

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that
ENGEL JENNIFER BLAIR

Located at
68 Deering St

PERMIT ID: 2014-02509 **ISSUE DATE:** 01/16/2015 **CBL:** 047 C004001

has permission to **Renovate the first floor to change the use from a dentist office to an apartment, including wall removal and new LVL's, new kitchen, bath and infill 2 common hall doors**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise clsoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

/s/ David Petruccelli

/s/ Jeanie Bourke

Fire Official

Building Official

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

Approved Property Use - Zoning

Permit #2014-02509 in review to change the use of the property to three dwelling units

Building Inspections

Use Group: R-2 **Type:** 5B
Residential Apartments (3 Units)
First Floor
MUBEC/IBC 2009

Fire Department

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

**Check the Status or Schedule an Inspection On-Line at
<http://www.portlandmaine.gov/planning/permitstatus.asp>**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
- **Per Section 107.3.1 of the Maine Uniform Building and Energy Code (MUBEC). One set of printed approved stamped construction documents shall be kept at the site of work and shall be open to inspection by building officials.**

REQUIRED INSPECTIONS:

Close-in Plumbing/Framing w/Fire & Draft Stopping

Electrical Close-in w/Fire & Draftstopping

Certificate of Occupancy/Final

Final - Electric

Fire - Change of Use Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit		Permit No: 2014-02509	Date Applied For: 10/24/2014	CBL: 047 C004001
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716				
Proposed Use: 3 residential apartments	Proposed Project Description: Renovate the first floor to change the use from a dentist office to an apartment, including wall removal and new LVL's, new kitchen, ba and infill 2 common hall doors			
Dept: Historic Status: Approved w/Conditions Reviewer: Robert Wiener Approval Date: 12/01/2014				
Note:				Ok to Issue: <input checked="" type="checkbox"/>
Conditions:				
1) No exterior alterations are approved with this permit. Any exterior work must be reviewed and approved separately, prior to construction.				
Dept: Zoning Status: Approved w/Conditions Reviewer: Ann Machado Approval Date: 11/06/2014				
Note: R-6 zone lot size - 3030 sf land area per du is 1,000 sf - OK 600 sf min floor area for du - over 1,000 sf - ok no existing unit is being reduced in size. One of street parking space required - waived - the building is a contributing structure in a historic district as confirmed by Historic Preservation.				Ok to Issue: <input checked="" type="checkbox"/>
Conditions:				
1) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.				
2) This permit is being approved on the basis of plans and documents submitted. Any deviations shall require a separate approval before starting that work.				
3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.				
Dept: Building Status: Approved w/Conditions Reviewer: Jeanie Bourke Approval Date: 01/16/2015				
Note:				Ok to Issue: <input checked="" type="checkbox"/>
Conditions:				
1) This permit is approved based upon information provided by the applicant or design professional. Any deviation from the final approved plans requires separate review and approval prior to work.				
2) Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. The same is required for existing buildings, where permanent wiring is feasible; or at the very least battery operated smoke detectors are required. Verification of this will be upon inspection.				
3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.				
4) Penetrations through fire resistance rated assemblies shall be protected by an approved penetration firestop system installed as tested in accordance with ASTM E814 or UL 1479				
5) Egress size windows are required (1) in each bedroom per IRC Sec. R310 or per the State Fire Marshal policies for existing buildings.				
6) Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.				

