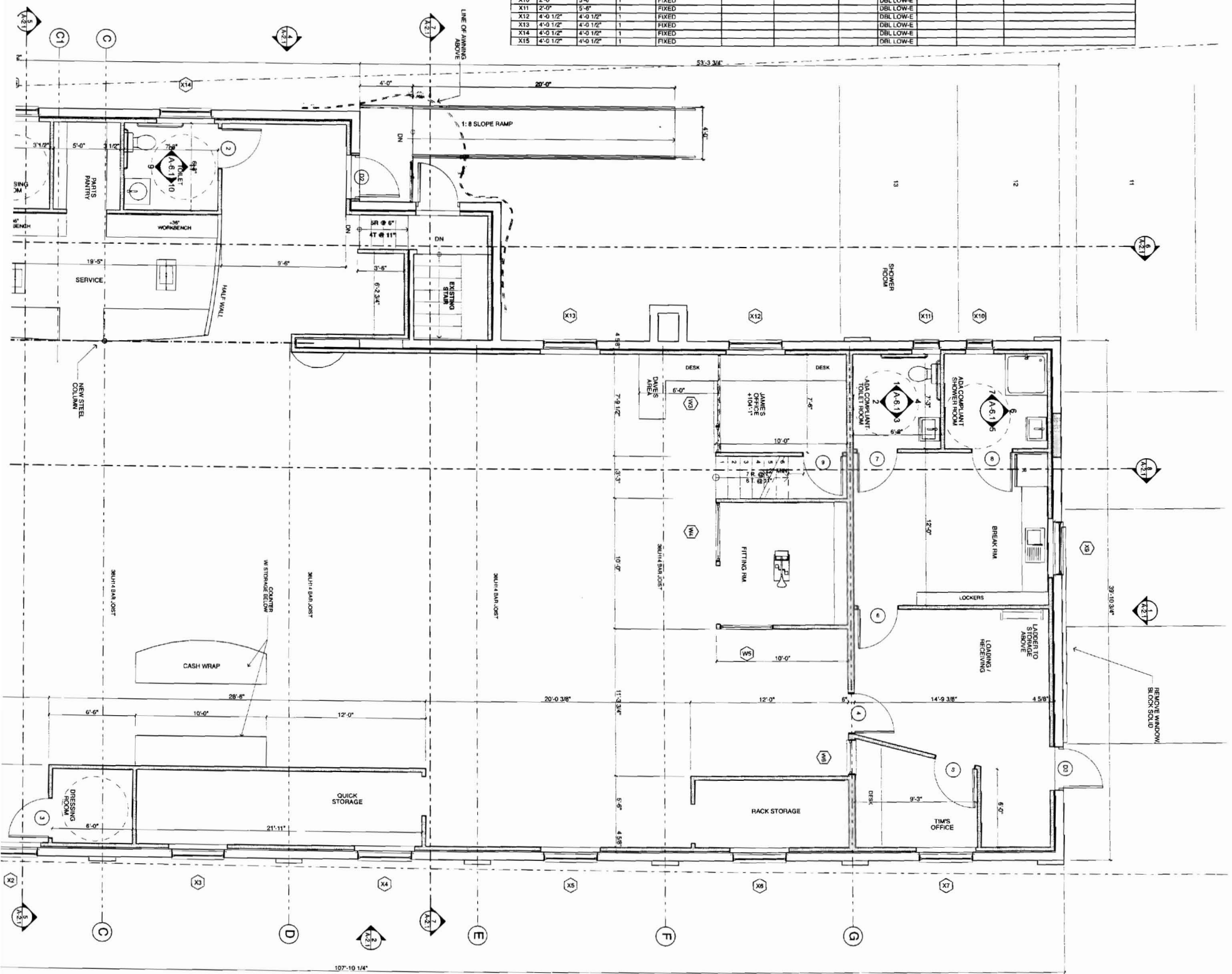
DATE: OCTOBER 24, 2008

REVISED:



Quantity	Model #	Manufacturer	Type	Material	Glazing	NOTES
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			WD			
1			ALUM / GLASS			
1			STEEL INSUL			

WINDOW SCHEDULE													
ID	R.O. Size		Quantity	Type	Model #	Manufacturer	Material	Glazing	Egress	Tempered	NOTES		
	Width	Height											
W1	7'-9"	6'-8"	3	FIXED									
W2	3'-0"	6'-8"	3	FIXED					YES				
W3	3'-5 1/2"	6'-6"	2	FIXED					YES				
W4	7'-8"	4'-0"	1	FIXED / CASEMENT									
W5	4'-0"	7'-0"	1	FIXED									
W6	2'-8"	6'-0"	1	CASEMENT									
X2	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X3	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X4	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X5	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X6	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X7	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X8	4'-0"	3'-11"	1	---			---						
X9	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X10	2'-0"	5'-4"	1	FIXED			DBL LOW-E						
X11	2'-0"	5'-8"	1	FIXED			DBL LOW-E						
X12	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X13	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X14	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						
X15	4'-0 1/2"	4'-0 1/2"	1	FIXED			DBL LOW-E						

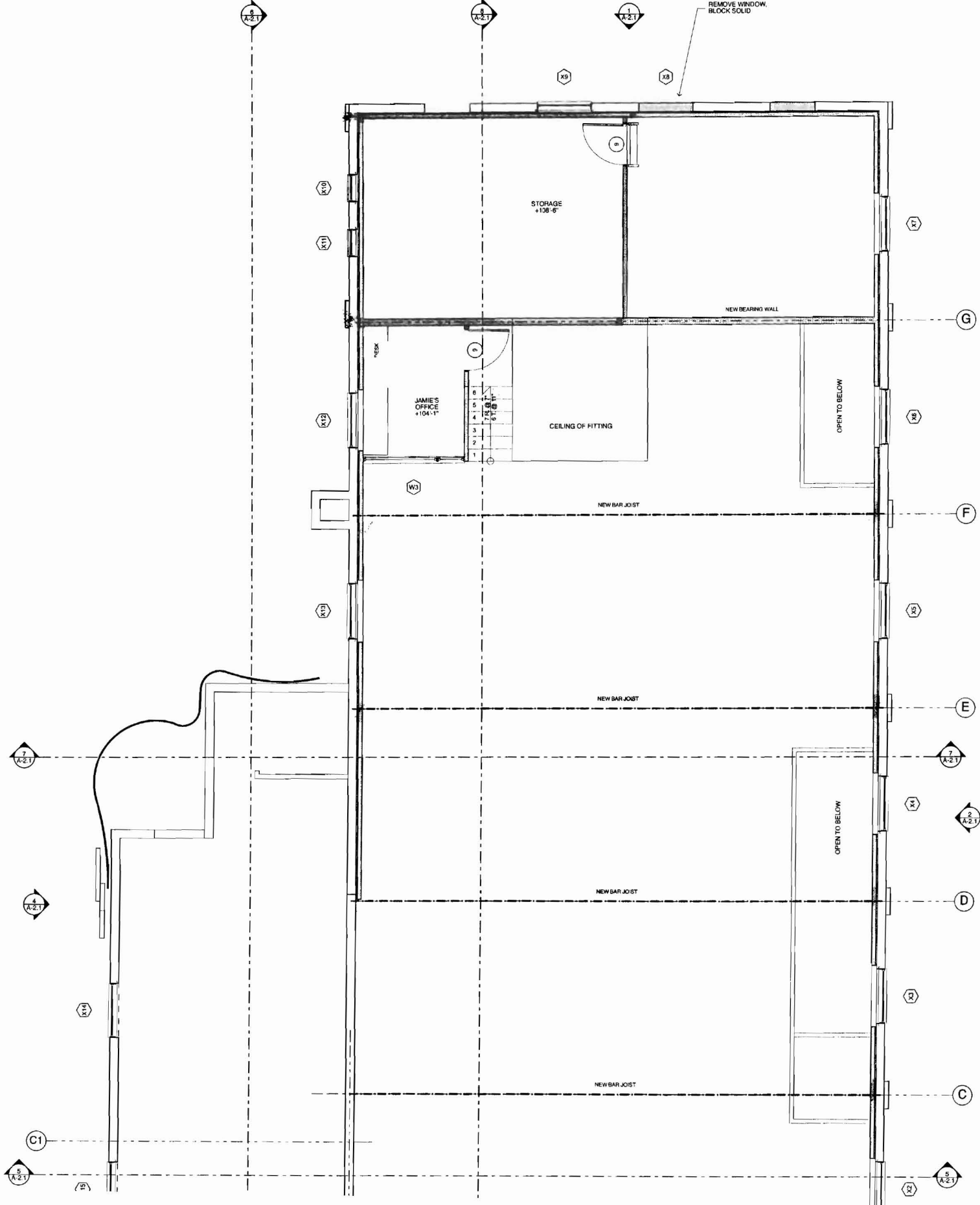


ON DOCUMENTS: 10/24/2008

PROJECT:
GORHAM BIKE & SKI
JAMIE WRIGHT
691 CONGRESS STREET
PORTLAND, ME

DRAWING: MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 24, 2008
DRAWN BY: JJT
REVISED:

A-1.2



PROJECT:
GORHAM BIKE & SKI
JAMIE WRIGHT
931 CONGRESS STREET
PORTLAND, ME

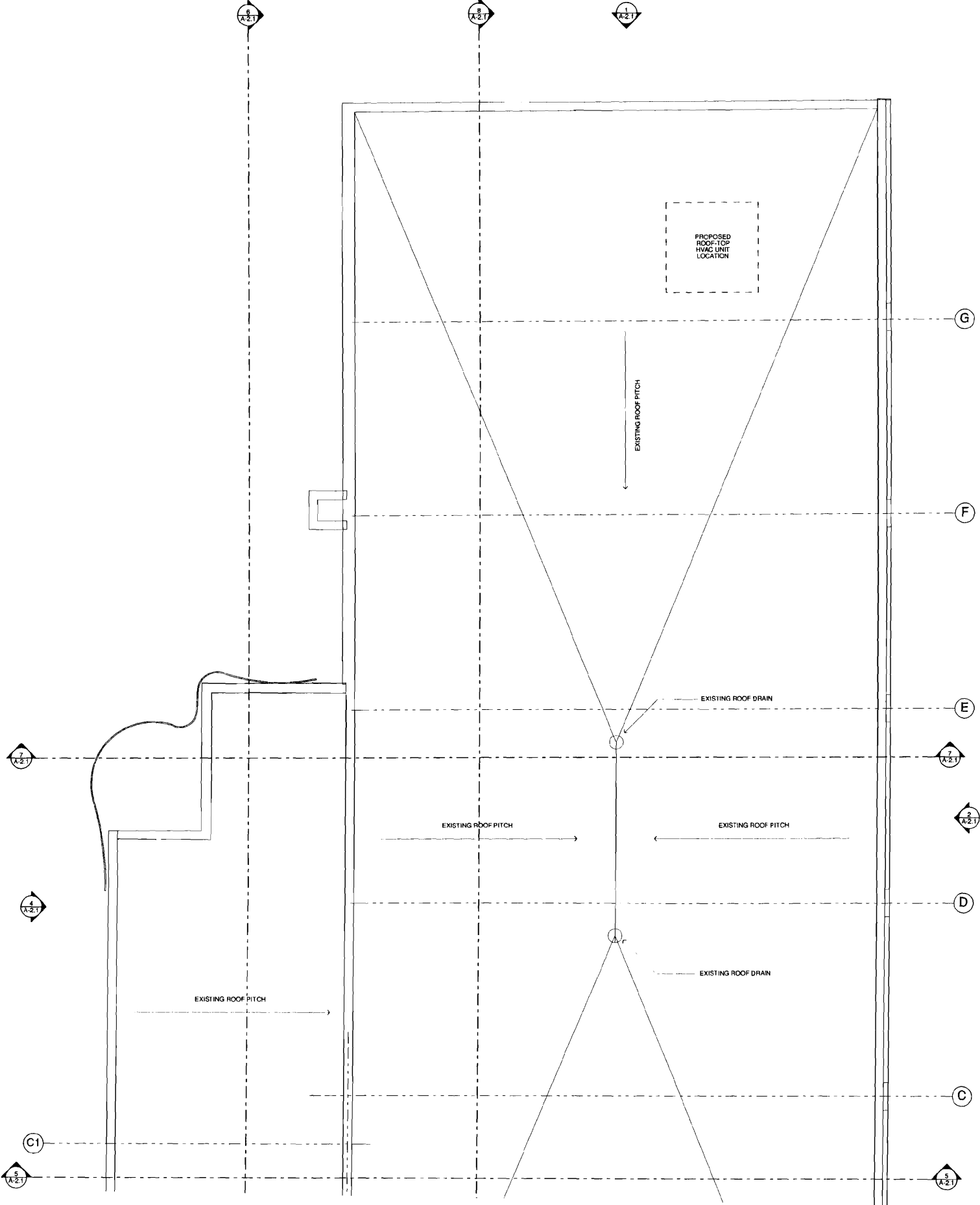
DRAWING: UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: OCTOBER 24, 2008

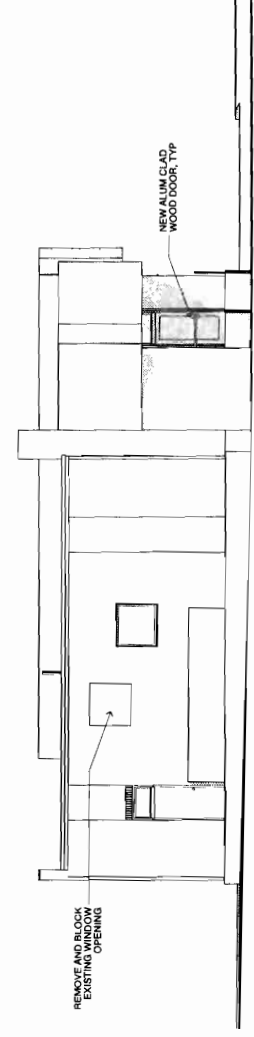
DRAWN BY: JJT

REVISED:

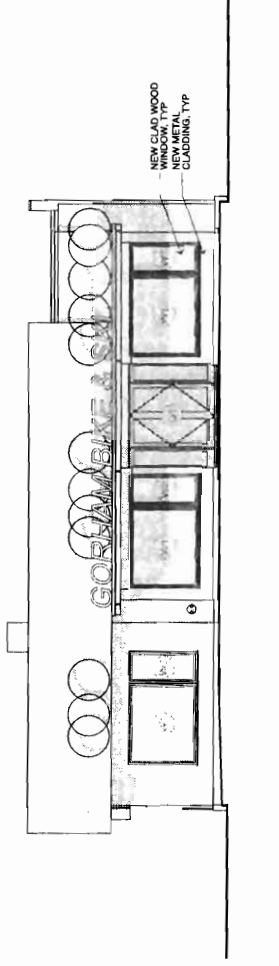


PROJECT: **GORHAM BIKE & SKI**
 JAMIE WRIGHT
 691 CONGRESS STREET
 PORTLAND, ME

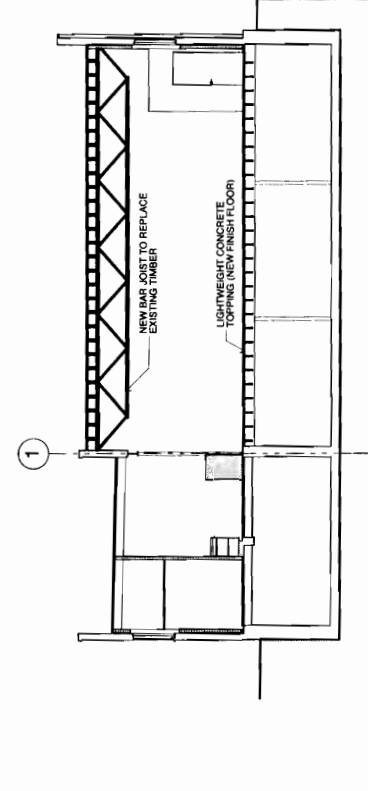
DRAWING: **Roof Plan**
 SCALE: **1/4" = 1'-0"**
 DATE: **OCTOBER 24, 2008**
 DRAWN BY: **JJT**
 REVISED:



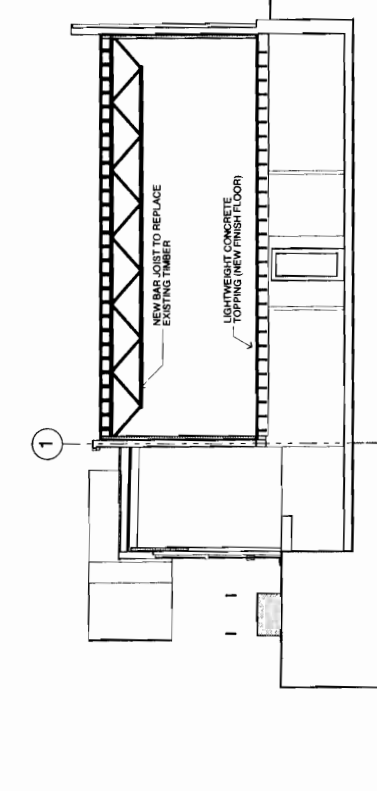
1 Rear Elevation
SCALE: 1/8" = 1'-0"



