

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED JUL 27 2006 Permit Number: 061028 CITY OF PORTLAND

This is to certify that STONE COAST PROPERTIES LLC/TBD has permission to Commercial/ Demolition of deteriorated fire escape reconstruction of new fire escape stairs w in same footprint AT 603 CONGRESS ST L 046 D031001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Signature of Director - Building & Inspection Services dated 7/26/06

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1028	Issue Date: <b>PERMIT ISSUED</b> JUL 27 2006	046 0031001
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Location of Construction: 603 CONGRESS ST	Owner Name: STONE COAST PROPERTIES LL	Owner Address: PO BOX 4152	Phone: 207 874 1005
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Commercial - <i>Stark Theater</i>	Proposed Use: Commercial/ Demolition of Deteriorated Fire Escape reconstruction of new fire escape stairs w/ in same footprint	Permit Fee: \$1,570.00	Cost of Work: \$155,000.00	CEO District: 2
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>SF MO Approval Rec'd</i>	INSPECTION: Use Group: <i>A1</i> Type: <i>3B</i> <i>- Fire Escape</i> <i>7/26/06</i>
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Proposed Project Description:  
Commercial/ Demolition of Deteriorated Fire Escape reconstruction of new fire escape stairs w/ in same footprint

Signature: *Greg Cass* Signature: *[Signature]*  
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Idobson	Date Applied For: 07/13/2006	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/19/06</i> <i>APB</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>7/21/06</i> <i>D. Andrews</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1028	<b>Date Applied For:</b> 07/13/2006	<b>CBL:</b> 046 D031001
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<b>Location of Construction:</b> 603 CONGRESS ST	<b>Owner Name:</b> STONE COAST PROPERTIES LL	<b>Owner Address:</b> PO BOX 4152	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial/ Demolition of Deteriorated Fire Escape reconstruction of new fire escape stairs w/ in same footprint	<b>Proposed Project Description:</b> Commercial/ Demolition of Deteriorated Fire Escape reconstruction of new fire escape stairs w/ in same footprint
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**Dept:** Historical      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 07/21/2006

**Note:** **Ok to Issue:**

- 1) \* Fire escape to be painted black.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/19/2006

**Note:** **Ok to Issue:**

- 1) This permit is being approved with the understanding that the new fire escape will be within the footprint of the existing one.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 07/26/2006

**Note:** **Ok to Issue:**

- 1) Engineer's Special inspections report must include the fastening of the fire escape to the building and associated steel , bolts epoxy etc.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:**

**Note:** **Ok to Issue:**

- 1) Application requires State Fire Marshal approval.



**State of Maine**  
**Department of Public Safety**  
**Construction Permit**



**Not  
Reviewed  
for Barrier  
Free**

**# 15638**

**Sprinkled  
Sprinkler Supervised**

**STATE THEATER REPLACEMENT FIRE ESCAPES**

Located at: 609 CONGRESS ST.

**PORTLAND**

Occupancy/Use: ASSEMBLY CLASS A

**Permission is hereby given to:**

**STONE CONST. PROPERTIES LLC**

**PO BOX 4152  
PORTLAND, ME 04101**

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 29 th of Septemb 2006*

Dated the 30 th day of March A.D. 2006

Commissioner

**Copy-2 Architect**

Comments:

**ASSOCIATED DESIGN PARTNERS**

**80 LEIGHTON RD.  
FALMOUTH, ME 04105**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>609 CONGRESS ST</u>		
Total Square Footage of Proposed Structure <u>920 SF STAIRS &amp; LANDINGS</u>	Square Footage of Lot <u>4745 PER TAX MAP</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>046</u> Block# <u>D</u> Lot# <u>33, 34</u> <u>32, 38</u>	Owner: <u>STONE COAST PROPERTIES, LLC</u>	Telephone: <u>772-1540</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ARON WILSON</u> <u>ASSOCIATED DESIGN PARTNERS</u> <u>80 LEIGHTON RD</u> <u>FALMOUTH ME 04105</u> <u>878-1751</u>	Cost Of Work: \$ <u>155,000</u> Fee: \$ <u>1,416</u> C of O Fee: \$ _____
Current Specific use: <u>ASSEMBLY (State Theater)</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>ASSEMBLY</u>		
Project description: <u>DEMOLITION OF DETERIORATED FIRE ESCAPE STAIRS.</u> <u>RECONSTRUCTION OF NEW FIRE ESCAPE STAIRS W/IN SAME</u> <u>FOOT PRINT.</u>		
Contractor's name, address & telephone: <u>T.B.D.</u>		
Who should we contact when the permit is ready: <u>KELLY SAWYER</u> Mailing address: _____ Phone: <u>772-1540</u> <u>P.O. BOX 4152</u> OR <u>PORTLAND ME</u> <u>ARON WILSON AT 878-1751</u> <u>04101</u>		

