

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 030046

This is to certify that Congress Property Llc/Eric I. Strom
has permission to Construct a Bar, Cabinets, 1/2 Wall Partitions and Repair Stairs to Basement.
AT 693 Congress St Portland, OR 97204 046 D031001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is leased or occupied. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0046	Issue Date:	CBL: 046 D031001
-----------------------	-------------	---------------------

Location of Construction: 603 Congress St <i>617 Congress St</i>		Owner Name: Congress Property Llc	Owner Address: 44 Elm St	Phone: <i>749-2232</i>
Business Name:	Contractor Name: Eric Lindstrom		Contractor Address: P.O. Box 8491 Portland	Phone: 2077497326
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial		Zone: <i>B-3</i>

Past Use: Restaurant	Proposed Use: Restaurant	Permit Fee: \$79.00	Cost of Work: \$8,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>A-3</i> Type: <i>NA</i> <i>1/30/03</i>	

Proposed Project Description: Construct a Bar, Cabinets, 1/2 Wall Partitions and Repair Stairs to Basement.	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: gad	Date Applied For: 01/21/2003	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>01/20/03</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
---	---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

03-0040

All Purpose Building Permit Application

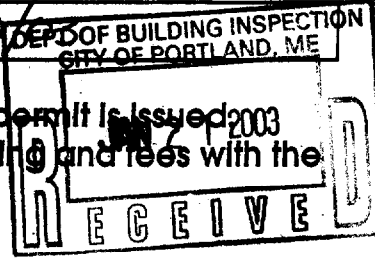
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>003-617 CONGRESS ST</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>046 D 031</u>	Owner: <u>CONGRESS PROPERTY, LLC</u>	Telephone:
Lessee/Buyer's Name (if Applicable) <u>NORM JABAR</u>	Applicant name, address & telephone: <u>749-2232</u>	Cost Of Work: \$ <u>8,000</u> Fee: \$ <u>7900</u>
Current use: <u>RESTAURANT</u>		
If the location is currently vacant, what was prior use: <u>SAME</u>		
Approximately how long has it been vacant: <u>6 MONTHS ±</u>		
Proposed use: <u>RESTAURANT</u>		
Project description: <u>BUILD BAR, CABINETS, 1/2 WALL PARTITIONS, REPAIR STAIR TO BASEMENT</u>		
Contractor's name, address & telephone: <u>ERIC A. LINDSTROM (207) 749-7326</u> <u>P.O. BOX 8491</u> <u>PORTLAND, ME 04104</u>		
Who should we contact when the permit is ready: _____		
Mailing address: <u>SAME AS ABOVE, PLEASE CALL ASAP. THANKS.</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>749-7326</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Eric A. Lindstrom</u>	Date: <u>1/8/2003</u>
--	-----------------------



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

RENOVATIONS PROPOSED FOR 617 CONGRESS ST

"NORM'S DOWNTOWN" RESTAURANT

CARPENTER / SUBMITTED BY:

ERIC A. LINDSTROM
P.O. BOX 8491
PORTLAND, ME 04104

CELL PHONE (207) 749-7326

PROJECT DESCRIPTION:

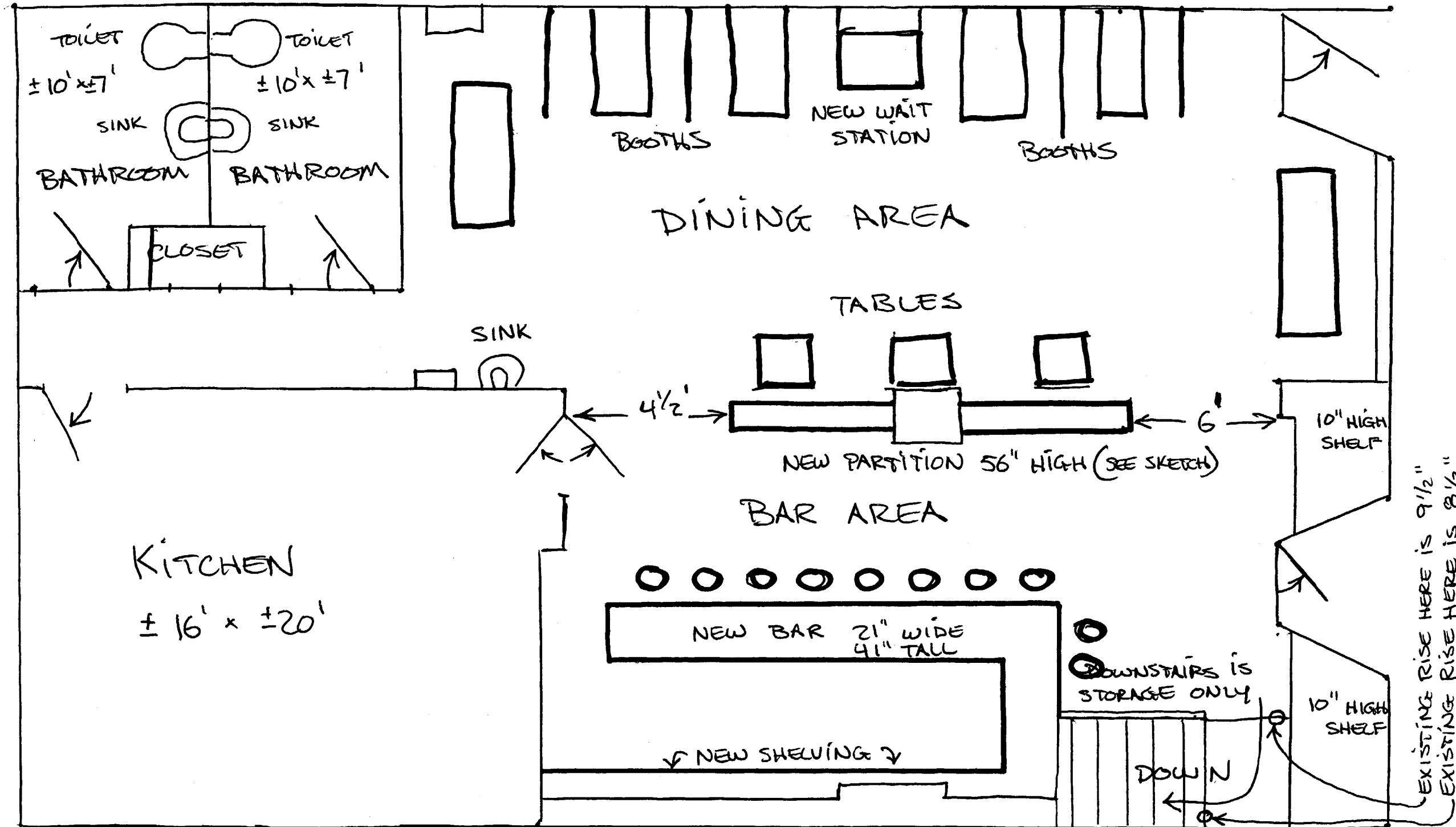
BUILD NEW BAR, CABINETS, SHELVING,
56" HIGH PARTITION WALL, RE-TREAD
STAIRS TO BASEMENT.

