

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 030205

PERMIT

This is to certify that Atlantic Foundation /n/a
has permission to Amendment to permit # 030205
AT 625 Congress St 046 D028001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 4/17/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0205	Issue Date:	CBL: 046 D028001
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Location of Construction: 625 Congress St	Owner Name: Atlantic Foundation	Owner Address: 59 Longfellow Dr	Phone: 207-632-2034
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Amendment to Commercial	Zone: B3

Past Use: Commercial / Class A Lounge	Proposed Use: Class A Lounge / Amendment to permit # 030099 for interior alterations which included decking on floor towards stage.	Permit Fee: \$72.00	Cost of Work: \$6,725.00	CEO District: 2
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Proposed Project Description: Amendment to permit # 030099.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A2 Type: 3B
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: gg	Date Applied For: 03/17/2003	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>OK 3/19/03</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	<p><i>All original conditions still in force</i></p>		<p><i>exterior. Any alterations requires A separate plan</i></p>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

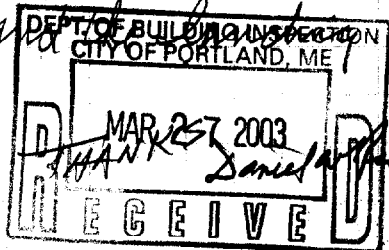
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3-27-3

to Mike Nugent
Chief of Inspection Services
City of Portland
Portland Maine

from DANIEL W REED
CONGRESS HALL
627 CONGRESS ST
207-632-2034

I hereby formally request a waiver of code(s) regarding staircases with regards to a new¹ ^{CELLAR} staircase at 627 Congress St. The original stair to the cellar was accessible only through a 2' x 9" doorway and the treads ran perpendicular to the access door with no landing - hence a very dangerous set-up. The new stairs have only a 9' run because of existing structural I-BEAM supporting the 1st Floor and therefore the rise is 8" and the run is 9 1/4". The access door is 2' x 6" and on the cellar floor is 42".



Lincoln/Haney Engineering Associates, Inc.

Structural Engineering Consultants

Peter L. Lincoln, P.E.
William D. Haney, P.E.
Donald A. Bragdon (1945-93)

April 8, 2003

Mr. Dan Reed



MN # 030205
046 D 028

Dear Dan:

At your request, Lincoln/Haney Engineering Associates has reviewed certain aspects of the framing for the property at 625 Congress Street in Portland, Maine. Our scope of work is limited to the items discussed below. Our information is based upon sketches you've supplied our office and a trip to the site on April 8, 2003.

Existing 2nd Floor-

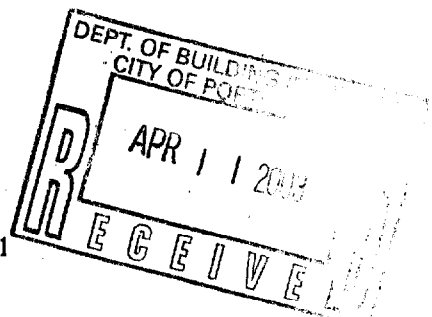
Framing consists of 2x10 floor joists at 12" on center with two 12' +/- spans. The center support is a 10" deep steel wide flange beam. The support along Congress Street is a CMU wall or header over storefront glass. The header was not accessible for field measurement. It was not reviewed. The support away from Congress Street is a wood stud wall. The observed framing components have a minimum live load capacity of 104 pounds per square foot (psf). The required live load capacity for Public Rooms/Dining Rooms/Restaurants per the current BOCA or IBC codes is 100 psf. The framing appears to be adequate.

New Sound Deck-

Per your input, the sound deck area is intended for limited employee access. Your desire is to review the framing to ensure it provides for a 50 psf live load capacity. Framing consists of 2x6 floor joists at 16" on center with 6' +/- spans with joist hangers at both ends. At one end, 2x6's are supported off of a 2x8 header nailed into the 2x10 rim joists for the second floor framing discussed above. At the other end the 2x6's are supported off of a double 2x8 beam spanning 8' +/- between 4x4 wood posts that rest atop the concrete slab on grade. The deck surface is 8'-8" +/- above the slab surface. Lincoln/Haney wants to see a 2x4 added to the face of each of the 4x4 posts to provide direct support for both of the layers of the double 2x8 beam. Refer to the sketches supplied with this letter. With this modification, the observed framing components have a minimum live load capacity in excess of the 50 psf rating desired.

Stairs-

6 Federal Street, Brunswick, Maine 04011
(207) 729-1061 FAX (207) 729-2941



Per your request, we have reviewed three stairs. Our review is limited to the capacity of the stair stringers and any other major framing components. We offer no input on items such as handrails or stair tread/riser arrangements. The code required live load capacity for stairs is 100 psf.

The new stair from the main to second floors has 4-1-3/4x14 LVL stringers spaced about 14-1/2" apart. Tops of the stringers frame to the web of a 10" deep wide flange steel beam. Bottoms of stringers sit atop concrete slab on grade. Stair framing capacity meets the code live load requirement. Lincoln/Haney wants to see the base of the outboard pair of stringers anchored to the floor slab.

The rebuilt stair from the main to second floors has 1-1-3/4x14 LVL stringer. The top of the stringer is currently supported on a 2x6 header at the original stair landing level. The bottom of the stringer sits atop the concrete slab on grade. 2x12's supported directly off of wood stud walls support the sides of the stair. To meet the code live load requirement, Lincoln/Haney wants to add an additional 2x6 header below the top of the LVL stringer and wants the ends of the 2x6 headers supported per the attached sketches.

