

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that LAUREL ANDREW

Located At 68 DEERING ST

Job ID: 2012-01-2997-CH OF USE

CBL: 047- C-004-001

has permission to Change the use of the 1st floor from Office to Residential with alterations (THREE DWELLING UNITS) provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. All outstanding code violations shall be corrected prior to final inspection.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Carbon Monoxide is detection required in accordance with NFPA 720, *Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment*, 2009 edition.
6. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
7. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
8. The sprinkler system shall be installed in accordance with NFPA 13.
9. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
10. A sprinkler supervisory system shall be provided in accordance with NFPA 101, *Life Safety Code*, and NFPA 72, *National Fire Alarm and Signaling Code*. Sprinkler supervisory systems shall monitor for water flow and sprinkler supervisory signals via an approved fire alarm panel to central station. One smoke detector shall be located over the panel, a manual pull station located at the front door, and an audible water flow alarm provided.
11. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
12. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
13. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
14. A firefighter Building Marking Sign is required.
15. Notification: Two means of egress are required from every story. "MRSA Title 25 § 2453"
16. All means of egress to remain accessible at all times.
17. No means of egress shall be affected by this renovation.
18. Any cutting and welding done will require a Hot Work Permit from Fire Department.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings for new bearing posts prior to pouring concrete, if installed

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

202 2011-06-10 16

3240 \$



R.L. Historic

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>68 Seekins ST</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>047 C 004</u>	Applicant * must be owner, Lessee or Buyer* Name <u>LAUREL ANDREWS</u> Address <u>20 Oakview Drive</u> City, State & Zip <u>CAPE ELIZABETH 04107</u>	Telephone: <u>207 7999 668</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address City, State & Zip	Cost Of Work: \$ <u>33,000</u> - <u>1350</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>425.00</u>
Current legal use (i.e. single family) <u>1 OFFICE</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? Proposed Specific use: <u>3 RESIDENTIAL</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>RENOVATION 1st floor</u> <u>change of use Office to Res-</u>		
Contractor's name: <u>PETER NOONE</u> Address: <u>246 MAIN ST WESTBROOK</u> City, State & Zip <u>WESTBROOK MAINE 04092</u> Telephone: _____ Who should we contact when the permit is ready: <u>PETER NOONE</u> Telephone: <u>207 7490519</u> Mailing address: <u>246 MAIN ST WESTBROOK</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Peter Noone Date: 23/12/11

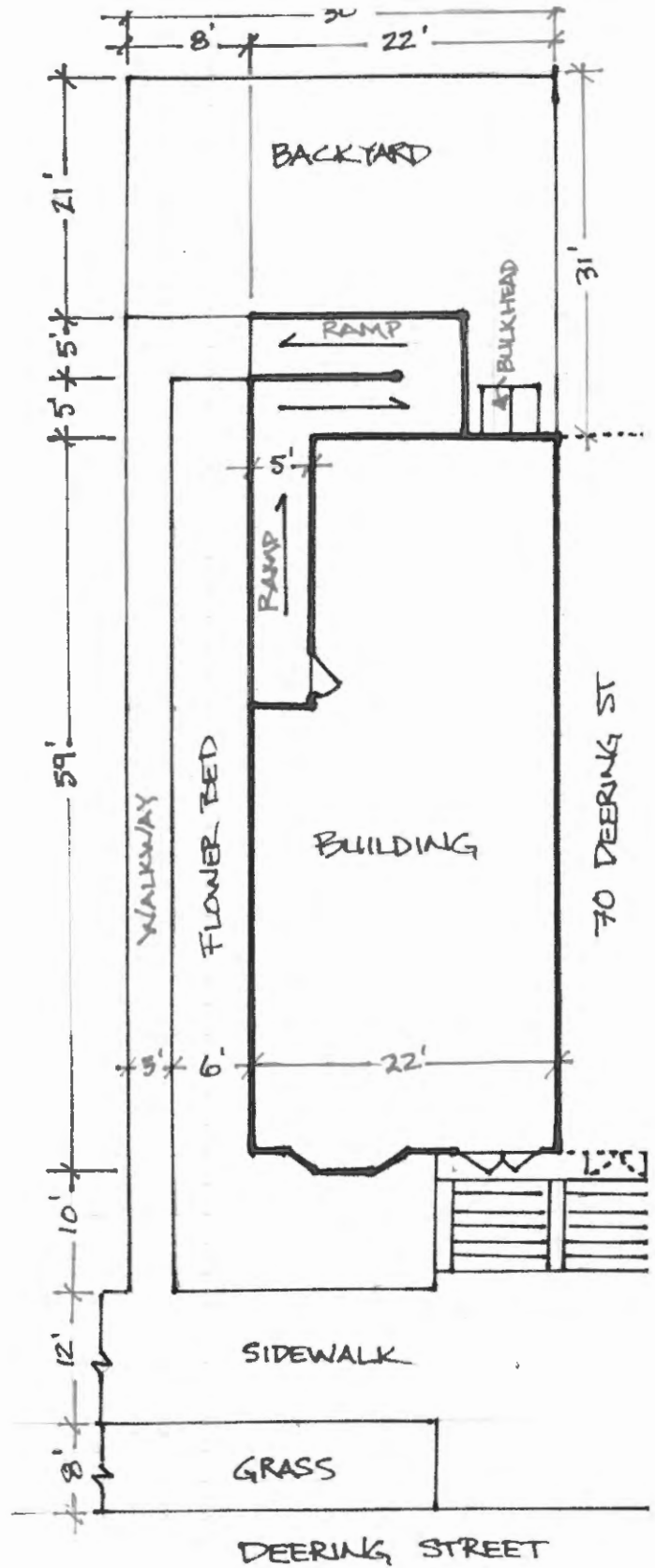
This is not a permit; you may not commence ANY work until the permit is issue