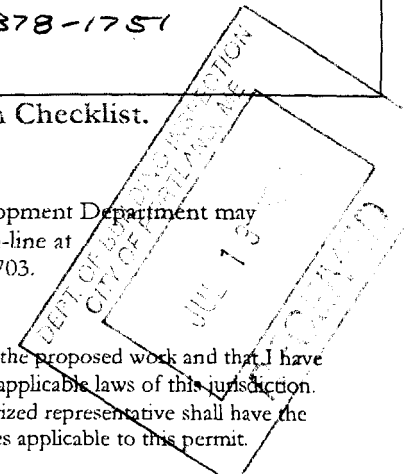
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date: 3-30-06



This is not a permit; you may not commence ANY work until the permit is issued.

April 7<sup>th</sup>, 2006

05247

Mike Nugent  
Code Enforcement Officer-City of Portland  
389 Congress St. Room 315  
Portland, Maine 04101

RE: Replacement of Exterior Fire Escape Stairs – Permit Application  
State Theater Building Portland, Maine

Dear Mr. Nugent,

The following is a brief project description for the demolition and replacement of the exterior steel fire escape stairs servicing the State Theater at 609 Congress st.

The Work involves the removal and re-construction of multiple exterior fire escape stairs as indicated on the Drawings. Work includes but is not limited to, demolition, minor earthwork, minor site work, and paving. Work also includes concrete foundations (and alternate #1 slab-on-grade reconstruction w/ radiant tubing in the courtyard space), steel stair structures, metal fabrications, and minor masonry re-pointing.

The stairs at the High St. alley incorporate the standard 7" max rise and 11" min tread, and will be painted black per the historical preservation department request. The stairs within the courtyard area incorporate a 9" max rise and 10" min tread as allowed per NFPA 7.2.8 and IBC 3403.4 for replacement of existing stairs. We are forced to use a steeper stair profile at the courtyard because the area is bound on 4 sides by building walls, and a 7" rise / 11" run would not physically fit within the courtyard space. The state fire marshal has recognized this constraint and approved the design of the replacement stairs as depicted on the drawings.

Attached are the building permit application forms, reduced drawings (not to scale), and a CD with pdf files of the drawings. Please call if you have any questions.

Sincerely,

Aaron S. Wilson, P.E.  
Structural Engineer  
Associated Design Partners, Inc

asw

Cc: Kelley Sawyer, Stone Coast Properties LLC.

**STATEMENT OF SPECIAL INSPECTIONS**

**PROJECT: State Theater Replacement Fire Escape Stairs  
Portland, Maine**

**PERMIT APPLICANT: Associated Design Partners, Inc  
APPLICANT'S ADDRESS: 80 Leighton Rd, Falmouth ME 04105**

**STRUCTURAL ENGINEER OF RECORD: Associated Design Partners, Inc**

**CONTRACTOR: TBD**

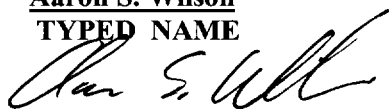
**This statement of Special Inspections is submitted in accordance with Section 1704.0 of the 2003 International Building Code. It includes a listing of special inspections applicable to this project, as well as the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.**