The new stair for the cellar to first floors has 3-1-3/4x14 LVL stringers spaced about 19" apart. The tops of the stringers are notched and sit atop wood blocking over a wide flange steel beam. Bottoms of stringers sit atop concrete slab on grade. The tops of the LVL stringers have been notched to a depth of only 4" +/- . Given this, Lincoln/Haney wants to see the upper ends of each of the LVL stringers posted directly to the cellar floor slab. Lincoln/Haney also wants to see the base of the outboard pair of LVL stringers anchored to the floor slab.

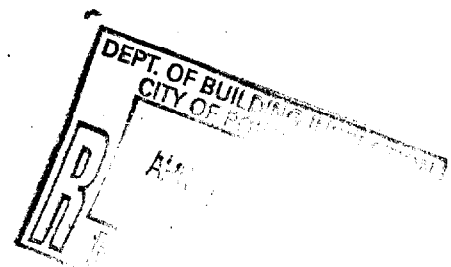
Should there be any questions about these observations please do not hesitate to contact my office. Thank you.

Sincerely,

Lincoln/Haney Engineering Associates, Inc.

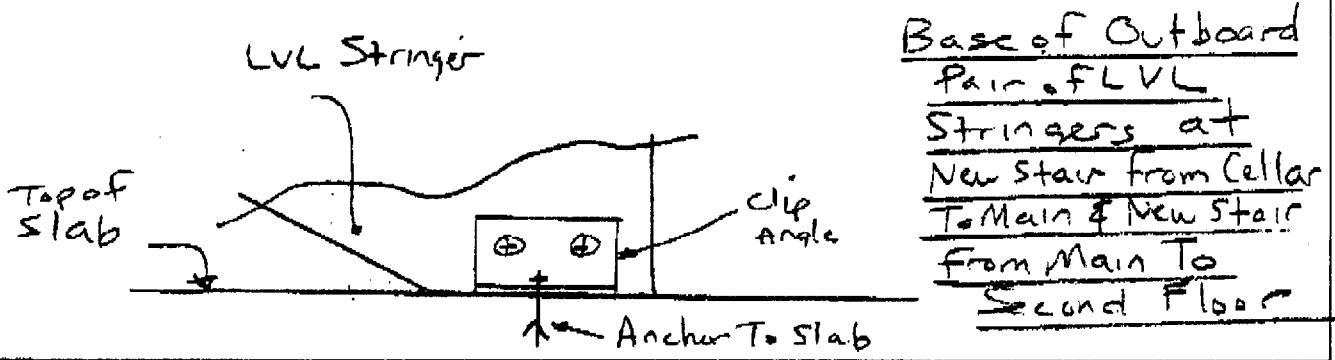
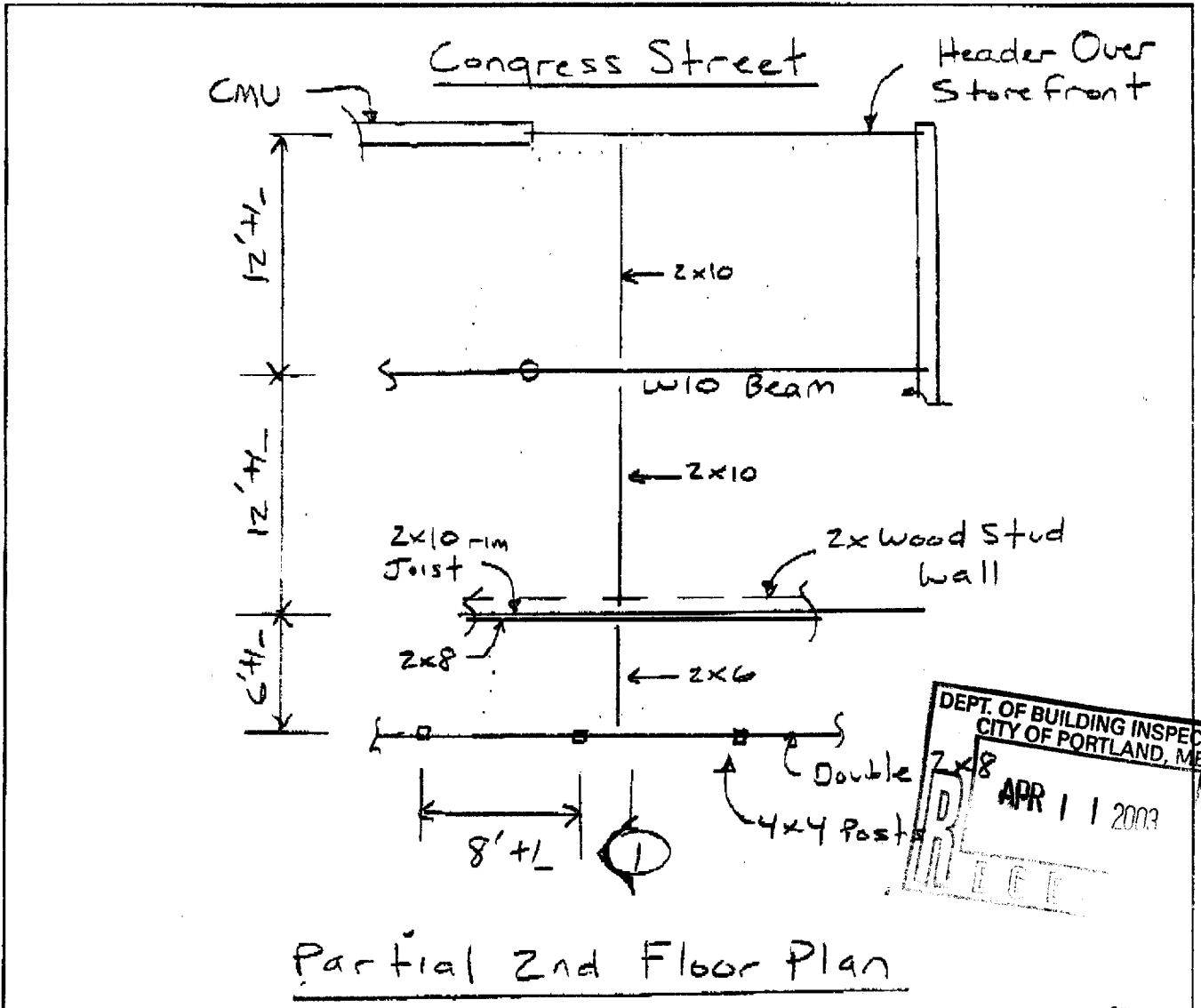