3 Congress Elevation
SCALE: 1/8" = 1'-0"



5 East / West Building Section
SCALE: 1/8" = 1'-0"



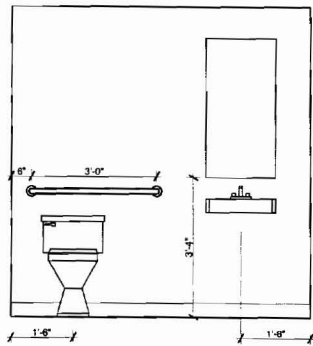
7 East / West Building Section
SCALE: 1/8" = 1'-0"

DRAWING: ELEVATIONS & SECTIONS

PROJECT:
GORHAM BIKE & SKI
JAMIE WRIGHT
691 CONGRESS STREET
PORTLAND, ME

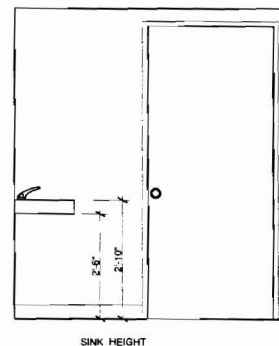
SCALE:
DRAWN BY: JJT

DATE: OCTOBER 24, 2008
REVISED:



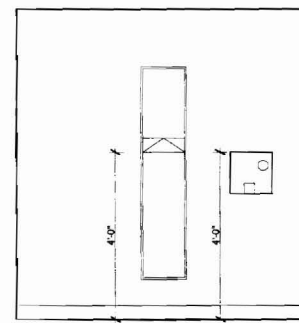
TOILET WITH BACK WALL
GRAB BAR AND SINK AND
MIRROR HEIGHTS

4 TOILET ROOM
SCALE: 1/2" = 1'-0"



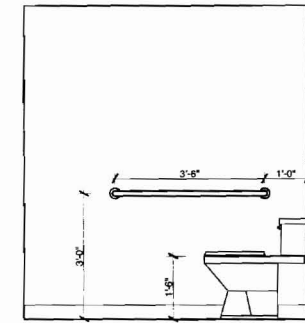
SINK HEIGHT

3 TOILET ROOM
SCALE: 1/2" = 1'-0"



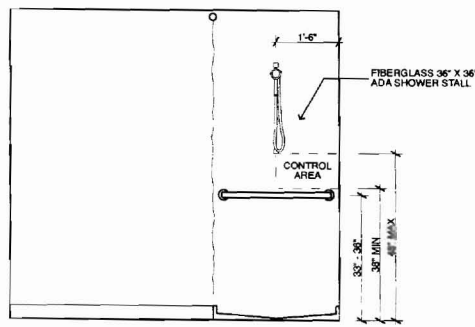
RECESSED PAPER TOWEL
DISPENSER /DISPOSAL AND
HAND DRYER

2 TOILET ROOM
SCALE: 1/2" = 1'-0"



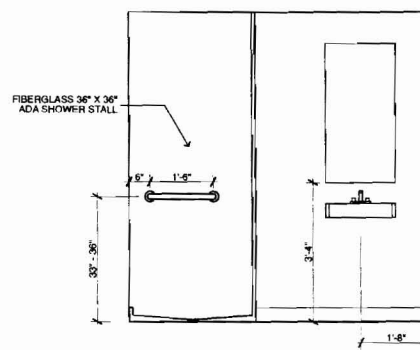
TOILET WITH SIDE WALL
GRAB BAR

1 TOILET ROOM
SCALE: 1/2" = 1'-0"



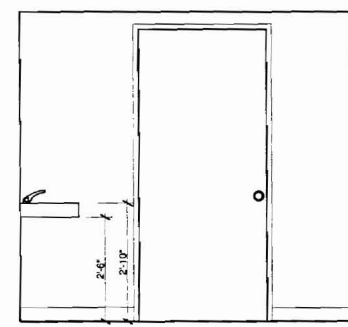
SHOWER WITH CONTROL
WALL AND GRAB BAR
HEIGHTS

7 SHOWER ROOM
SCALE: 1/2" = 1'-0"



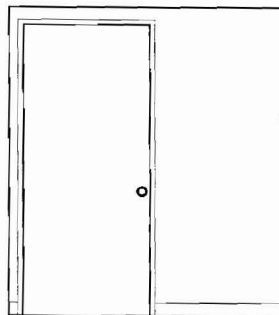
SHOWER WITH BACK WALL
GRAB BAR AND SINK AND
MIRROR HEIGHTS

