

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100005
PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

This is to certify that STONE COAST PROPERTIES LLC / P & S
has permission to Demo & Remove 8,000 sq ft of Master Ceiling
AT 603 CONGRESS ST City of Portland CE 046 D031001
JAN 13 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. *[Signature]*
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 1/15/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

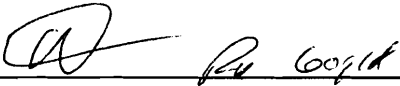
A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

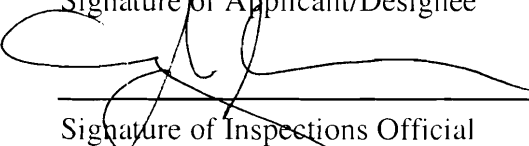
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

01/13/10
Date



Signature of Inspections Official

01/13/10
Date

Green 469-1050

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 10-0005 | Issue Date: | CBL: 046 D031001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|--|---|---------------------|
| Location of Construction: 603 CONGRESS ST | Owner Name: STONE COAST PROPERTIES LL | Owner Address: 142 HIGH ST STE 320 | Phone: |
| Business Name: | Contractor Name: P & G Masonry | Contractor Address: P.O. Box 729 Old Orchard | Phone 2079348584 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | Zone: B-3 |

| | | | | |
|---|--|---|---------------------------------------|--------------------|
| Past Use: Vacant Space (Old State Theater) | Proposed Use: Vacant Space (Old State Theater) - Demo & Remove 8,000 sq ft of Plaster Ceiling | Permit Fee: \$220.00 | Cost of Work: \$20,000.00 | CEO District: 2 |
| | | FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: A-1 Type: C | |

| | | |
|--|-------------------------------|-------------------------------|
| Proposed Project Description: Demo & Remove 8,000 sq ft of Plaster Ceiling | Signature: <i>(Signature)</i> | Signature: <i>(Signature)</i> |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | |
| Signature: | | Date: |

| | | |
|-----------------------------|---------------------------------|------------------------|
| Permit Taken By: Ldobson | Date Applied For: 01/06/2010 | Zoning Approval |
|-----------------------------|---------------------------------|------------------------|

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

| | | |
|--|---|---|
| Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>(Signature)</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/8/10 |
|--|---|---|

PERMIT ISSUED

JAN 13 2010

City of Portland

(Signature)
D. Andrews

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|---------------------------------|---------------------|
| Permit No: 10-0005 | Date Applied For: 01/06/2010 | CBL: 046 D031001 |
|-----------------------|---------------------------------|---------------------|

| | | | |
|---|---|--|--------------------------------|
| Location of Construction: 603 CONGRESS ST | Owner Name: STONE COAST PROPERTIES LL | Owner Address: 142 HIGH ST STE 320 | Phone: |
| Business Name: | Contractor Name: P & G Masonry | Contractor Address: P.O. Box 729 Old Orchard | Phone (207) 934-8584 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

| | |
|---|--|
| Proposed Use: Vacant Space (Old State Theater) - Demo & Remove 8,000 sq ft of Plaster Ceiling | Proposed Project Description: Demo & Remove 8,000 sq ft of Plaster Ceiling |
|---|--|

Dept: Historic **Status:** Approved **Reviewer:** Deborah Andrews **Approval Date:** 01/08/2010

Note: **Ok to Issue:**

- 1) HP Approval not required, as this is an interior alteration. However, HP staff recommends that a sample section of plaster ceiling be salvaged on site for potential future paint analysis should the current or future owner wish to replicate all or a portion of the decorative painting.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/07/2010

Note: **Ok to Issue:**

- 1) Separate use permits shall be required if the vacant space establishes a new use.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/13/2010

Note: **Ok to Issue:**

- 1) A separate permit is required for the installation of the new ceiling.
- 2) This is a demolition ONLY permit. It does NOT authorize any construction activities.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/13/2010

Note: **Ok to Issue:**

- 1) Permit is for demo only.
- 2) All means of egress to remain accessible at all times
- 3) Any cutting or welding and hot work taking place in a commercial building requires a separate "Hot Work Permit" from the Fire Department.