James P. Curley, P.E.



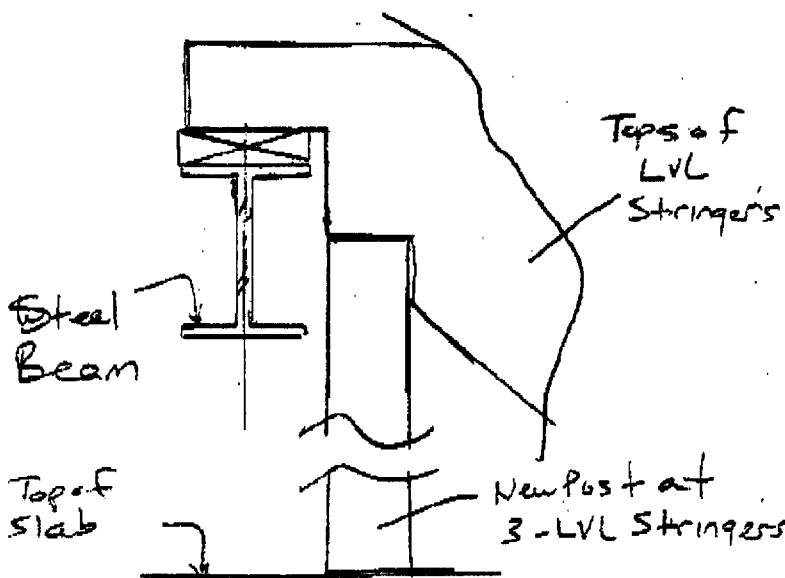
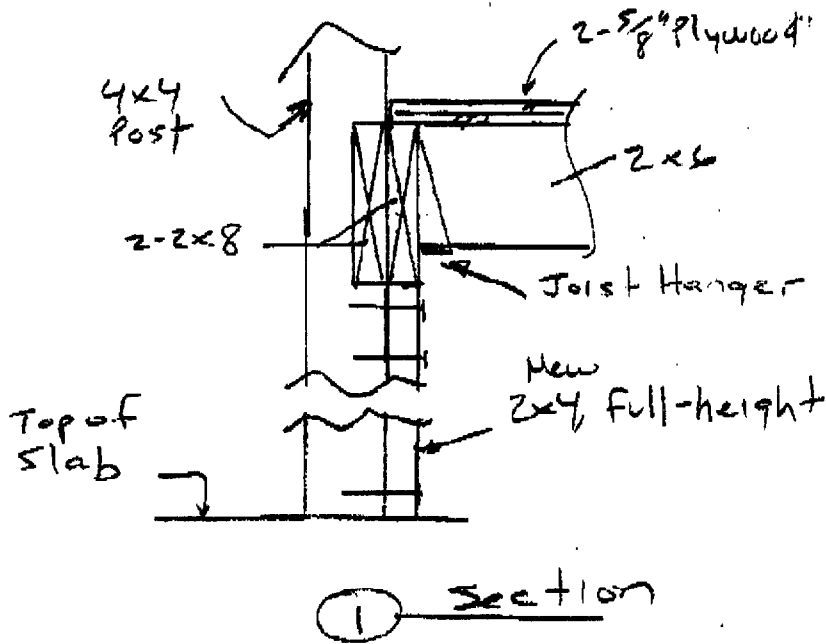
**LINCOLN/HANEY
ENGINEERING ASSOCIATES, INC.**
6 Federal Street
BRUNSWICK, MAINE 04011
(207) 729-1061