**The Special Inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.**

**Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed.**

**Prepared By:**

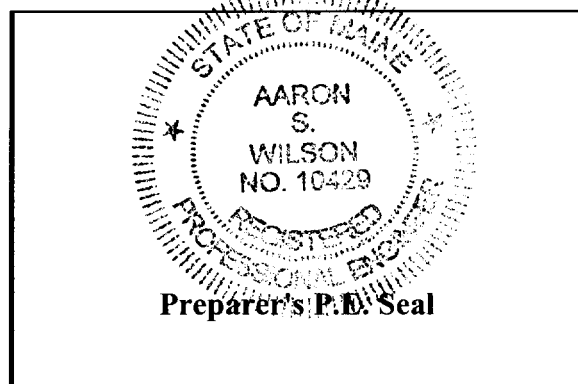
**Aaron S. Wilson  
TYPED NAME**



**SIGNATURE**

**3-31-06**

**DATE**



**Applicant's Authorization**



**SIGNATURE**

**6-12-2006  
DATE**



# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- N.A.  Detail of any new walls or permanent partitions
- Floor plans and elevations
- N.A.  Window and door schedules
- N.A.  Complete electrical and plumbing layout.
- N.A.  Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- N.A.  Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- N.A.  *NO INCREASE IN BUILDING FOOTPRINT.*  
The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines.
- N.A.  Location and dimensions of parking areas and driveways, street spaces and building frontage

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$9.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**





CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: AARON S. WILSON

RE: Certificate of Design

DATE: 3-30-06

These plans and / or specifications covering construction work on:

609 CONGRESS ST., I.E. THE STATE THEATER

REPLACEMENT FIRE ESCAPE STAIRS

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: Aaron S. Swaleon

Title: STRUCTURAL ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD  
FALMOUTH ME 04105



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: AARON S. WILSON

Address of Project: 609 CONGRESS ST

Nature of Project: REPLACEMENT EXTERIOR FIRE

ESCAPE STAIRS

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: [Handwritten Signature]

Title: STRUCTURAL ENGINEER

Firm: ASSOCIATE DESIGN PARTNERS INC.

Address: 80 LEIGHTON RD, FALMOUTH ME  
04105

Phone: 878-1751

**NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.**

FROM DESIGNER: ARRON S. WILSON

DATE: 3-30-06

Job Name: STATE THEATER REPLACEMENT FIRE ESCAPES

Address of Construction: 609 CONGRESS ST.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) ASSEMBLY A-1

Type of Construction III

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Y

Is the Structure mixed use? N if yes, separated or non separated (see Section 302.3)

Supervisory alarm system? Y Geotechnical/Soils report required? (See Section 1802.2) N

STRUCTURAL DESIGN CALCULATIONS

✓ Submitted for all structural members (1003.7, 1003.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1803)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>ASSEMBLY</u>	<u>LL = 100 PSF</u>
_____	_____
_____	_____
_____	_____

Wind loads (1803.1.4, 1808)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)

100 Basic wind speed (1809.3)

1.0 Building category and wind importance factor,  $I_w$  (Table 1804.5, 1609.5)

B Wind exposure category (1809.4)

0.00 OPEN STRUCTURE internal pressure coefficient (ASCE 7)

+18 PSF Component and cladding pressures (1809.1.1, 1809.5.2.2)

+15.9 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earthquake design data (1808.1.5, 1614-1623)

N.A. Design option utilized (1614.1)

\_\_\_\_\_ Seismic use group ("Category") (Table 1604.5, 1616.2)

\_\_\_\_\_ Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1615.1)

↓ Site class (1615.1.5)

NONE

Live load reduction (1803.1.1, 1807.8, 1607.10)

N.A.

NO ROOFS Roof live loads (1803.1.2, 1607.11)

Roof snow loads (7603.7.3, 1808)

60

Ground snow load,  $P_g$  (1608.2)

50

If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1808.3)

1.0

If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1808.3.1)

1.0

If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1804.5)

1.2

Roof thermal factor,  $C_t$  (Table 1808.3.2)

N.A.

Sloped roof snowload,  $P_s$  (1808.4)

N.A.

Seismic design category (1616.3)

Basic seismic-force-resisting system (Table 1617.5.2)

Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.5.2)

Analysis procedure (1616.6, 1617.5)

Y Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

NO

Floodhazard area (1612.3)

\_\_\_\_\_

Elevation of structure

Other loads

NA

Concentrated loads (1607.4)

\_\_\_\_\_

Partition loads (1607.5)

\_\_\_\_\_

Impact loads (1607.8)

Y

Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

EARTHQUAKE DESIGN NOT REQ'D IF LATERAL FORCE FROM ALTERATION IS LESS THAN 5% INCREASE. IBC 3403.2

## CHAPTER 34

# EXISTING STRUCTURES

### [EB] SECTION 3401 GENERAL

**3401.1 Scope.** The provisions of this chapter shall control the alteration, repair, addition and change of occupancy of existing structures.