6 SHOWER ROOM
SCALE: 1/2" = 1'-0"

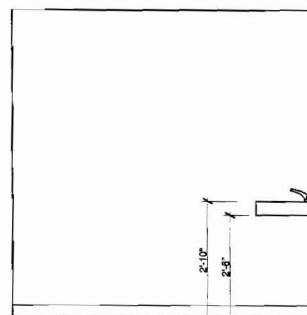


SINK HEIGHT

5 SHOWER ROOM
SCALE: 1/2" = 1'-0"

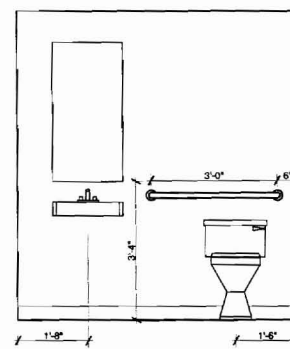


11 TOILET ROOM
SCALE: 1/2" = 1'-0"



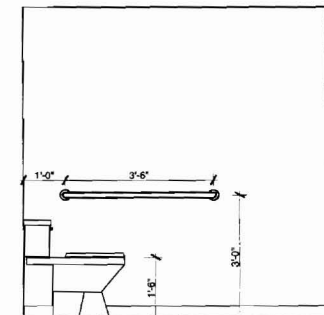
SINK HEIGHT

10 TOILET ROOM
SCALE: 1/2" = 1'-0"



TOILET WITH BACK WALL
GRAB BAR AND SINK AND
MIRROR HEIGHTS

9 TOILET ROOM
SCALE: 1/2" = 1'-0"



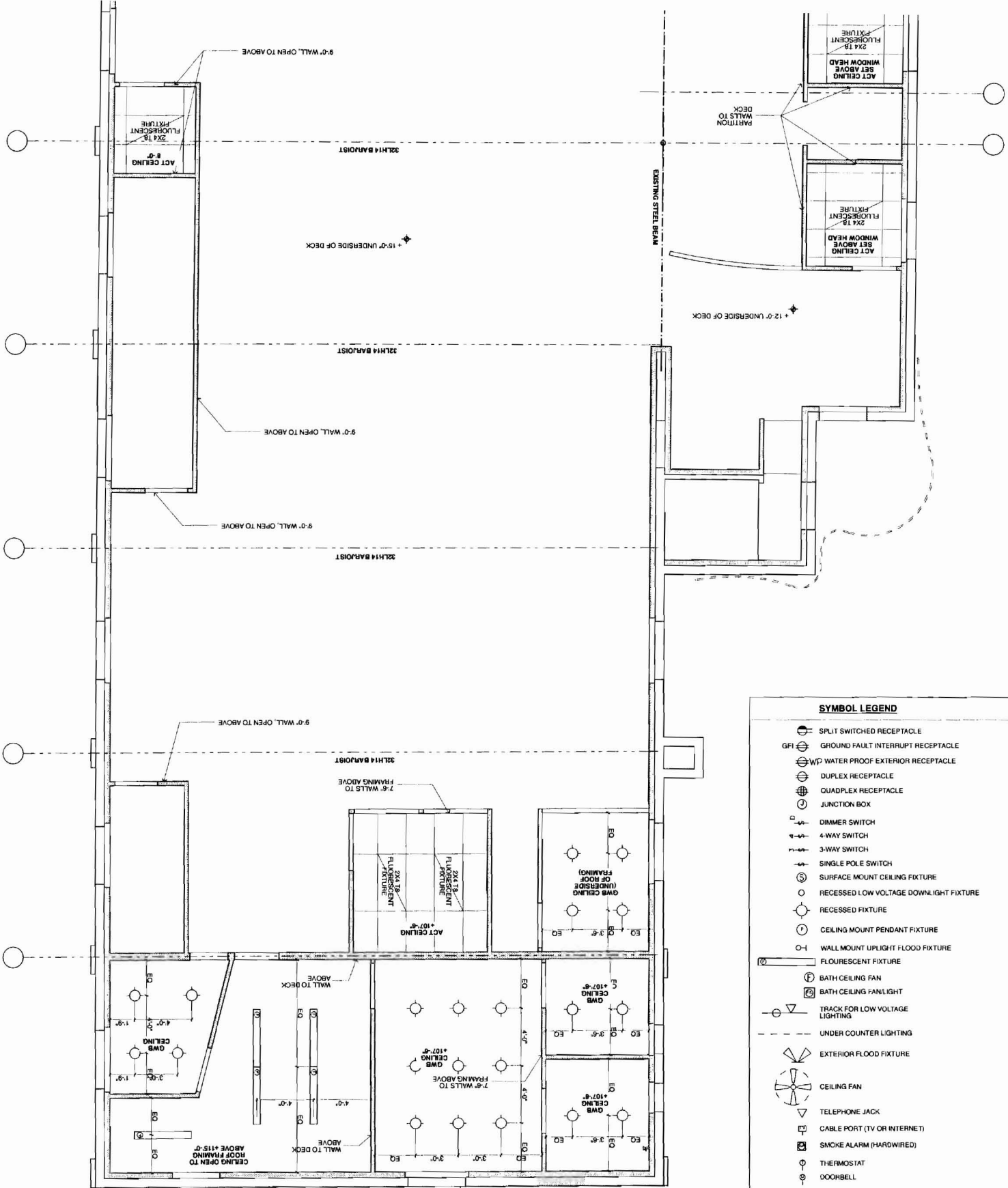
TOILET WITH SIDE WALL
GRAB BAR

8 TOILET ROOM
SCALE: 1/2" = 1'-0"

Project: GORHAM BIKE & SKI
 JAMIE WRIGHT
 691 CONGRESS STREET
 PORTLAND, ME

Drawing: REFLECTED CEILING PLAN
 Scale: OCTOBER 24, 2008
 Date: Drawn by: JUT
 Revised:

E-1.1

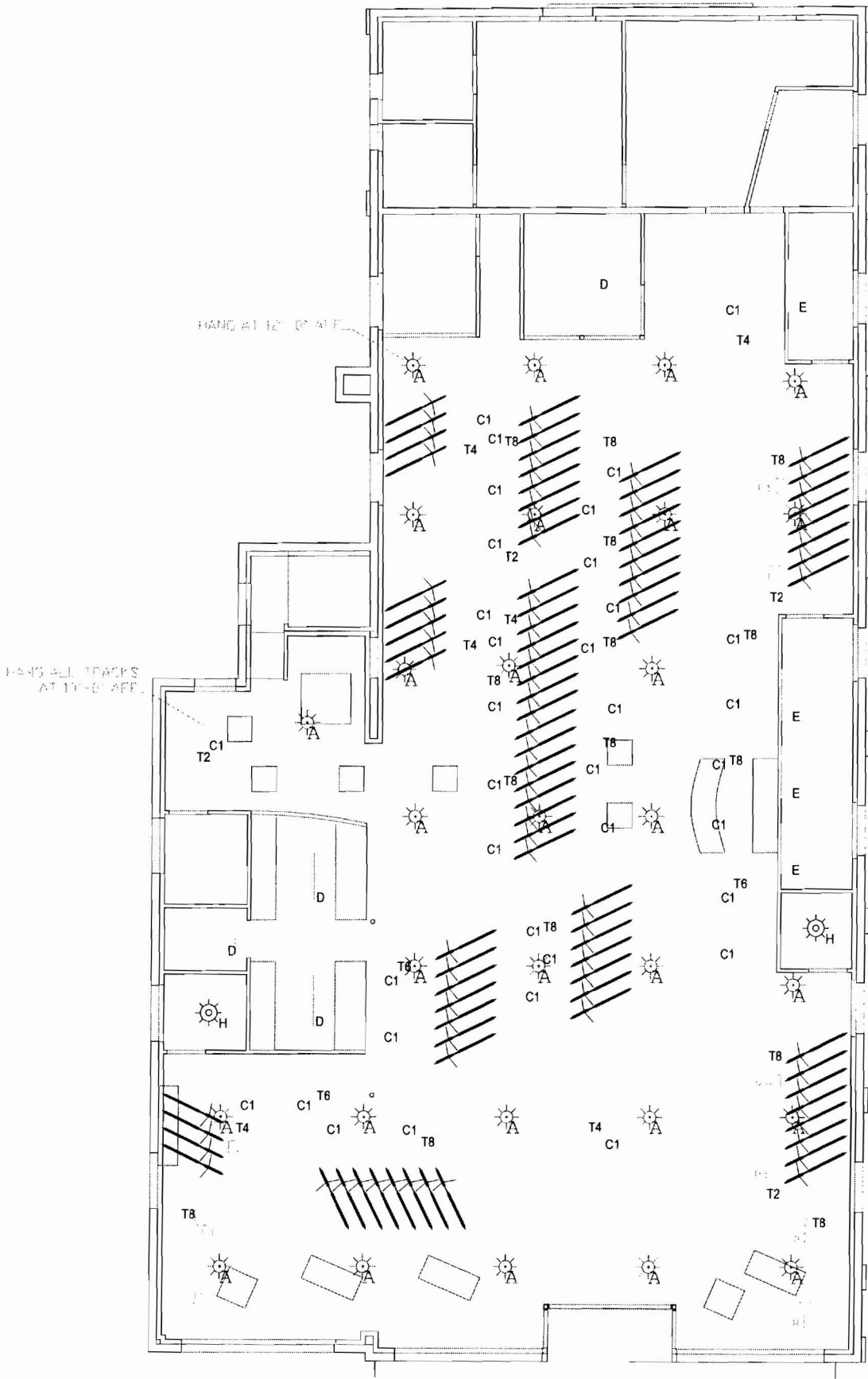


SYMBOL LEGEND

- SPLIT SWITCHED RECEPTACLE
- GFI
- WATER PROOF EXTERIOR RECEPTACLE
- DUPLEX RECEPTACLE
- QUADPLEX RECEPTACLE
- JUNCTION BOX
- DIMMER SWITCH
- 4-WAY SWITCH
- 3-WAY SWITCH
- SINGLE POLE SWITCH
- SURFACE MOUNT CEILING FIXTURE
- RECESSED LOW VOLTAGE DOWNLIGHT FIXTURE
- RECESSED FIXTURE
- CEILING MOUNT PENDANT FIXTURE
- WALL MOUNT UPLIGHT FLOOD FIXTURE
- FLUORESCENT FIXTURE
- BATH CEILING FAN
- BATH CEILING FANLIGHT
- TRACK FOR LOW VOLTAGE LIGHTING
- UNDER COUNTER LIGHTING
- EXTERIOR FLOOD FIXTURE
- CEILING FAN
- TELEPHONE JACK
- CABLE PORT (TV OR INTERNET)
- SMOKE ALARM (HARDWIRED)
- THERMOSTAT
- DOORBELL
- GARAGE DOOR OPENER
- SMOKE ALARM (HARDWIRED) PROVIDE IN ALL SLEEPING ROOMS ON CEILING, 1'-0" FROM WALL.
- CARBON MONOXIDE SENSOR

NOTES:

1. ALL WORK TO CONFORM TO NATIONAL ELECTRIC CODE
2. ALL ELECTRICAL OUTLETS IN WET LOCATIONS TO BE GFI
3. ALL OUTLETS TO BE LOCATED PER APPLICABLE CODE
4. PROVIDE BLOCKING FOR LIGHTING FIXTURE HOUSINGS AS REQUIRED
5. ALL LIVING ROOM/DINING ROOM/KITCHEN LIGHTS TO BE ON DIMMERS BY LUTRON (OR SIM. IF APPROVED BY ARCH.)
6. TYPE 'D' TO USE DIMMER SUITABLE FOR ELECTRIC TRANSFORMER
7. CLOSET LIGHTS TO BE MOUNTED INSIDE CLOSET ON WALL ABOVE DOOR
8. LOCATE SMOKE ALARMS PER APPLICABLE CODE



DATE	10/24/08
BY	JJT
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	

GLCS
DESIGN SPECIFY DISTRIBUTE

T. 423.648.2039 • F. 423.894.4533
6223 Lee Highway, 220 Chattanooga, TN 37421

Gorham Bike & Ski

STRUCTURAL GENERAL NOTES

DESIGN LOADS: International Building Code; IBC 2003 Edition, except as noted
Occupancy Category, Table 1604.5