Comments:

1/8/2010-gg: received from historic on01/08/2010. /gg



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|--|---|
| Location/Address of Construction: <u>609 Congress Street</u> | | |
| Total Square Footage of Proposed Structure/Area <u>8,000</u> | Square Footage of Lot | Number of Stories |
| Tax Assessor's Chart, Block & Lot Chart# <u>046</u> Block# <u>D-031</u> Lot# <u>-001</u> <u>"STATE THEATRE"</u> | Applicant *must be owner, Lessee or Buyer* Name <u>StoneCoast Prop LLC</u> Address <u>142 High St.</u> City, State & Zip <u>Portland Me 04101</u> | Telephone: <u>OFFICE 772-1540</u> <u>CELL 632-5244</u> |
| Lessee/DBA (If Applicable) <u>N/A</u> | Owner (if different from Applicant) Name <u>N/A</u> Address <u>N/A</u> City, State & Zip | Cost Of Work: \$ <u>20,000</u> C of O Fee: \$ _____ Total Fee: \$ _____ |
| Current legal use (i.e. single family) <u>Vacant</u> Number of Residential Units <u>N/A</u> If vacant, what was the previous use? <u>Dance Hall/Live Entertainment</u> Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Demo + Remove 8,000 Sq' of Plaster Ceiling. Ready For New Replacement Ceiling - Permit + Drawing are in works.</u> | | |
| Contractor's name: <u>P+G Masonry</u> Address: <u>P.O. Box 729</u> City, State & Zip <u>Old Orchard Beach 04064</u> Telephone: <u>934-8584</u> Who should we contact when the permit is ready: <u>Terry Glidden</u> Telephone: <u>632-5244</u> Mailing address: _____ | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

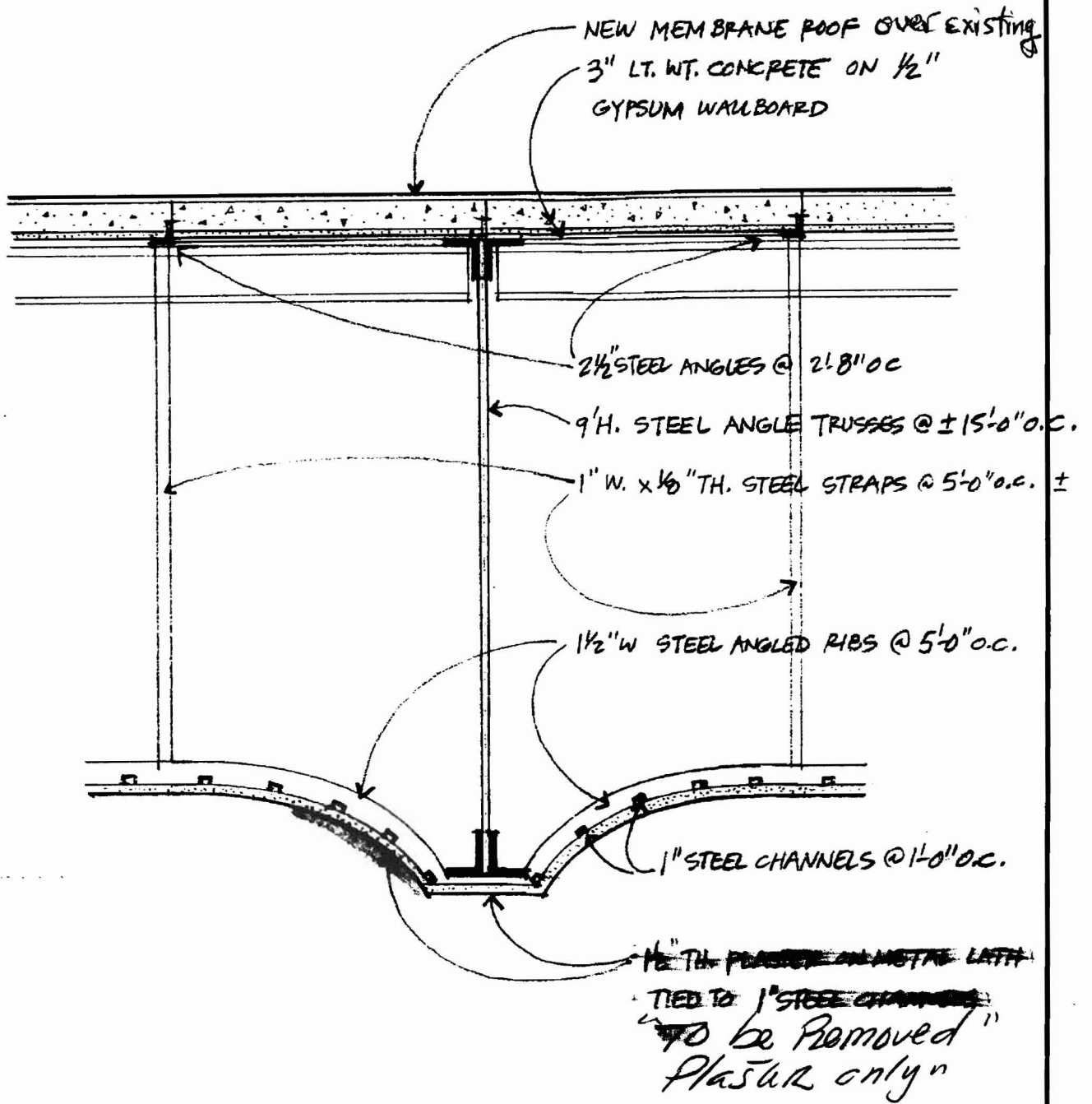
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Terry Glidden Date: 12/30/09