RECEIVED
DEPARTMENT OF PLANNING AND DEVELOPMENT
Building Inspections
Portland, Maine



PLOT PLAN

68 DEERING ST
1/8/2012



RECEIVED

JAN 10 2012

Dept. of Building Inspections
City of Portland Maine

INSTALL New Header 2x12

Span = 14'
Height = 10'
More like 12' per Peter N. Carrying one floor maximum.

INSTALLING 2x12 Header POSTS TO BRASSMENT FLOOR AND 2x4 AND BEARING IN SON TO CONCRETE FLOOR PT SILL PLATE

SECTION B

INSTALL FRAMING

5x5
1/26/12
2x12
1/26/12
2x12
1/26/12
2x12
1/26/12
2x12
1/26/12

Inbound post to carry to Feathering or existing post (may need new pad)
Section B

2x4 POST
2x4 POST

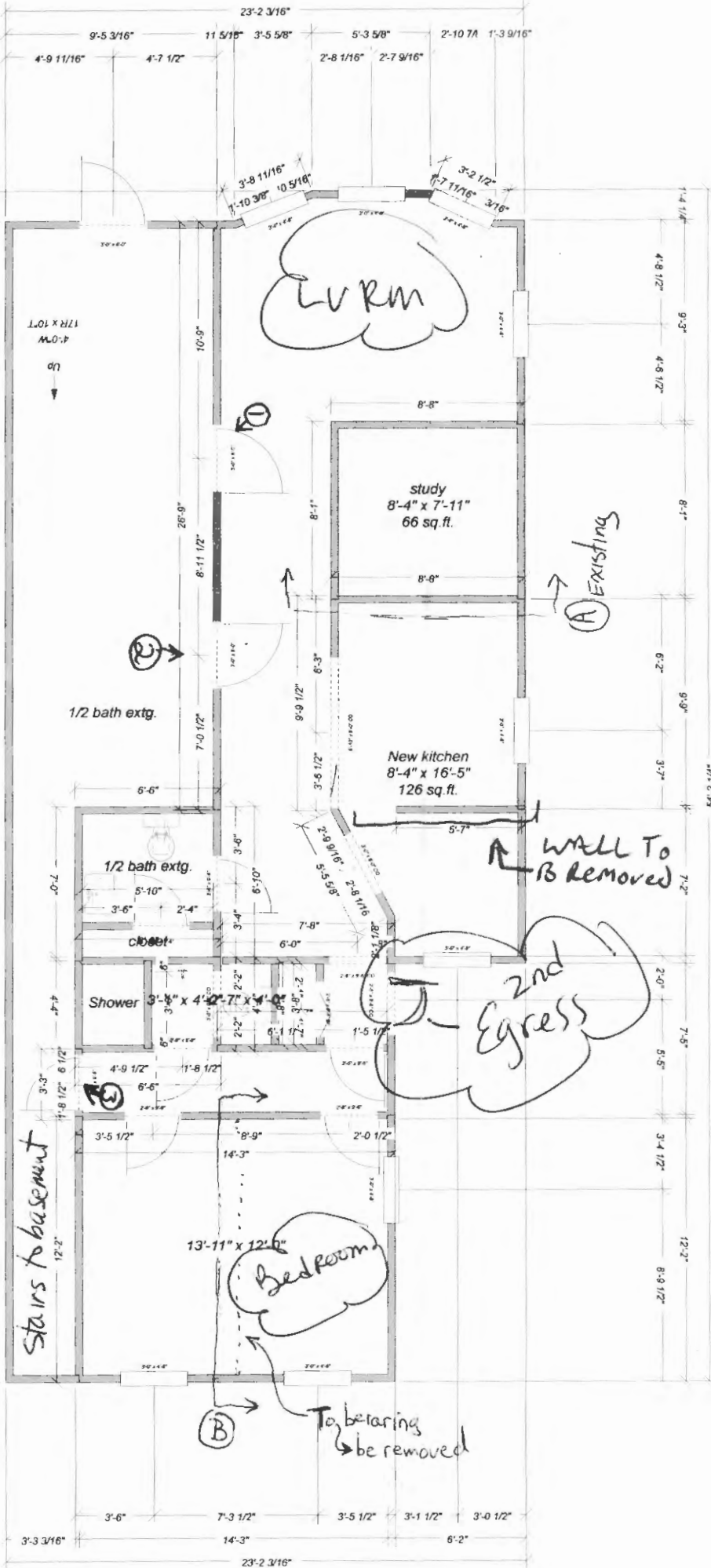
2x4 POST
2x4 POST

Bed Room elevation

Exterior wall to Foundation

1ST
FLOOR
Fire
Door
Area
ONLY

3 on 1ST FLOOR
5 on 2ND FLOOR



stairs to basement

Living Room

study
8'-4" x 7'-11"
66 sq. ft.

New kitchen
8'-4" x 16'-5"
126 sq. ft.

1/2 bath extg.

1/2 bath extg.

Shower

Bedroom
13'-11" x 12'-6"