JOB 625 Congress
SHEET NO. 1 OF 3
CALCULATED BY L/H DATE 4/8/03
CHECKED BY - DATE -
SCALE -

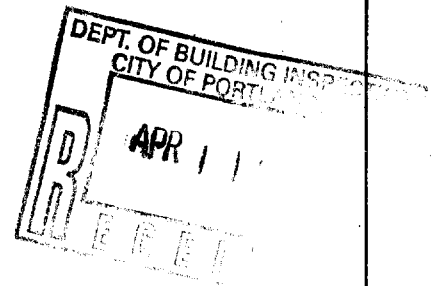


**LINCOLN/HANEY
ENGINEERING ASSOCIATES, INC.**
6 Federal Street
BRUNSWICK, MAINE 04011
(207) 729-1061

JOB 625 Congress
SHEET NO. 2 OF 3
CALCULATED BY L/H DATE 4/8/03
CHECKED BY — DATE —
SCALE —

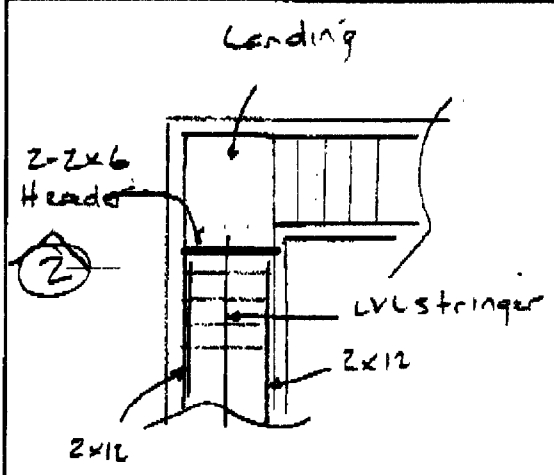


New Cellar
Stair



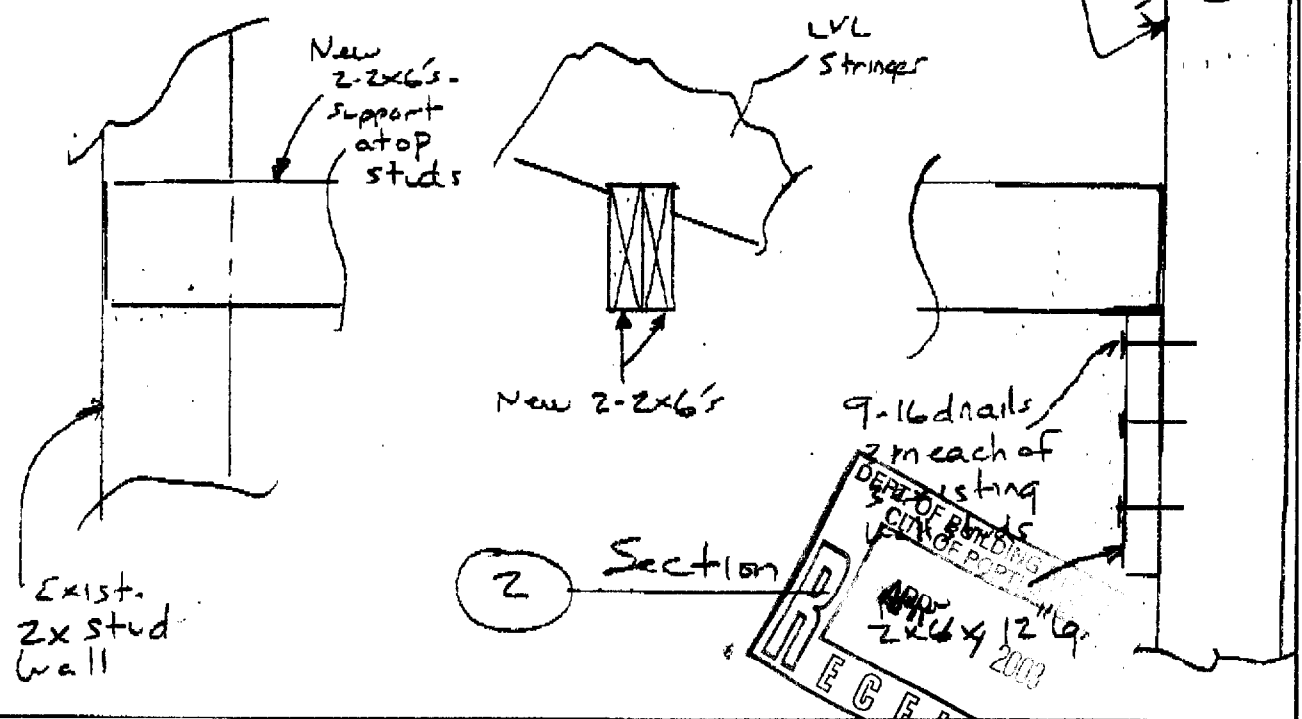
**LINCOLN/HANEY
ENGINEERING ASSOCIATES, INC.**
6 Federal Street
BRUNSWICK, MAINE 04011
(207) 729-1061

JOB 625 Congress
SHEET NO. 3 OF 3
CALCULATED BY L/H DATE 4/8/03
CHECKED BY — DATE —
SCALE —



Rebuilt Stair
Main To 2nd Floors

Partial Plan
Rebuilt Stair
Main To 2nd Floors

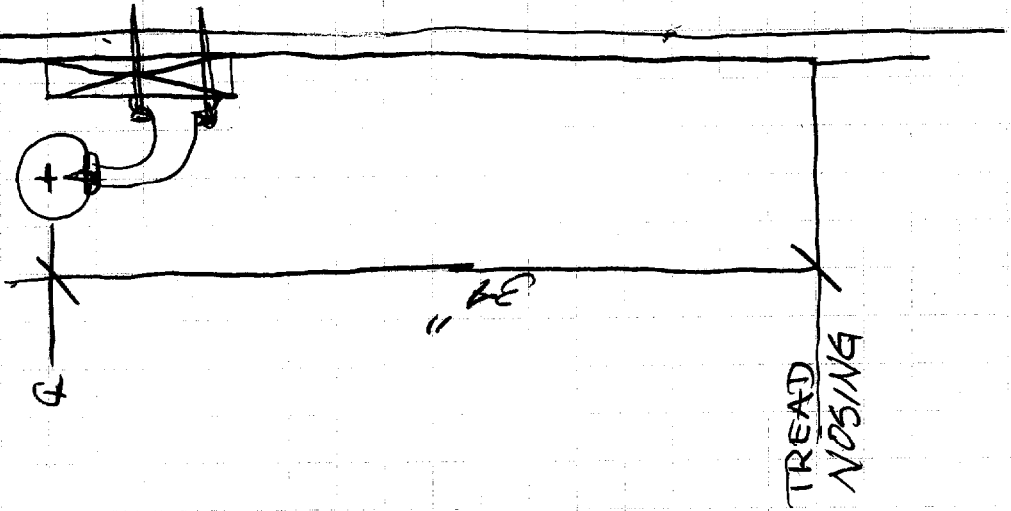


9-16d nails
2 in each of
existing
DEPT OF BUILDING
CITY OF PORTLAND
APR 12 2003
2x2x6 x 12 1/2
RECEIVED