		II	Standard	
Roofs:				
Ground Snow,	Pg		50 psf (used for drifting calculations)	
Flat Roof Snow,	Pf		35 psf	
Snow Exposure Factor	Ce	Table 1608.3.1	1.0	
Snow importance Factor,	Is	Table 1604.5	1.0	
Snow Thermal Factor,	Ct	Table 1608.3.2	1.0	
Floors:				
Office			50 psf	
Partitions in Offices			20 psf	
Corridors & Public Spaces			100 psf	
Storage Areas			125 psf	
Commercial 1 st floor			100 psf	
Lateral				
Wind	IBC 1603.1.4, ASCE 7-02		Analytic Method	
3 Second Gust Velocity			100 mph	
Importance Factor			1.0	
Building Category and Internal Pressure Coefficient				
IBC 1609.2, ASCE Figure 6-5		Enclosed		GCpi=0.18
Exposure		B		
Seismic Use Group		I		
Importance Factor		1.0		
Spectral Response		Acceleration	Coefficient	
Short Period		S _s 0.30 g	S _{ds} 0.20 g	
One Second		S ₁ 0.07 g	S _{d1} 0.05 g	
Soils Site Class	Table 1615.1.1	D		
Design Category	Table 1616.3	B		

STRUCTURAL STEEL:

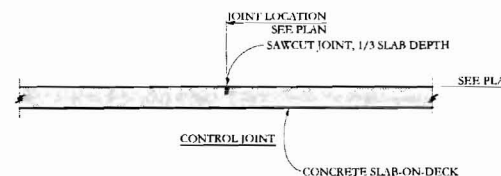
- * Angles, misc: ASTM A36
- * Anchor Bolts: ASTM A307 or A36
- * Standard pipe columns: ASTM A 53, Grade B.
- * Connector bolts: ASTM A307
- * Expansion Anchors shall be ICC approved, installed in accordance with manufacturers specifications.
 - In concrete: Wedge Type
 - In solid masonry: Sleeve Type
- * Epoxy Set Anchors shall be ICC approved, installed in accordance with manufacturers specifications.
 - In Solid Material: HIT HY 150
 - In Hollow Masonry: HIT HY 20 with Screen Tubes
- * Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.
- * All structural steel shall be fabricated and erected per the current edition of AISC Steel Construction Manual.
- * Welding by qualified welders. E70XX electrodes. 3/16" fillet welds, unless noted otherwise.
- * Except as noted, framed beam connections shall be detailed to develop 0.6 x Allowable Uniform Load values tabulated in the 9th Edition AISC Manual, Pp. 2-27 and following.
- * All beams shall have full depth web stiffeners each side of webs above and below columns. (3" or as noted)
- * Attach wood nailer plates to beams with 1/2" diameter machine or carriage bolts at maximum 32" o.c., or 3/8" diameter bolts at 32" with glued contact face, or 5/32" diameter powder actuated drive pins at 24" o.c. U.O.N.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- * The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- * These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
- * Observations of foundation reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.
- * All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.
- * The foundation design shown assumes that the owner/builder is aware of the presence of expansive soils, and that he has had the previously referenced soils report. Use of these plans is indication that the owner/builder accepts the risks associated with building on this site, especially those related to slab on grade construction in finished areas. JVA will not be held liable for damages caused by slab movement.

CONCRETE AND REINFORCEMENT:

- * Concrete shall conform to applicable provisions of ACI-301 and 318. Minimum 28 day compressive strength (F'c) as follows:
 - Interior Slabs on Deck: 3,000 psi with Fibermesh
- * Cement Type:
 - All other: I/1
- * Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
- * Fibermesh: 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lb. per cubic yard.
- * Welded Wire Fabric (WWF): ASTM A185. See also plan.
- * Reinforcement shall be fabricated and placed per ACI Manual of Standard Practice (ACI-315). At splices, lap bars 50 diameters unless noted otherwise.
- * Minimum 2 #5 around all four sides of all openings, extend min. 2'-0" beyond openings.
- * Concrete cover over reinforcing: 1 1/2" for concrete placed against forms; 3" for concrete placed against earth. See also drawings.
- * In continuous members, splice top bars at mid span and bottom bars over supports.
- * Keep reinforcement clean and free of dirt, oil, scale. Oil forms prior to placing reinforcement.



WOOD FRAMING:

- * Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
- * SPF #2 and better (Maximum Moisture Content 19%) U.O.N.
 - Plates: Sill plates: Preservative treated Southern Pine.
- * "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth. Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSL (zinc borate treatment). Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ (Alkaline Copper Quaternary) and copper azole. All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized or Stainless Steel. All screws, nails and bolts shall match hangers and other connectors. Do not mix stainless with galvanized products. Do not allow aluminum to contact treated wood.
 - Top and Bottom Plates: Hem Fir
 - SPF Studs U.O.N: 2 x 4 and 2 x 6 to 8'-0: stud grade
 - 2x4 over 8'-0 standard and better
 - 2x6 over 8'-0 No. 2 and better
 - Floor Joists: SPF No. 1 or better Fb=875 psi, E=1,400,000
 - Rafters: SPF No. 1 or better Fb=875 psi, E=1,400,000
 - Beams: SPF No. 1, Fb=1100 psi, E=1,300,000 psi
 - Existing Framing: Fb=1,500 psi, E=1,600,000, Assumed Strength Values for Historic Lumber
- * All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
 - Floor sheathing: nominal 3/4", APA Sturd-1-floor "24" inch o.c. tongue & groove glued and nailed.
 - Roof sheathing: minimum 5/8" CDX plywood, or 19/32" OSB, APA 40/20, nailed.
 - Wall sheathing: 1/2" CDX plywood or 7/8" OSB, APA 24/16, blocked and nailed.
- * Nail wall sheathing with 8d commons at 6" o.c. at panel edges, and 12" o.c. intermediate framing U.O.N. **BLOCK AND NAIL ALL EDGES BETWEEN STUDS.** Sheathing shall be continuous from bottom plate to top plate. Cut in "L" and "T" shapes around openings. Lap sheathing over rim joists min. 4" at all floors to tie upper and lower stud walls together. Minimum height of sheathing panels shall be 16" to assure that plates are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing.
- * Sole plate at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3-6d x 3 1/2" long box nails (coated or deformed shank) per 16". 12d nails are not acceptable.