(A) Existing

WALL TO B Removed

(C) 2nd Egress

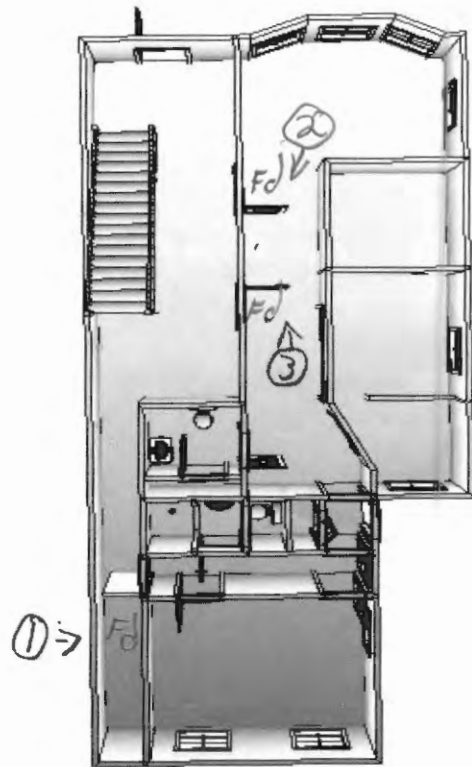
(B) To be removed

EXISTING USE IS OFFICE ON 1ST FLOOR
CHANG TO APPERTMENT RENTAL

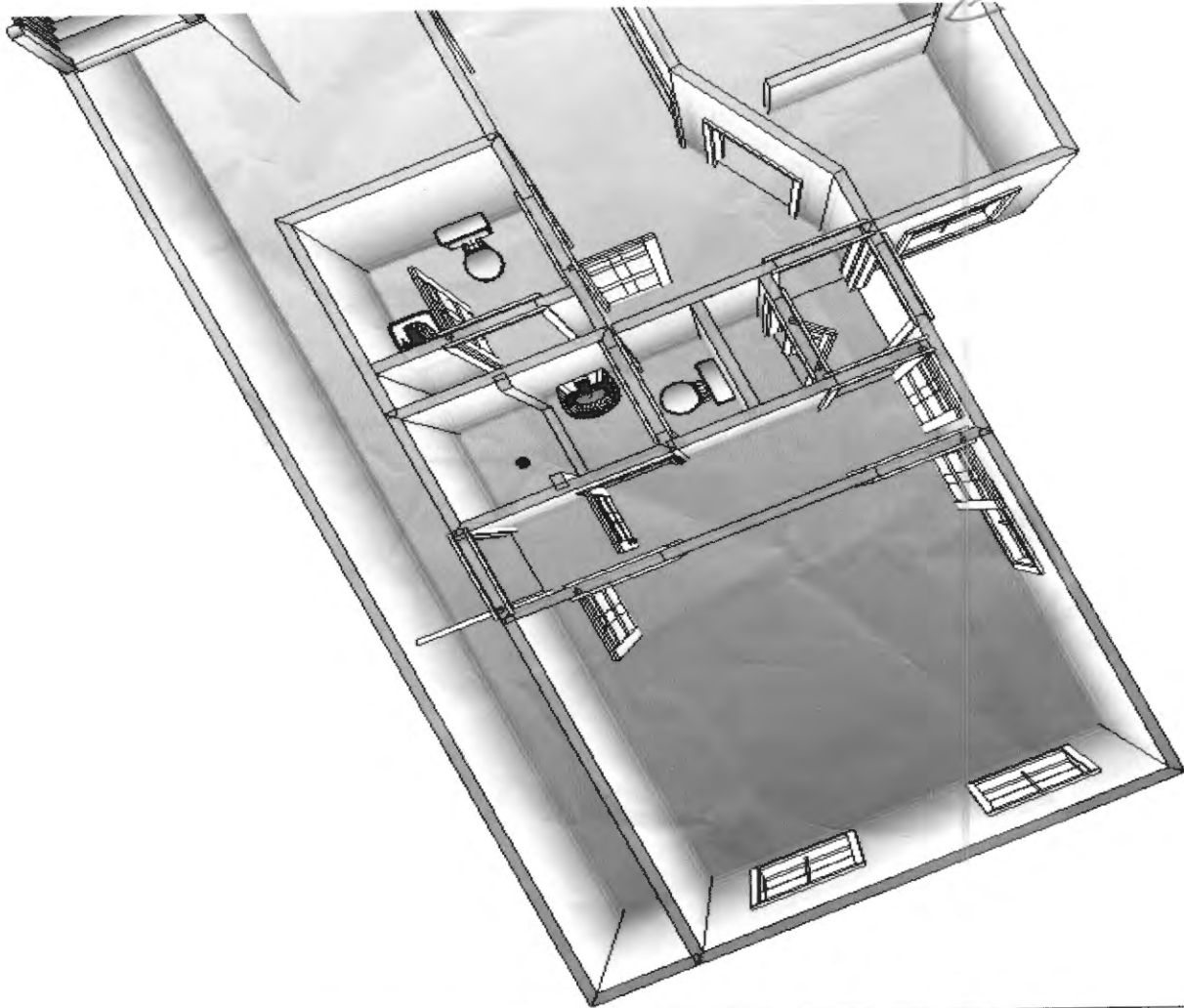
THIS WILL THEN B 3 UNIT. BUILDING

Fire Doors = (FD)

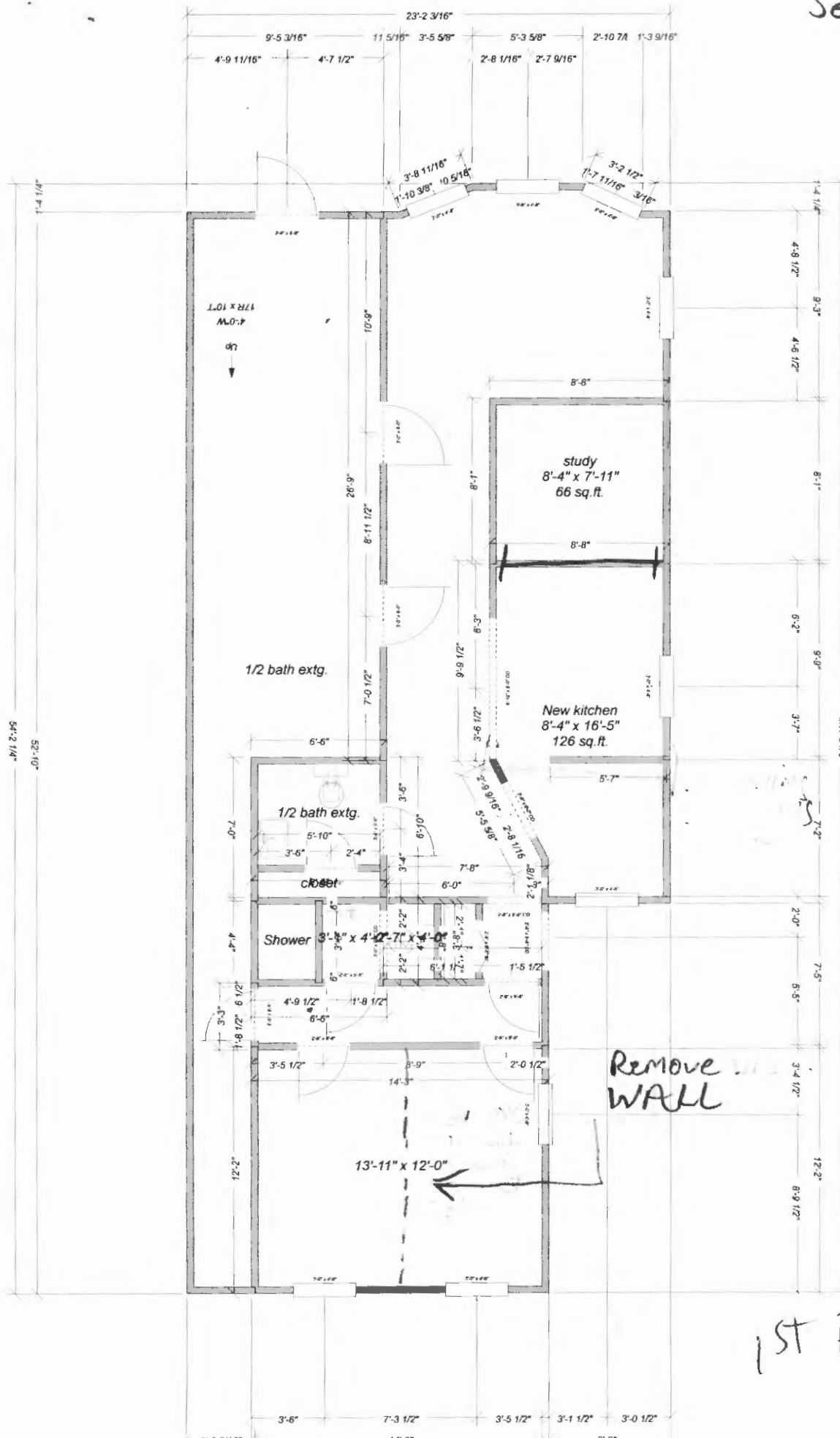
THEIR ARE 3 DOORS INTO APT - NON FIRE RATED