RECEIVED

This is not a permit; you may not commence ANY work until the permit is issued JAN - 6 2010



Project Title

STATE THEATER

Project Number

93006.01

Drawn By

SRS

Drawing Title

SECTION @ FLOOR/CEILING ASSEMBLY

Scale

NTC

Date

1.31.94

Jrcutt Simons, P.A.

100 Commercial St., Suite 410, Portland, ME 04101 207/772-8123 Fax 207/879-0773

Drawing Number

SK-B-1

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.

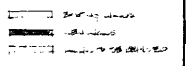
4. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.

5. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS PATHS AT ALL TIMES.

6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURE AND FINISHES NOT TO BE REMOVED.

8. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.



| No. | Description | Date |
|-----|-------------|------|
| | | |

STATE THEATER RENOVATIONS

TITLE ORCHESTRA LEVEL PLAN

Scale: 1/8" = 1'-0"
 Date: 10/15/93
 Drawn By: [Name]
 Checked By: [Name]
 Approved By: [Name]
 Project No: 5124

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

WORK AREA #1

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

WORK AREA #2

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

WORK AREA #3

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

WORK AREA #4

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

**ARE TO BE
 REPAIRS**

WORK AREA #1

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

REMOVE EXISTING WALLS AND REBUILD
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REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

WORK AREA #5

REMOVE EXISTING WALLS AND REBUILD
 WITH NEW WALLS. RECONSTRUCT
 THE LAYOUT OF EXISTING FLOOR PLAN
 WHERE NECESSARY. SEE NOTES
 FOR DETAILS OF CONSTRUCTION.

ORCHESTRA LEVEL PLAN

DATE: 10/15/93

B. Miller

1994

January 31, 1994

ORCUTT SIMONS

Architecture
Landscape Architecture
Interior Design
Planning

Mr. Stephen Dodge
State Fire Marshall
317 State Street
Augusta, ME. 04330

Re: State Theater, Portland

Dear Steve,

I am writing on behalf of the Owners of the State Theater on Congress Street in Portland to request your review of the Floor/Ceiling construction assembly above the Theater and its Fire Resistant Rating, for the purpose of opening the balcony seating area.

It is our understanding that the rating requirements are as follows:

For use of the main level and two levels above discharge, the entire theater must be sprinklered AND fire resistance requirements must be a minimum of 2.1.1. At the State Theater this rating would allow access to the entire theater, including the balcony seating area.

As reviewed with you last fall, the Theater was thought to be Type 3B Construction as per BOCA Section 404.3. Based on our recent observations, we believe it to be Type 3A Construction as per BOCA 404.2. The bearing walls are masonry, the floor construction is concrete slab and the roof trusses are steel with a 4" concrete deck above, part of a floor/ceiling assembly that has a one hour fire resistive rating, minimum. The entire Theater and ancillary spaces were sprinklered as part of the first phase of construction, which opened the main level of the Theater with approximately 900 seats. These sprinklers extend over the entire balcony area, including lobbies vestibules, etc.

We have surveyed the existing conditions of the Floor/Ceiling Assembly. A section detail detailing our observations is attached. We have also included photographs taken inside the assembly, for your information. Based on our review of UL Listed Assemblies of similar constructions (see attached), it is our opinion that the Floor/Ceiling Assembly Fire Resistive Rating exceeds the requirements of BOCA 404.2 for facilities of this type (Class A Assembly), and that the rating is sufficient to allow full access and use of the balcony seating area.