**Exception:** Existing bleachers, grandstands and folding and telescopic seating shall comply with ICC 300-02.

**3401.2 Maintenance.** Buildings and structures, and parts thereof, shall be maintained in a safe and sanitary condition. Devices or safeguards which are required by this code shall be maintained in conformance with the code edition under which installed. The owner or the owner's designated agent shall be responsible for the maintenance of buildings and structures. To determine compliance with this subsection, the building official shall have the authority to require a building or structure to be reinspected. The requirements of this chapter shall not provide the basis for removal or abrogation of fire protection and safety systems and devices in existing structures.

**3401.3 Compliance with other codes.** Alterations, repairs, additions and changes of occupancy to existing structures shall comply with the provisions for alterations, repairs, additions and changes of occupancy in the *International Fire Code*, *International Fuel Gas Code*, *International Plumbing Code*, *International Property Maintenance Code*, *International Private Sewage Disposal Code*, *International Mechanical Code*, *International Residential Code* and *ICC Electrical Code*.

### [EB] SECTION 3402 DEFINITIONS

**3402.1 Definitions.** The following term shall, for the purposes of this chapter and as used elsewhere in the code, have the following meaning:

**TECHNICALLY INFEASIBLE.** An alteration of a building or a facility that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features which are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

### [EB] SECTION 3403 ADDITIONS, ALTERATIONS OR REPAIRS

**3403.1 Existing buildings or structures.** Additions or alterations to any building or structure shall conform with the requirements of the code for new construction. Additions or alterations shall not be made to an existing building or structure which will cause the existing building or structure to be in violation of any provisions of this code. An existing building plus additions shall comply with the height and area provisions of

Chapter 5. Portions of the structure not altered and not affected by the alteration are not required to comply with the code requirements for a new structure.

**Exception:** For buildings and structures in flood hazard areas established in Section 1612.3, any additions, alterations or repairs that constitute substantial improvement of the existing structure, as defined in Section 1612.2, shall comply with the flood design requirements for new construction and all aspects of the existing structure shall be brought into compliance with the requirements for new construction for flood design.

**3403.2 Structural.** Additions or alterations to an existing structure shall not increase the force in any structural element by more than 5 percent, unless the increased forces on the element are still in compliance with the code for new structures, nor shall the strength of any structural element be decreased to less than that required by this code for new structures. Where repairs are made to structural elements of an existing building, and uncovered structural elements are found to be unsound or otherwise structurally deficient, such elements shall be made to conform to the requirements for new structures.

**3403.2.1 Existing live load.** Where an existing structure heretofore is altered or repaired, the minimum design loads for the structure shall be the loads applicable at the time of erection, provided that public safety is not endangered thereby.

**3403.2.2 Live load reduction.** If the approved live load is less than required by Section 1607, the areas designed for the reduced live load shall be posted in with the approved load. Placards shall be of an approved design.

**3403.3 Nonstructural.** Nonstructural alterations or repairs to an existing building or structure are permitted to be made of the same materials of which the building or structure is constructed, provided that they do not adversely affect any structural member or the fire-resistance rating of any part of the building or structure.

**3403.4 Stairways.** An alteration or the replacement of an existing stairway in an existing structure shall not be required to comply with the requirements of a new stairway as outlined in Section 1009 where the existing space and construction will not allow a reduction in pitch or slope.

### [EB] SECTION 3404 FIRE ESCAPES

**3404.1 Where permitted.** Fire escapes shall be permitted only as provided for in Sections 3404.1.1 through 3404.1.4.

**3404.1.1 New buildings.** Fire escapes shall not constitute any part of the required means of egress in new buildings.

**3404.1.2 Existing fire escapes.** Existing fire escapes shall be continued to be accepted as a component in the means of egress in existing buildings only.