Structural Drawing Index

S-1.0	General Notes, Etc.
S-1.1	Framing Plans
S-1.2	Sections

PROJECT: GORHAM BIKE & SKI
JAMIE WRIGHT
691 CONGRESS STREET
PORTLAND, ME

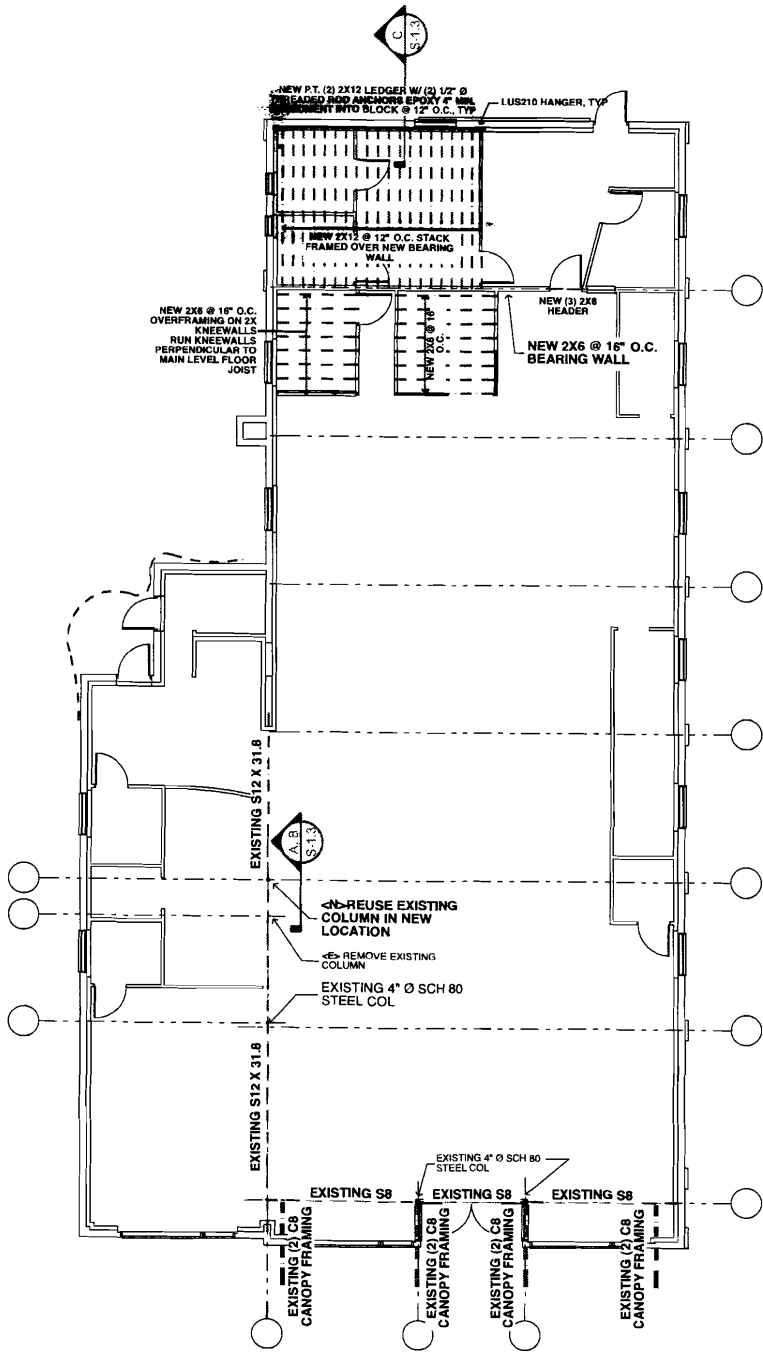
DRAWING: STRUCTURAL GENERAL NOTES

SCALE: DRAWN BY: JJT

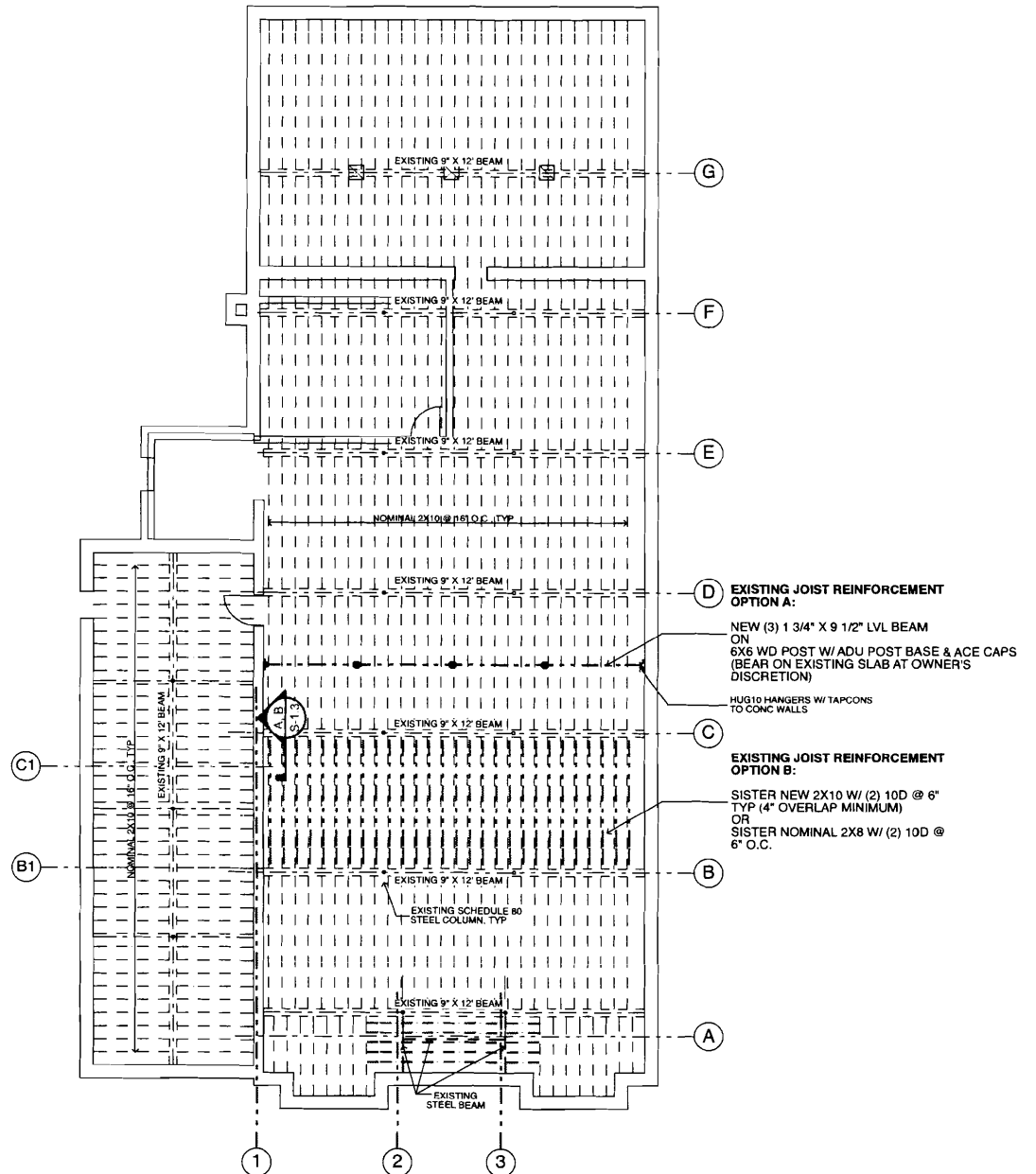
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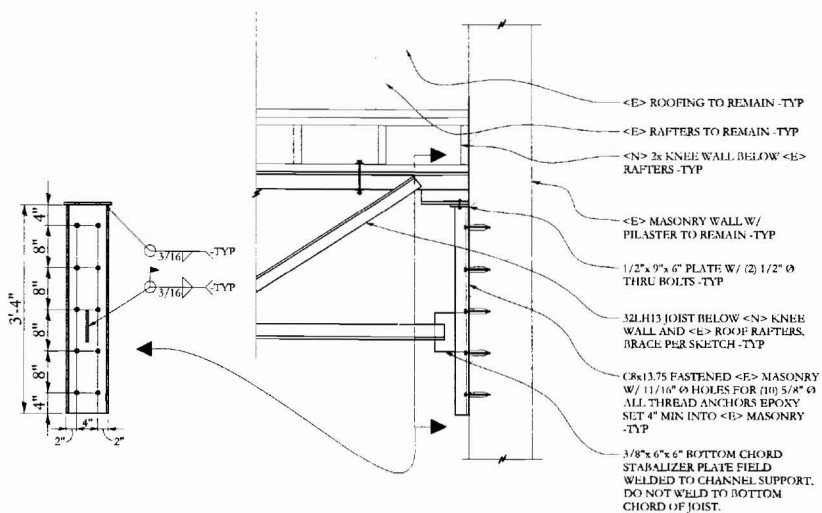
S-1.1



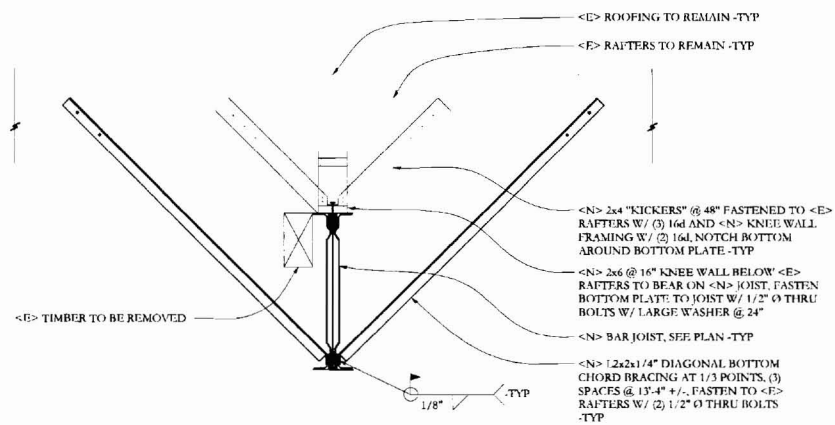
2 MEZZANINE FRAMING PLAN
SCALE: 1/8" = 1'-0"



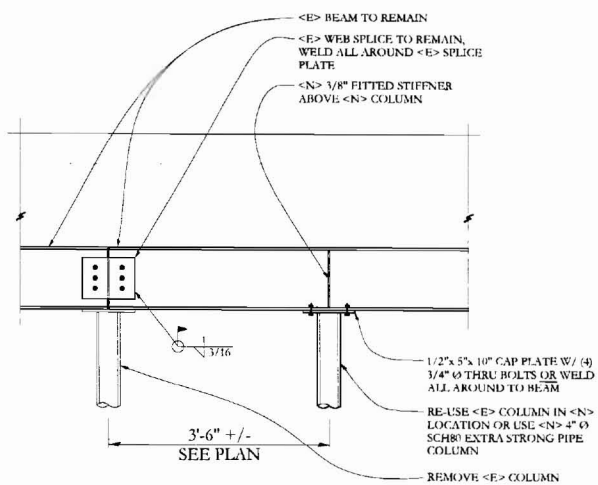
1 FIRST FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



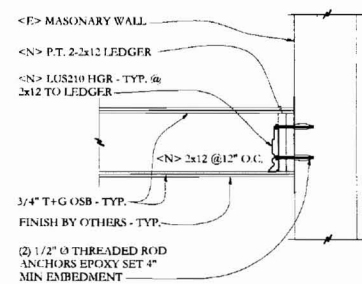
SECTION $\frac{E}{S1}$ 3/4"=1'-0



SECTION $\frac{F}{S1}$ 3/4"=1'-0



SECTION $\frac{B}{S-1.2}$ 3/4"=1'-0



SECTION $\frac{C}{S-1.2}$ 3/4"=1'-0

STRUCTURAL GENERAL NOTES

DESIGN LOADS: International Building Code, IBC 2003 Edition, except as noted
Occupancy Category, Table 1604.5

	II	Standard	
Roofs:			
Ground Snow, Pg		50 psf (used for drifting calculations)	
Flat Roof Snow, Pf		35 psf	
Snow Exposure Factor, Ce	Table 1608.3.1	1.0	
Snow importance Factor, Is	Table 1604.5	1.0	
Snow Thermal Factor, Ct	Table 1608.3.2	1.0	
Floors:			
Office		50 psf	
Partitions in Offices		20 psf	
Corridors & Public Spaces		100 psf	
Storage Areas		125 psf	
Commercial 1 st floor		100 psf	
Lateral:			
Wind IBC 1603.1.4, ASCE 7-02		Analytic Method	
3 Second Gust Velocity		100 mph	
Importance Factor		1.0	
Building Category and Internal Pressure Coefficient			
IBC 1609.2, ASCE Figure 6-5	Enclosed		GCpi=0.18
Exposure			
Seismic Use Group	I		
Importance Factor	1.0		
Spectral Response	Acceleration		Coefficient
Short Period	S _s 0.30 g		S _{DS} 0.20 g
One Second	S ₁ 0.07 g		S _{D1} 0.05 g
Soils Site Class	Table 1615.1.1		
Design Category	Table 1616.3	B	

CONCRETE AND REINFORCEMENT:

- Concrete shall conform to applicable provisions of ACI-301 and 318. Minimum 28 day compressive strength (F_c) as follows:
- Interior Slabs on Deck: 3,000 psi with Fibermesh
- Cement Type: All other: I/II
- Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
- Fibermesh: 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level onc. 1.5 lb. per cubic yard.
- Welded Wire Fabric (WWF): ASTM A185. See also plan.
- Reinforcement shall be fabricated and placed per ACI Manual of Standard Practice (ACI315). At splices, lap bars 50 diameters unless noted otherwise.
- Minimum 2 #5 around all four sides of all openings, extend min. 2'-0" beyond openings.
- Concrete cover over reinforcing: 1 1/2" for concrete placed against forms; 3" for concrete placed against earth. See also drawings.
- In continuous members, splice top bars at mid span and bottom bars over supports.
- Keep reinforcement clean and free of dirt, oil, scale. Oil forms prior to placing reinforcement.

WOOD FRAMING:

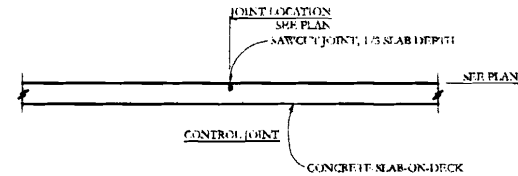
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STRUCTURAL STEEL:

- Angles, misc: ASTM A36
- Anchor Bolts: ASTM A307 or A36.
- Standard pipe columns: ASTM A 53, Grade B.
- Connector bolts: ASTM A307
- Expansion Anchors shall be ICC approved, installed in accordance with manufacturers specifications.
In concrete: Wedge Type
In solid masonry: Sleeve Type
- Epoxy Set Anchors shall be ICC approved, installed in accordance with manufacturers specifications.
In Solid Material: HIT HY 150
In Hollow Masonry: HIT HY 20 with Screen Tubes
- Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.
- All structural steel shall be fabricated and erected per the current edition of AISC Steel Construction Manual.
- Welding by qualified welders. E70XX electrodes. 3/16" fillet welds, unless noted otherwise.
- Except as noted, framed beam connections shall be detailed to develop 0.6 x Allowable Uniform Load values tabulated in the 9th Edition AISC Manual, Pp. 2-27 and following.
- All beams shall have full depth web stiffeners each side of webs above and below columns. (3" or as noted)
- Attach wood nailer plates to beams with 1/2" diameter machine or carriage bolts at maximum 32" o.c., or 3/8" diameter bolts at 32" with glued contact face, or 5/32" diameter powder actuated drive pins at 24" o.c., U.O.N.

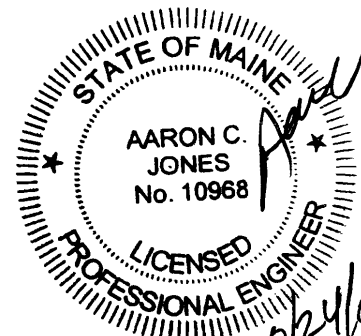
STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
- Observations of foundations eroding or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 34 hours advance notice is requested.
- All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.
- The foundation design shown assumes that the owner/builder is aware of the presence of expansive soils, and that he has read the previously referenced soils report. Use of these plans is indication that the owner/builder accepts the risks associated with building on this site, especially those related to slab on grade construction in finished areas. I/A will not be held liable for damages caused by slab movement.



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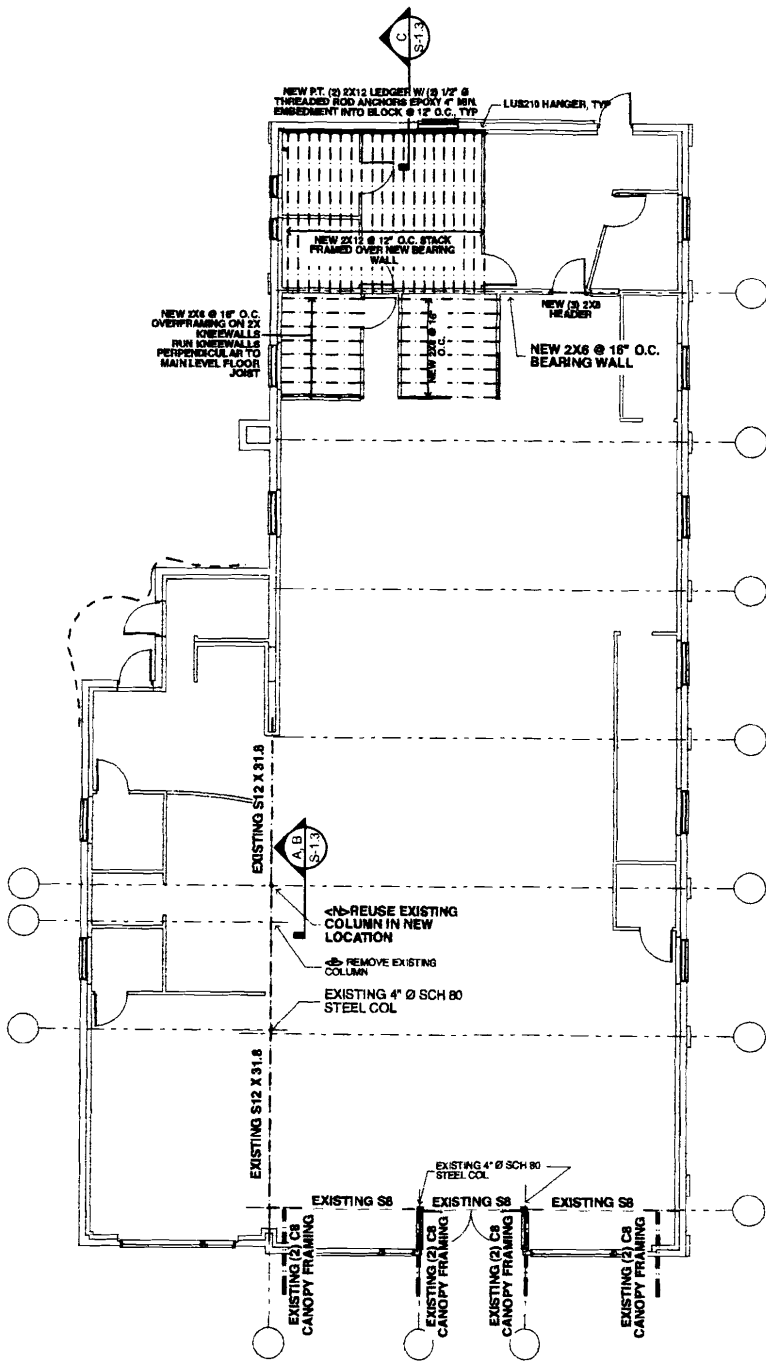
PROJECT:
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DRAWING: STRUCTURAL GENERAL NOTES