100 Commercial Street
Suite 410
Portland, Maine 04101

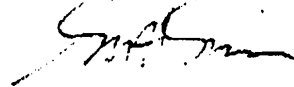
Telephone (207) 772 8123
Facsimile (207) 879 0773

ORCUTT SIMONS

We have instructed the Owner to repair any damaged areas of the assembly, to repair all four fire escapes as required by the local building inspector, and to install rated fire dampers at all penetrations. The Owner plans to provide approximately 603 bench-type seats at 18" wide each in the balcony area. This will bring the total occupancy of the Theater to 1,602 (999 + 603), making it a Class A Assembly space instead of Class B as it is currently classified. We will work with Lt. McDougal of the Portland Fire Department to establish acceptable seating capacities and arrangements.

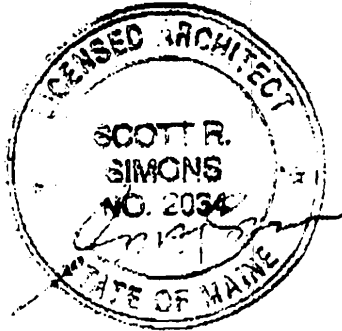
Please review this assembly and fire rating analysis at your earliest convenience and let us know if it is acceptable to you.

Thank you,



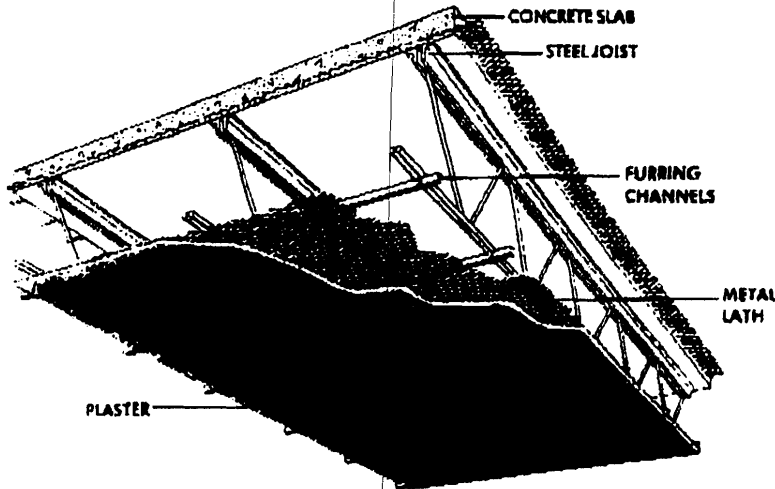
Scott Simons, Principal

cc: N. Kampf
L. Kampf
~~B. Miller~~
S. Hoffses
Lt. McDougal
Jobfile



FLOOR-CEILING ASSEMBLIES

Reinforced Concrete, Gypsum Concrete or Gypsum Tile on Steel Joists^u;
Minimum Joist Size^u: 10H3, Spaced 24 in. O.C.



| CEILING TYPE | DETAILS OF CONSTRUCTION | RATING |
|-----------------------|---|--------|
| None | 2 in. concrete thickness ^v on 3.4 lb. per sq. yd. metal lath. No ceiling. Concrete mix—1:2:4, by weight, portland cement-sand-siliceous aggregate. (Reference 64) | 5 min. |
| Plaster on Metal Lath | 2½ in. concrete thickness ^v on 3.4 lb. per sq. yd. metal lath, or 2½ in. thickness consisting of 2 in. of reinforced gypsum concrete slabs with ½ in. mortar cover. Ceiling of 1 in. gypsum-vermiculite plaster on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties spaced 5 in. O.C. Minimum joist size: 12H3. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2:4, portland cement-sand-aggregate, by weight; compressive strength—3000 psi. Plaster mix—2:1 or 3:1, gypsum-vermiculite. (Reference 9) | 4 hrs. |
| | 2 in. concrete thickness ^v on 3.4 lb. per sq. yd. metal lath, or 2¾ in. reinforced concrete plank with joints thoroughly grouted. Ceiling of 1 in. gypsum-vermiculite plaster (measured from face of lath) on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties spaced 5 in. O.C. Minimum joist size: 12H3. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2½:5, portland cement-sand-aggregate; compressive strength—3000 psi. Plaster mix—4:1, gypsum-vermiculite. (Reference 32) | 3 hrs. |