**STATEMENT OF SPECIAL INSPECTIONS**

**PROJECT: State Theater Replacement Fire Escape Stairs  
Portland, Maine**

**PERMIT APPLICANT: Associated Design Partners, Inc  
APPLICANT'S ADDRESS: 80 Leighton Rd, Falmouth ME 04105**

**STRUCTURAL ENGINEER OF RECORD: Associated Design Partners, Inc**

**CONTRACTOR: TBD**

**This statement of Special Inspections is submitted in accordance with Section 1704.0 of the 2003 International Building Code. It includes a listing of special inspections applicable to this project, as well as the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.**

**The Special Inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.**

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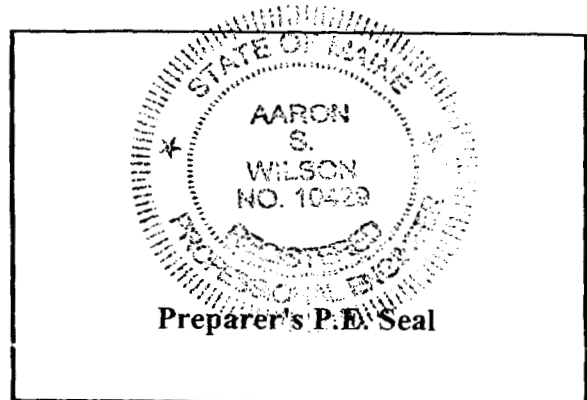
**Prepared By:**

**Aaron S. Wilson  
TYPED NAME**

**SIGNATURE**

**3-31-06**

**DATE**



**Applicant's Authorization**

**SIGNATURE**

**DATE**

**LIST OF AGENTS**

**PROJECT: State Theater Replacement Fire Escape Stairs  
Portland, Maine**

**STRUCTURAL ENGINEER OF RECORD: Associated Design Partners, Inc  
80 Leighton Rd  
Falmouth, Maine 04105**

**ARCHITECT OF RECORD: N.A**

**Following is the List of Agents selected for performance of Special Inspections for this project.**

	<u><b>FIRM</b></u>
<b>1. Special Construction Monitor</b>	<b>Associated Design Partners, Inc</b>
<b>2. Testing Laboratory</b>	<b>S.W. Cole Engineering Inc.</b>
<b>3. Engineer of Record</b>	<b>Associated Design Partners, Inc.</b>

**TABLE 1 - STATEMENT OF SPECIAL INSPECTIONS**

MATERIAL/ACTIVITY	EXTENT OF INSPECTION (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.3 STEEL CONSTRUCTION</b>					
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Periodic	1		
	b. Manufacturers Certificate of Compliance required.	Periodic	1		
2. Inspection of High - Strength Bolting	a. Bearing type connections	Periodic			
	b. Slip - critical connections	None	1		
3. Material Verification of structural steel	a. Identification marking to conform to ASTM standards specified in the contract documents.	All			
	b. Manufacturers certified mill test Reports.	Exempt			
4. Material Verification of weld filler materials:	a. Identification marking to conform to ASTM standards specified in the contract documents.	All			
	b. Manufacturers Certificate of Compliance required.	Exempt			
5. Inspection of Welding - Structural Steel	a. Single Pass fillet welds < 5/16"	None			
	b. Floor and deck welds	None			
6. Inspection of Steel Frame Joint details for compliance with approved construction documents.	a. Bracing connections	Periodic	1		
	b. Member locations	Periodic	1		
	c. Application of joint details at each connection.	Periodic	1		

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.4 CONCRETE CONSTRUCTION					
1. Inspection of reinforcing steel, including placement.	Periodic		1		
2. Inspection of reinforcing steel welding	Exempt	No welding of reinforcing in project			
3. Inspect bolts embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	None	Allowable loads have not been increased for lateral loads.			
4. Verify use of required concrete mix design(s)	Periodic	SER review and approve mix design prior to installation. Verify delivery ticket matches approved mix design.	1,2		
5. Sample fresh concrete for strength tests, perform slump and air content tests, and determine temperature of concrete.	Continuous		2		
6. Inspection of concrete placement for proper techniques.	Continuous		2		
7. Inspection for maintenance of specified curing temperature and techniques.	Periodic		1		



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Kelly R. Jany  
Signature of Applicant/Designee

7-27-06

Date

[Signature]  
Signature of Inspections Official

7-27-06

Date

CBL: 46 D31

Building Permit #: 00-1028