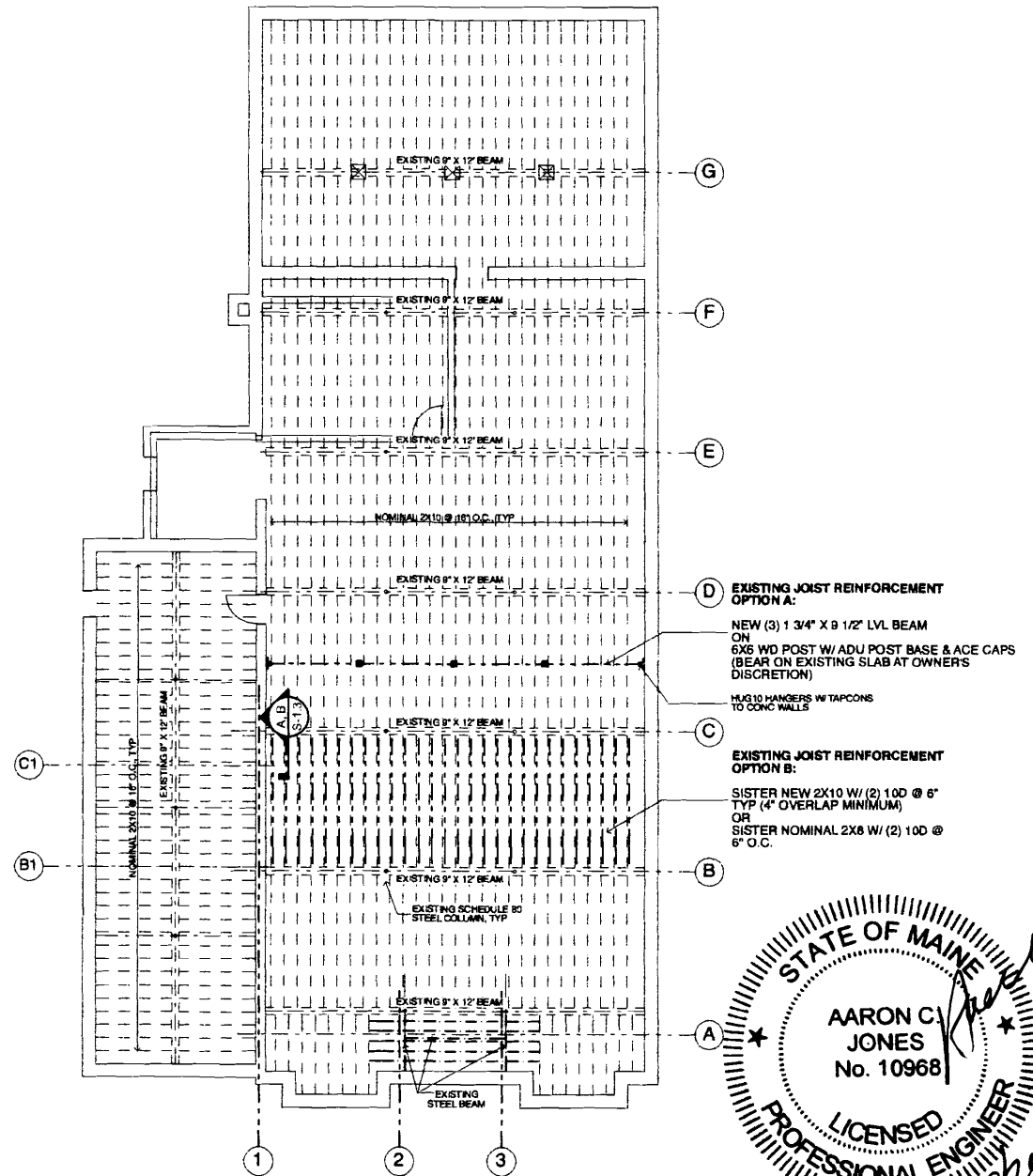
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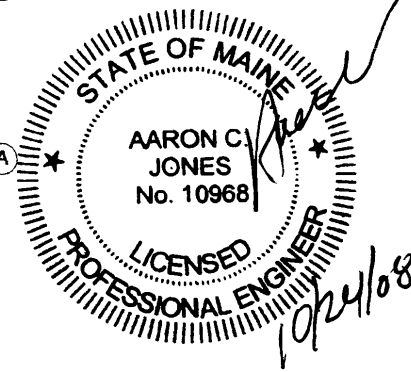
S-1.1

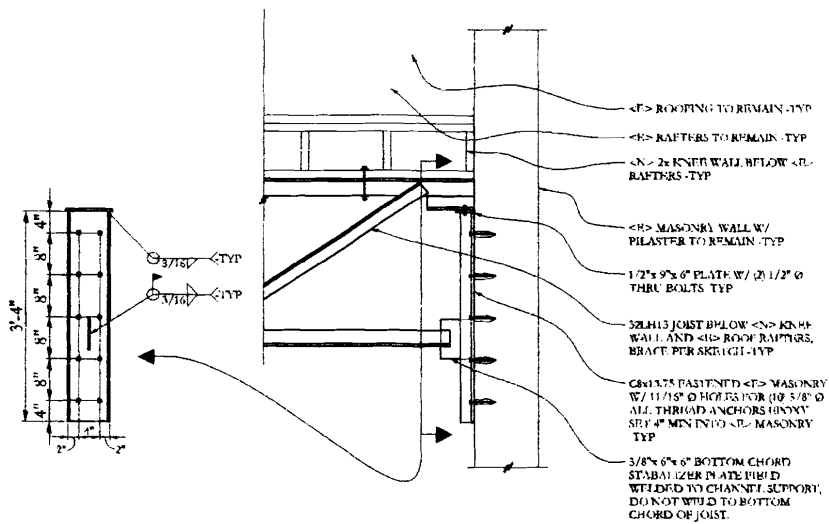


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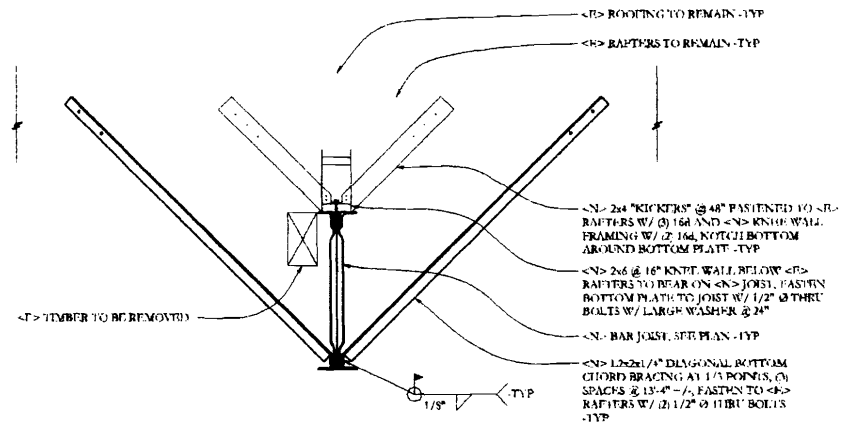


1 FIRST FLOOR FRAMING PLAN
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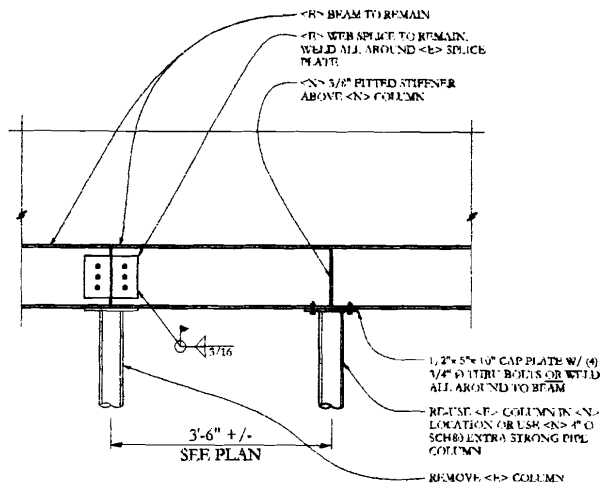




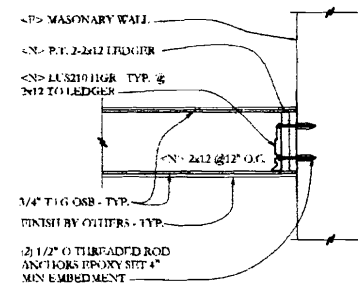
SECTION E S1 3/4"=1'-0



SECTION F S1 3/4"=1'-0



SECTION B S1.3 3/4"=1'-0



SECTION C S1.2 3/4"=1'-0