^uUnless otherwise specified

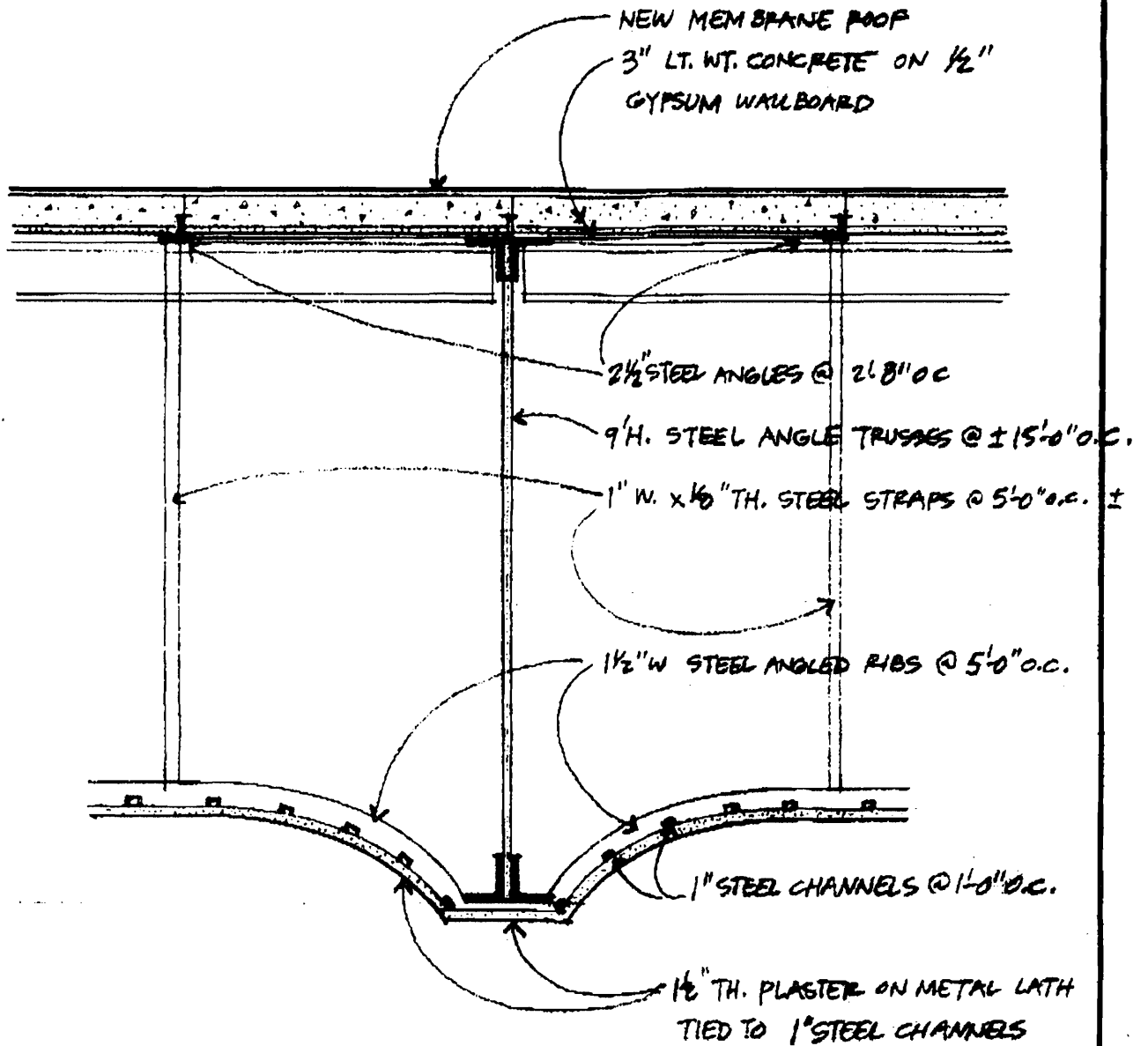
FIRE RESISTANCE RATINGS

FLOOR-CEILING ASSEMBLIES

Reinforced Concrete, Gypsum Concrete or Gypsum Tile on Steel Joists^u;
Minimum Joist Size^{*}: 10H3, Spaced 24 in. O.C. (Continued)