1/8" SWG

2x4 STAIR BAL

STAIR
HANDRAILS
DETAIL

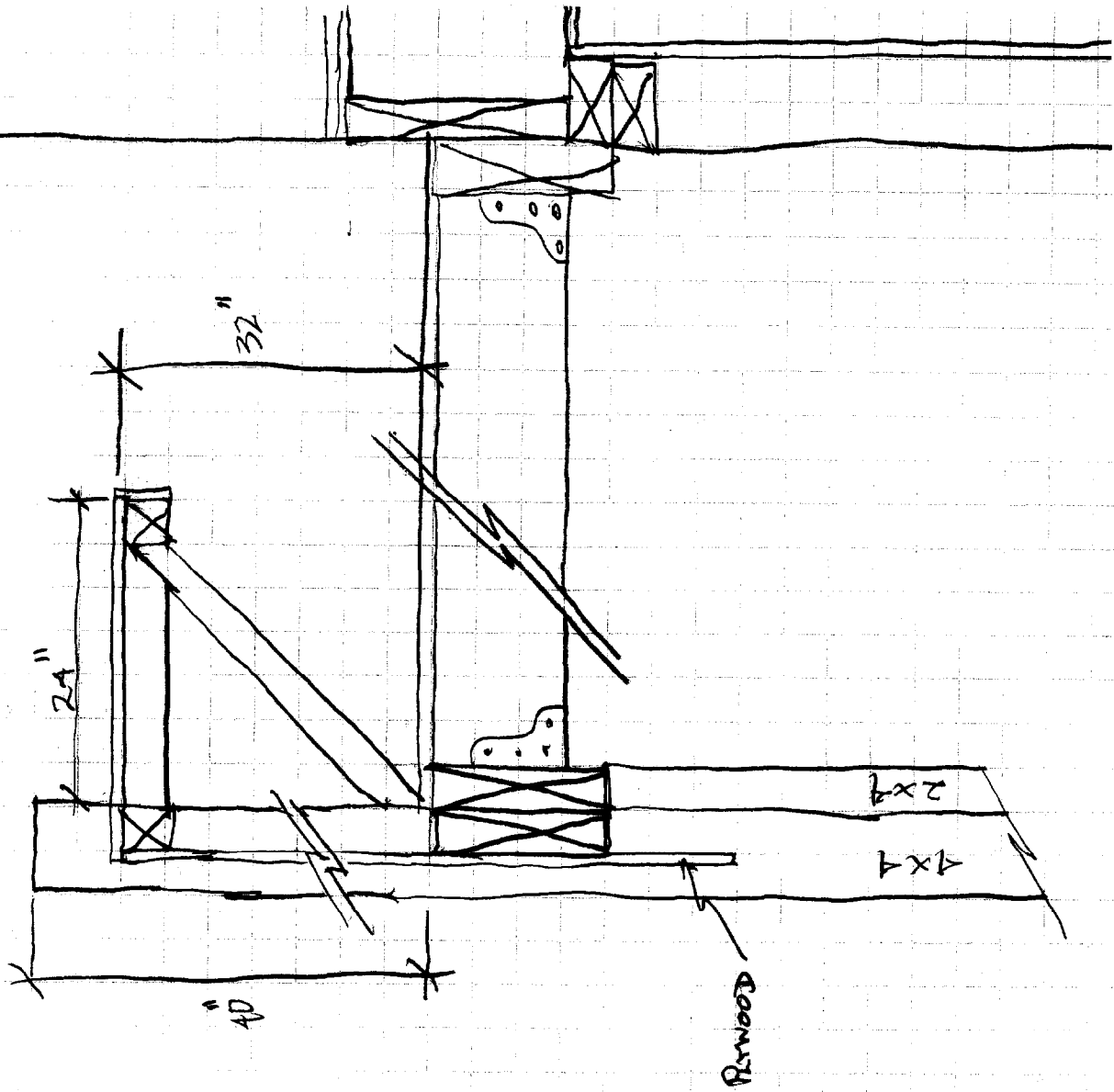


TREAD
NOSING

34"

Q

CONGRESS HALL
627 CONGRESS ST.
DJ / SOUND BOOTH
COUNTER



CONGRESS HALL

627 CONGRESS ST

INTERIOR FINISH SUMMARY:

- THERE WILL BE NO CARPET.
- THE PROPOSED FUTURE CURTAINS ARE 100% FIBERGLASS - FLAME SPREAD < 1.
- WALLS, FLOORS, ROOF DECK, I BEAMS WILL BE PAINTED

DEPARTMENT DIRECTOR
Lee D. Urban



DIVISION DIRECTORS
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman
Planning

John N. Lufkin
Economic Development

DEPARTMENT OF PLANNING AND DEVELOPMENT

April 1, 2003

Dan Reed
C/O Atlantic Foundation
59 Longfellow Dr.
Cape Elizabeth, ME 04107

RE: 625 Congress St., 046 D028, Application #030205

Dear Dan,

This office is attempting to review the submissions for the proposed renovation at the above location. In order to finish the review and issue the permit the following is required:

- 1) Structural load of all steps, stairs, the new second floor game area, the D.J. Booth.
- 2) Hand Rail Guard rail details for all stairways.
- 3) Guard detail for the D.J. Booth.
- 4) Guards for any ramps
- 5) Interior finish summary (carpets , draperies etc.)