JANUARY 2003

FLOOR PLAN FOR PROPOSED RENOVATIONS FOR THE RESTAURANT

AT 617 CONGRESS ST, PORTLAND, ME

JANUARY 2003



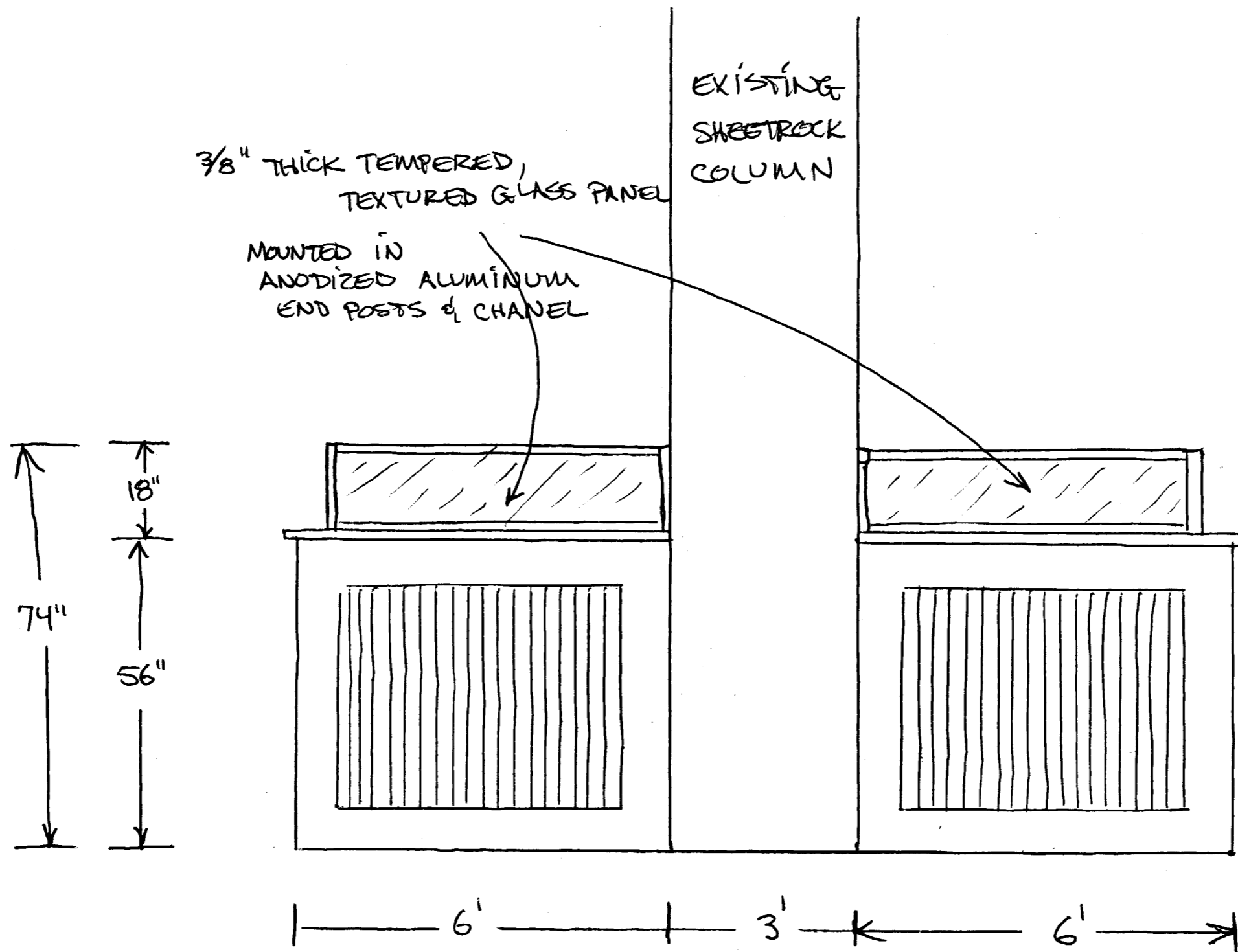
#617 CONGRESS STREET

RESTAURANT RENOVATIONS TO INTERIOR AT
617 CONGRESS ST.
PORTLAND, ME

SCALE 1" = □

EXISTING RISE 7 1/2" - 7 5/8"
EXISTING TREAD ± 9" - 9 1/8"
TRENDS TO BE REPLACED
w/ 7/8" PINE TRENDS

E.C.F.



3/8" THICK TEMPERED,
TEXTURED GLASS PANEL
MOUNTED IN
ANODIZED ALUMINUM
END POSTS & CHANNEL

EXISTING
SHEETROCK
COLUMN

WALL IS 8" THICK:

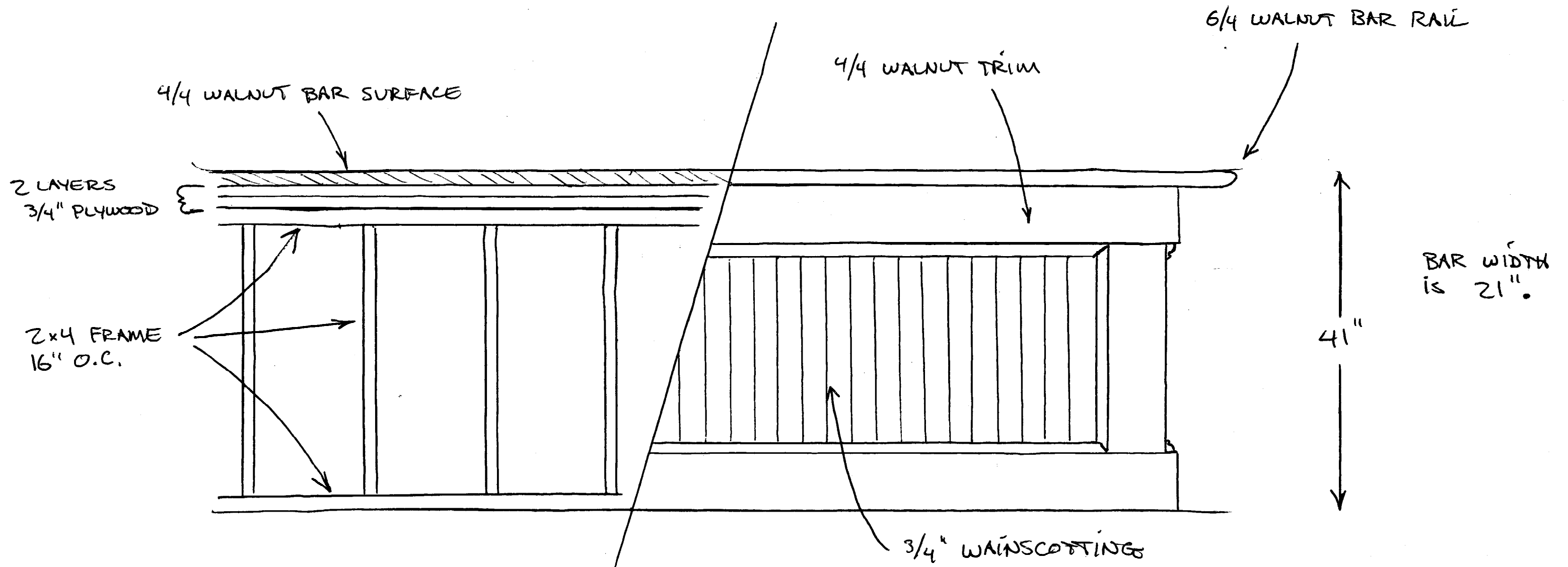
- 2x6 FRAMING - 16" O.C.
- BOLTED TO FLOOR
- COVERED W/ 3/4" WAINSCOTTING
- TRIM: 1/4" WALNUT

NEW CENTER PARTITION
CONSTRUCTION DETAIL

SCALE $\square = 6"$

RESTAURANT RENOVATIONS TO
617 CONGRESS STREET
PORTLAND, MAINE

JAN '03
EJF.



NEW SERVICE BAR
CONSTRUCTION DETAIL

SCALE □ = 3"

RESTAURANT RENOVATIONS
617 CONGRESS ST
PORTLAND, MAINE

JANUARY 2003

E.A.S.