| CEILING TYPE | DETAILS OF CONSTRUCTION | RATING |
|--|---|----------------|
| <p>Plaster on Metal Lath (cont'd)</p> | <p>2½ in. concrete thickness^v on 3.4 lb. per sq. yd. metal lath, or 2½ in. thickness consisting of 2 in. of reinforced gypsum tile with ¼ in. mortar cover. Ceiling of 1 in., unsanded, wood-fibered gypsum plaster, or ¾ in. gypsum-vermiculite plaster, on ¾ lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties spaced 5 in. O.C. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2:4, by weight, portland cement-sand-aggregate; compressive strength—3000 psi. Vermiculite plaster mix—2:1 or 3:1, gypsum-vermiculite. (Reference 9)</p> | <p>3 hrs.</p> |
| <p>PROOF DECK CONSTRUCTION SIMILAR TO THIS</p> | <p>2¾ in. gypsum concrete on ¾ in. gypsum wallboard. Ceiling of ¾ in. gypsum-sand plaster on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties spaced 5 in. O.C. Minimum joist size: 8H3. Lower two-thirds (approximately 5½ in.) of joists encased in gypsum concrete; minimum cover to joists, 1 in. Gypsum wallboard placed on joist encasement and gypsum concrete poured so that upper one-third of joists is encased by floor slab. Concrete mix—7:1, by volume, gypsum-wood fiber. Plaster mix—1:1, gypsum-sand. (Reference 22)</p> | <p>3 hrs.</p> |
| <p>NO</p> | <p>2 in. concrete thickness^v on 3.4 lb. per sq. yd. metal lath, or 2¼ in. thickness consisting of 2 in. reinforced gypsum tile with ¼ in. mortar cover. Ceiling of 1 in., unsanded, wood-fibered gypsum plaster, or ¾ in. gypsum-vermiculite plaster, on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joist with 18 ga. wire ties spaced 5 in. O.C. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2:4, by weight, portland cement-sand-aggregate; compressive strength—3000 psi. Vermiculite plaster mix—2:1 or 3:1, gypsum-vermiculite. (Reference 9)</p> | <p>2½ hrs.</p> |
| <p>CEILING SIMILAR TO THIS</p> | <p>2¼ in. concrete thickness^v on 3.4 lb. per sq. yd. metal lath, or 2¼ in. thickness consisting of 2 in. reinforced gypsum tile with ¼ in. mortar cover. Ceiling of ¾ in. gypsum-sand plaster on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties spaced 5 in. O.C. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2:4, by weight, portland cement-sand-aggregate; compressive strength—3000 psi. Plaster applied in two coats—scratch coat, 1:2, and brown coat, 1:3, gypsum-sand. (Reference 9)</p> | <p>2 hrs.</p> |
| <p>?</p> | <p>2 in. concrete thickness^v on 3.4 lb. per sq. yd. metal lath, or 2 in. reinforced gypsum tile. Ceiling of 3.4 in. gypsum- or portland cement-sand plaster on 3.4 lb. per sq. yd. metal lath tied to bottom chords of joists with 18 ga. wire ties 5 in. O.C. Concrete aggregate may be trap rock, siliceous or calcareous gravel, or limestone. Concrete mix—1:2:4, by weight, portland cement-sand-aggregate; compressive strength—3000 psi. Plaster applied in two coats—scratch coat, 1:2, and brown coat, 1:3, gypsum- or portland cement-sand; when portland cement-sand plaster is used, 3 lbs. asbestos fiber and 15 lbs. hydrated lime added per bag of portland cement. (Reference 8)</p> | <p>1½ hrs.</p> |
| <p>[*]Unless otherwise specified.</p> | | |

only
1 hr.
req'd for
State
Theater



| | | | | | |
|--|----------------------------------|----------------|----------|----------------|---------|
| Project Title | STATE THEATER | Project Number | 93006.01 | Drawn By | SRS |
| Drawing Title | SECTION @ FLOOR/CEILING ASSEMBLY | | | Scale | NTC |
| | | | | Date | 1.31.94 |
| Orcutt Simons, P.A. 100 Commercial St., Suite 410, Portland, ME 04101 207/772-8123 Fax 207/879-0773 | | | | Drawing Number | SK-B-1 |



State Theater, Portland, Maine

EXISTING FLOOR/CEILING ASSEMBLY