A licensed engineer must provide the loading info. Based on our conversation this date, no construction will occur until the permit is approved.

Sincerely,


Mike Nugent
Manager of Inspection Services

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>625 Congress St.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>046</u> Block# <u>D</u> Lot# <u>028</u>		Owner: <u>Atlantic Foundation</u> <u>59 Longfellow</u> <u>CE, ME 04107</u> Telephone: <u>632-2034</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of <u>TOTAL</u> Work: \$ <u>8000.00</u> (paid for \$1275 already) <u>ba</u> Fee: \$ <u>86.00</u> <u>(6750)</u>
Current use: <u>CLASS A LOUNGE</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>CLASS A LOUNGE</u> Project description: <u>interior alterations</u> <u>amendment</u> <u>to permit # 03-0099</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>DANIEL REED</u> Mailing address: <u>59 LONGFELLOW</u> <u>CAPE ELIZABETH MAINE 04107</u> We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the City's codes applicable to this permit.

Signature of applicant: <u>Daniel W Reed</u>	Date: <u>MAR 13 2003</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0205	Date Applied For: 03/17/2003	CBL: 046 D028001
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Location of Construction: 625 Congress St	Owner Name: Atlantic Foundation	Owner Address: 59 Longfellow Dr	Phone: 207-632-2034
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Amendment to Commercial	

Proposed Use: Class A Lounge / Amendment to permit # 030099 for interior alterations which included decking on floor towards stage.	Proposed Project Description: Amendment to permit # 030099.
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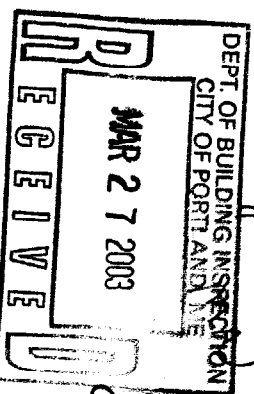
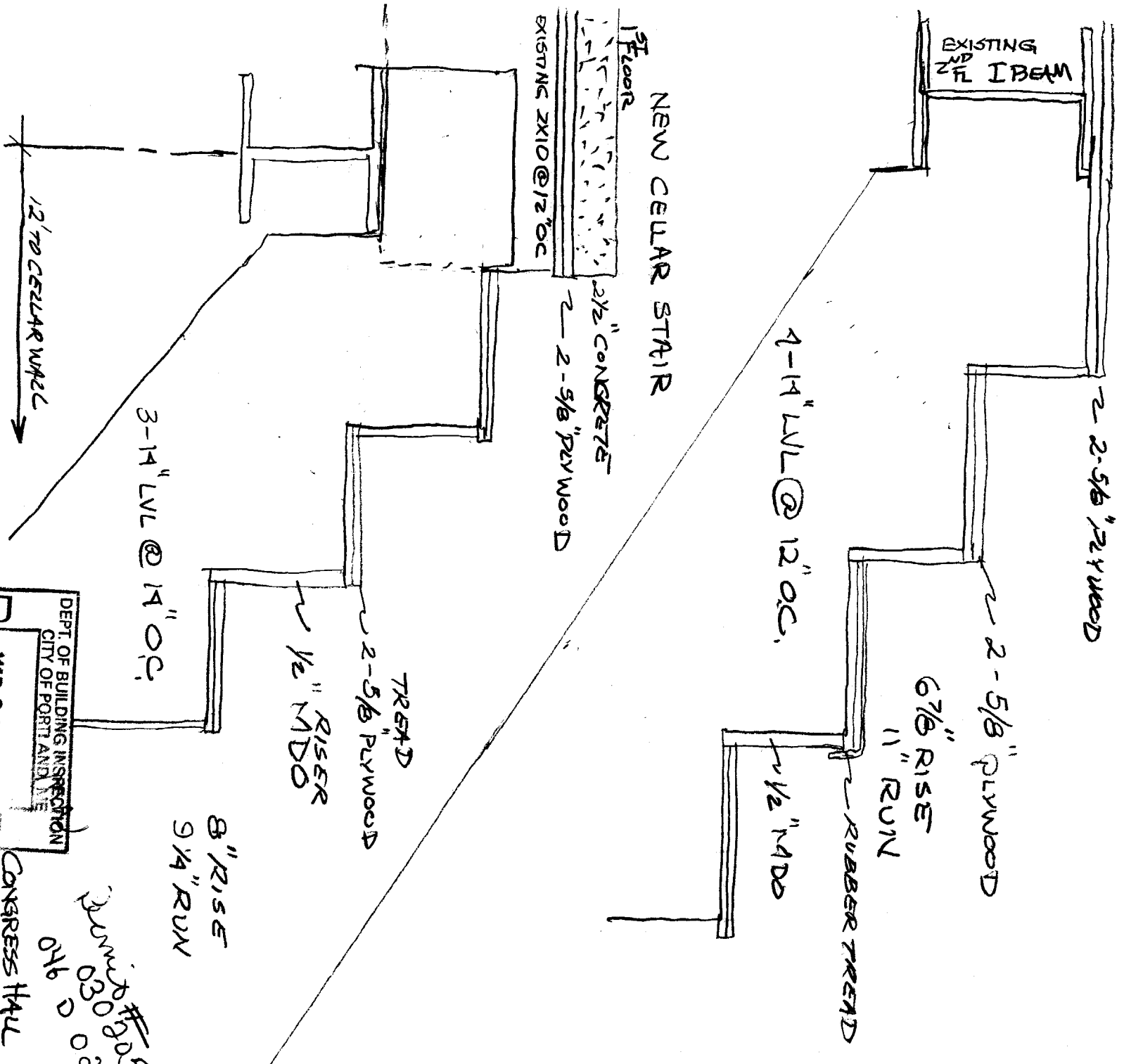
Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 03/19/2003
Note: **Ok to Issue:**