SECTION A New wall



SECTION A

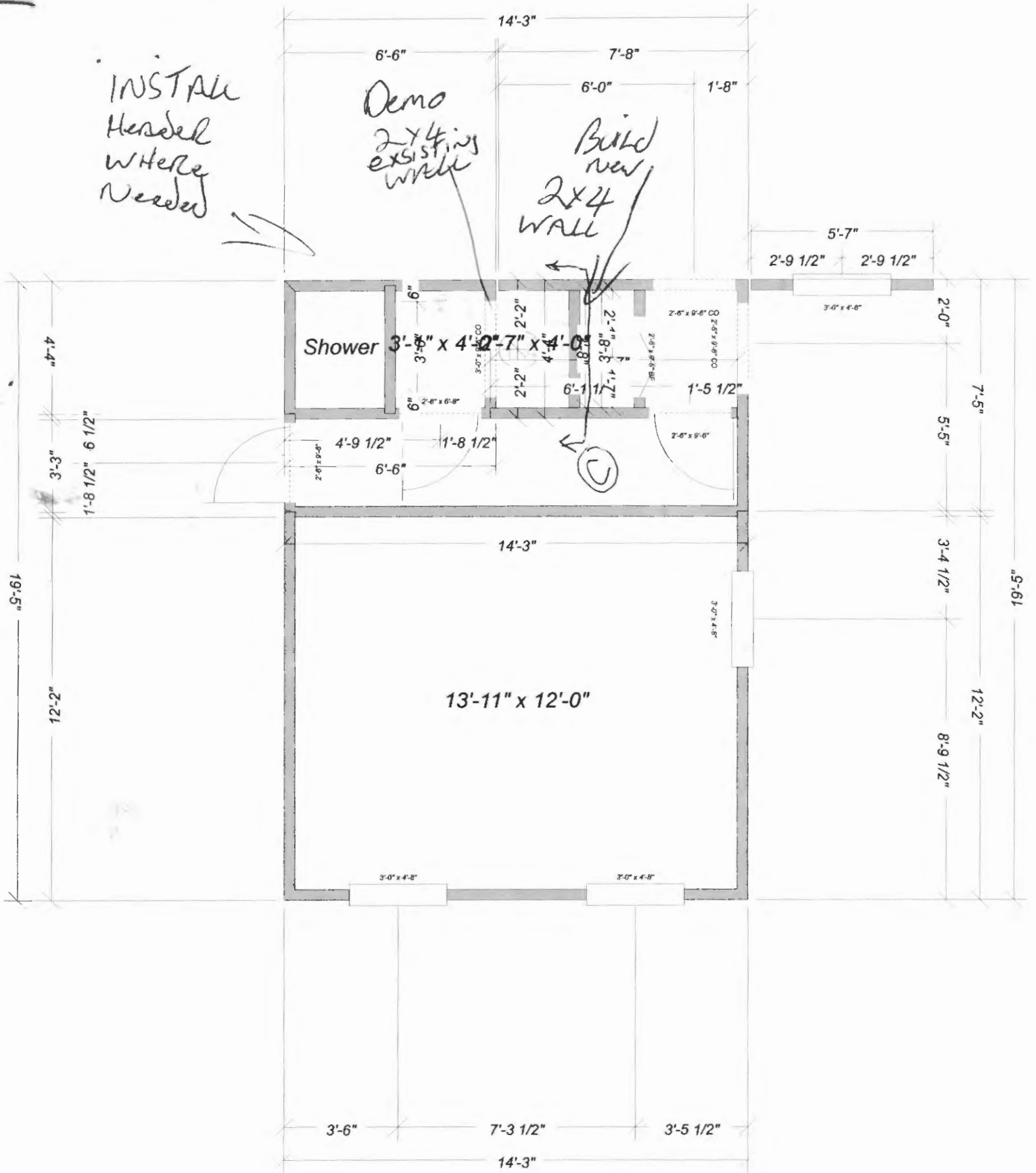


1ST FLOOR

INSTALL
Header
where
needed

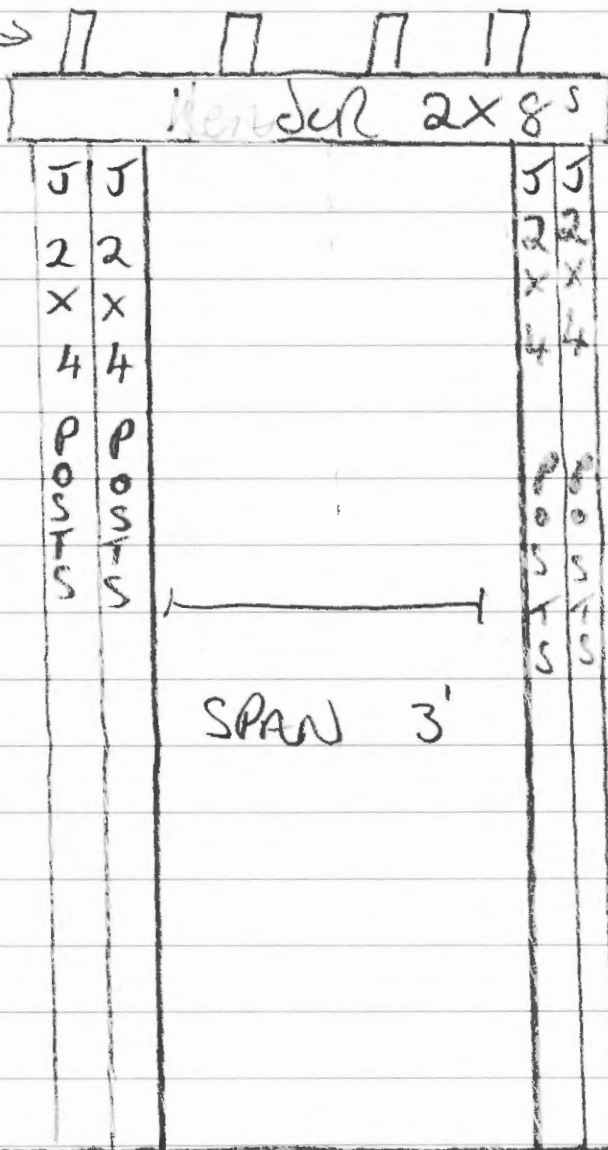
Demo
2x4's
existing
wall

BUILD
new
2x4
WALL



BATHROOM ELEVATION 1ST FLOOR

EXISTING
FLOOR
JOIST
ABOVE

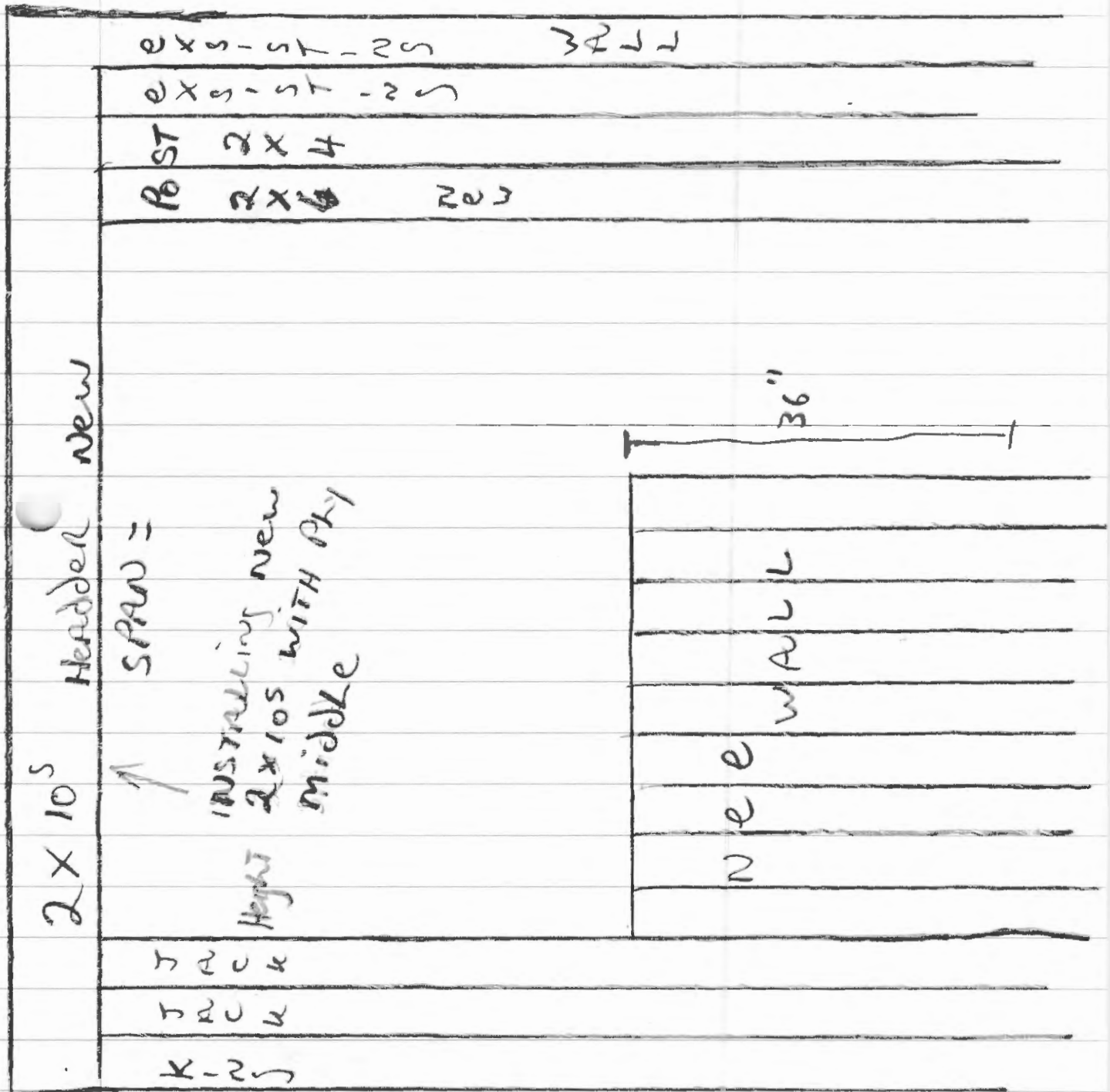


INSTALL 2x8
SUPPORT BEAM

POST DOWN TO BASEMENT FLOOR
Be LAND ON PT PADS ON BASEMENT
IF FLOOR IS OR WOOD.

Section C

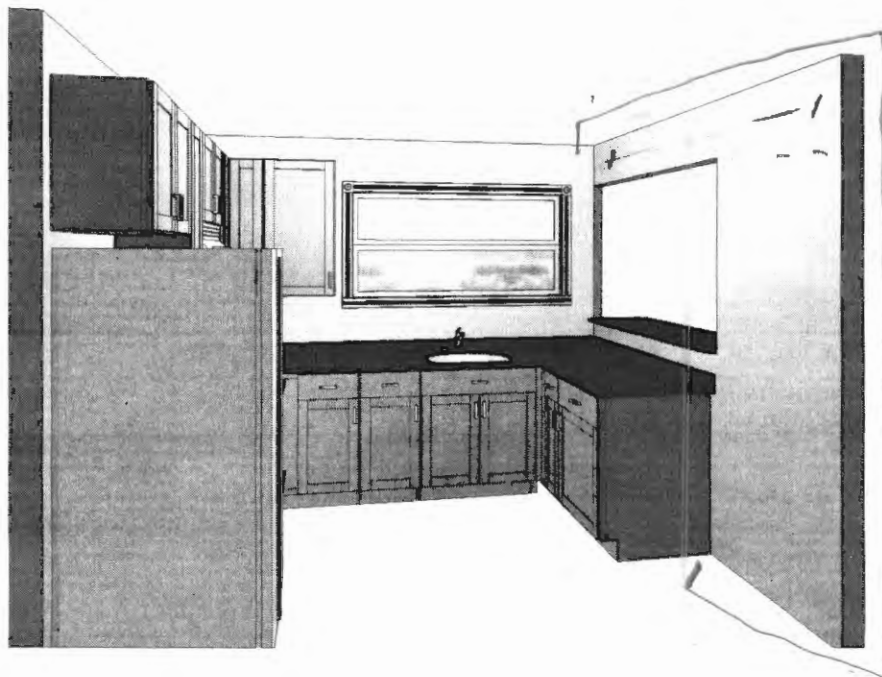
KITCHEN elevation



Section (A) proposed

SECTION A

Remove kitchen wall 8 Feet wide
10 Feet ^X TALL
NO. STRUCTURAL
↑



INSTALL BEAM
TO CARRY WEIGHT
ABOVE IF
LOAD BEARING

Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

LOWE'S

Designed: 9/27/2011
Printed: 9/27/2011

Program: FP322L

by Property Report

FIRE PREVENTION

Property address		Property name	Property number		
Inspection type	Date	Inspector	Reference	Target date	Actual date
Seq.	Violation class	Violation type			
	Location(s)				
0068 DEERING ST, PORTLAND ME 04101		SIXTY-EIGHT DEERING STREET	49576-000-000		
	ROUTINE INSPECTION	EDWARD DOUGHTY, Bramhall Station, Platoon 2			
1	BUILDING CONSTRUCTION VIOLATION	HOLE IN CEILING NEEDS REPAIR		6/05/09	0/00/00
	BASEMENT				
2	APARTMENT BUILDINGS	DOOR ASSEMBLIES TO BE 1-HOUR FIRE R		6/05/09	0/00/00
	COMMON AREAS TO UNITS AND BASEMENT.; SECOND FLOOR.				

Violation Summary:

Open	Closed	Total
2	0	2