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 03/20/2003
Note: **Ok to Issue:**
 1) fire extinguishers shall be provided in accordance with NFPA 10 standards
 2) the fire alarm system shall be maintained to NFPA 72 standards
 3) Application requires State Fire Marshal approval.

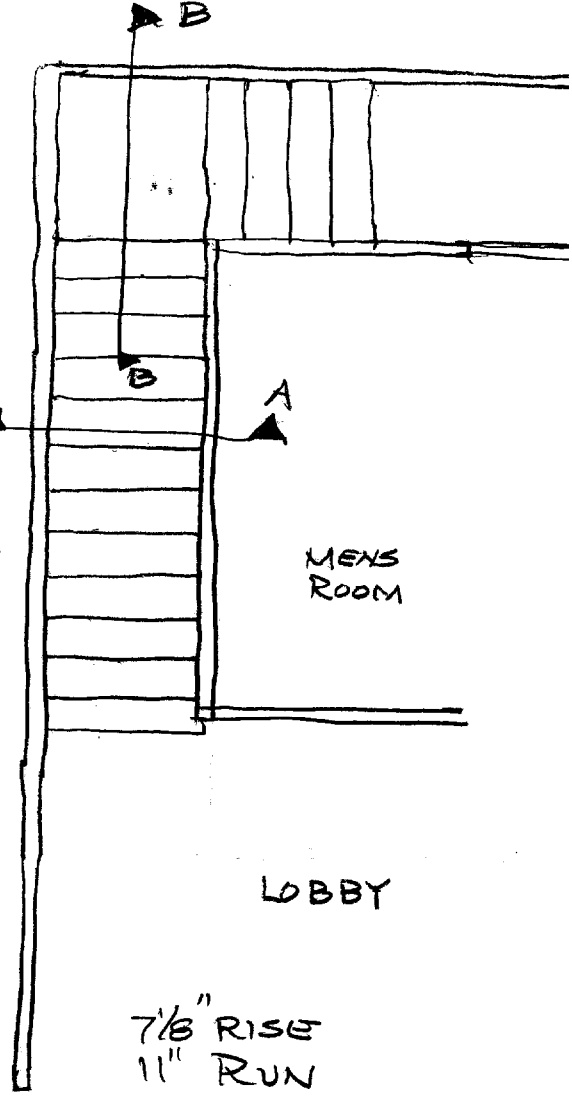
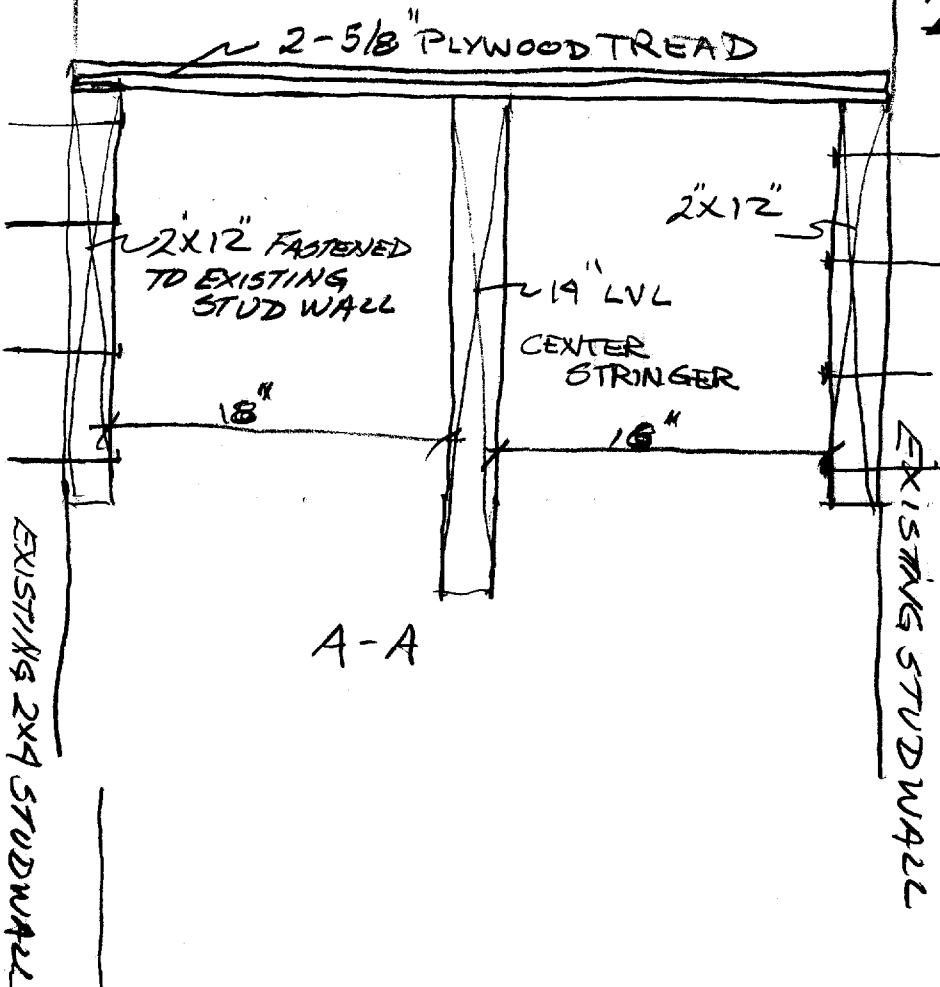
Comments:
 03/21/2003-mjn: need structurals, stair waiver request, new stair details, loading info on second floor and DJ booth, owner notified
 03/27/2003-gg: received additional plans as requested by mjn. /gg
 still not adequate
 04/01/2003-mjn: advised the applicant for structurals.....Letter to be sent

NEW STAIR TO 2ND FLOOR:



200303028
 046 0 028
 CONGRESS HALL
 627 CONGRESS ST
 DW REED
 3-21-3

REBUILT STAIR TO 2ND FL



EXISTING 2x4 STUD WALL

EXISTING STUD WALL

MENS ROOM

LOBBY

7/8" RISE
11" RUN

LANDING

2x6 @ 12" OC

PLYWOOD

2-5/8" PLYWOOD

1/2" MDO

2x6

2x6 @
LVL

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND
MAR 27 2008
RECEIVED

B-B
CONGRESS HALL
627 CONGRESS ST
DW REED 3-21-3

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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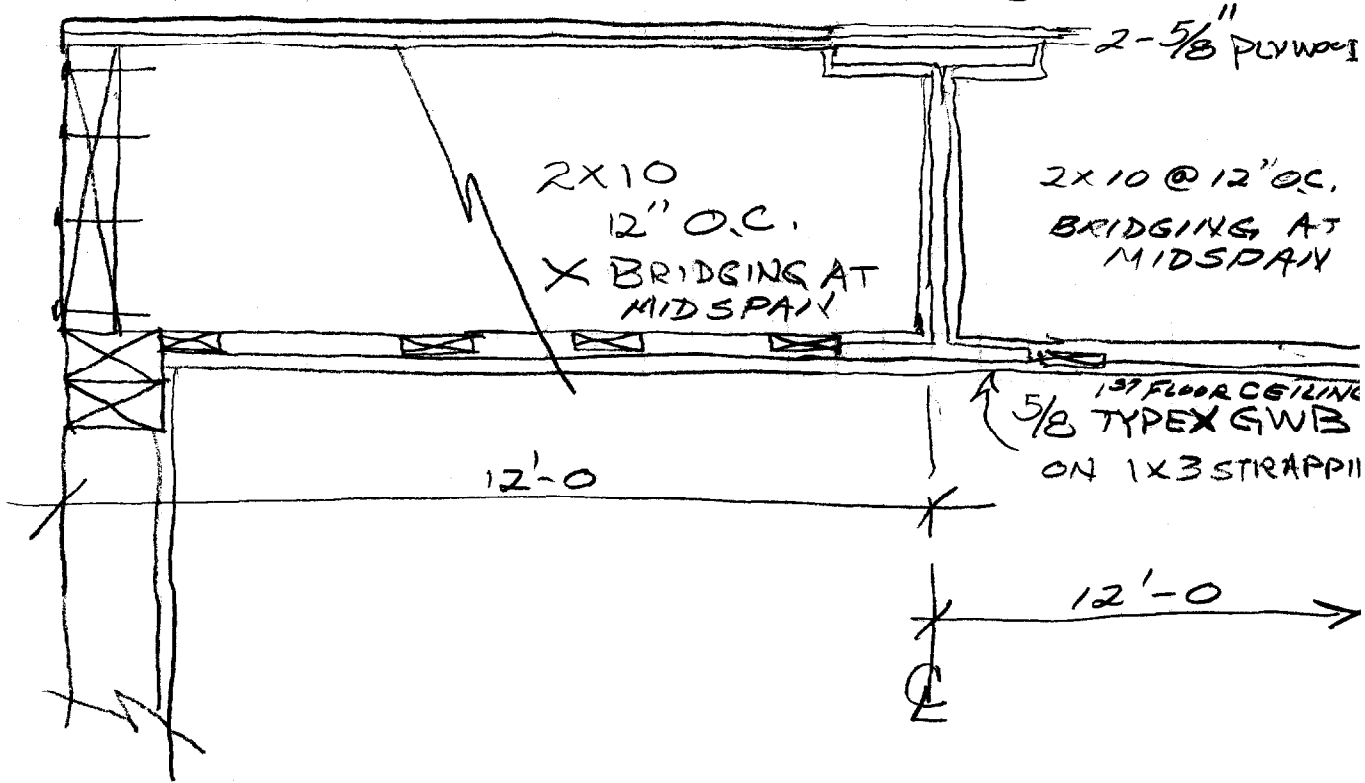
Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/19/2003	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. McDougall	Approval Date: 03/20/2003	Ok to Issue: <input checked="" type="checkbox"/>
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Comments:

03/21/2003-mjn: need structurals, stair waiver request, new stair details, loading info on second floor and DJ booth, owner notified

ORIGINAL DESIGN OF BUILDING = THEATER
 2ND FLOOR WAS PROJECTION EQUIPMENT & FILM STORAGE
 STRUCTURAL CLASS - LIGHT INDUSTRIAL
 NEW USE IS A PUB / GAME ROOM

EXISTING 2ND FLOOR AT 627 CONGRESS ST



NEW SOUND DECK:

