46-D-22
645 Congress St.
Portland Hall
Bayside Maine

2008-0184

H-16

A EXISTING REAR ELEVATION

SCALE: 1/16" = 1'-0"

SEE EXTERIOR BUILDING MATERIAL SCHEDULE

B PROPOSED REAR ELEVATION

SCALE: 1/16" = 1'-0"

C EXISTING FRONT ELEVATION

SCALE: 1/16" = 1'-0"

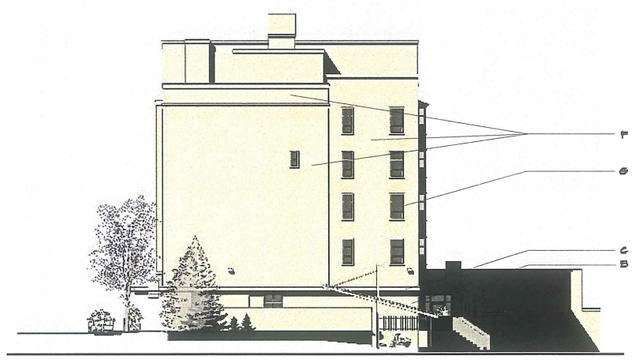
SEE EXTERIOR BUILDING MATERIAL SCHEDULE

D PROPOSED FRONT ELEVATION

SCALE: 1/16" = 1'-0"

E EXISTING SIDE ELEVATION

SCALE: 1/16" = 1'-0"



SEE EXTERIOR BUILDING MATERIAL SCHEDULE

F PROPOSED SIDE ELEVATION

SCALE: 1/16" = 1'-0"

CWS Architects

Architecture
Space Planning
Value Design

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)774-4661
Fax: (207)774-4616
www.CWSarch.com

Owner

BAYSIDE MAINE LLC.
477 CONGRESS ST.
SUITE 1012
PORTLAND MAINE, 04101

Development Consultant.

shinberg CONSULTING, LLC

RENOVATIONS TO
645 CONGRESS ST.
PORTLAND, ME 04101

Project No 08.438

Drawing Title

ELEVATIONS

Scale: AS NOTED
Date: 3-30-2009
Revisions

Drawing Number:

A3.0

PLANNING SUBMISSION

H-17

A EXISTING REAR ELEVATION

NTS

CWS Architects
Architecture
Space Planning
Value Design
434 Cumberland Avenue
Portland, ME 04101
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SUITE 1012
PORTLAND MAINE, 04101

Development Consultant
shinberg CONSULTING, LLC

RENOVATIONS TO
645 CONGRESS ST.
PORTLAND, ME 04101

Project No 08.436

Drawing Title
ELEVATION

Scale AS NOTED
Date 3-10-2009
Revisions

Drawing Number
A3.1

PLANNING SUBMISSION

H-18

A PROPOSED REAR ELEVATION

NTS

CWS Architects

Architecture
Space Planning
Value Design

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)774-4441
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Owner:
BAYSIDE MAINE LLC.
477 CONGRESS ST.
SUITE 102
PORTLAND MAINE, 04101

Development Consultant:
shinberg CONSULTING, LLC

RENOVATIONS TO
645 CONGRESS ST.
PORTLAND, ME 04101

Project No: 0849

Drawing Title:
ELEVATION

Scale: AS NOTED
Date: 3-30-2009
Revisions:

Drawing Number:
A3.2

PLANNING SUBMISSION

H-19

A EXISTING FRONT ELEVATION

NTS

PLANNING SUBMISSION

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Value Design
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Owner
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477 CONGRESS ST.
SUITE 1010
PORTLAND MAINE, 04101

Development Consultant.
shinberg CONSULTING, LLC

RENOVATIONS TO
645 CONGRESS ST.
PORTLAND, ME 04101

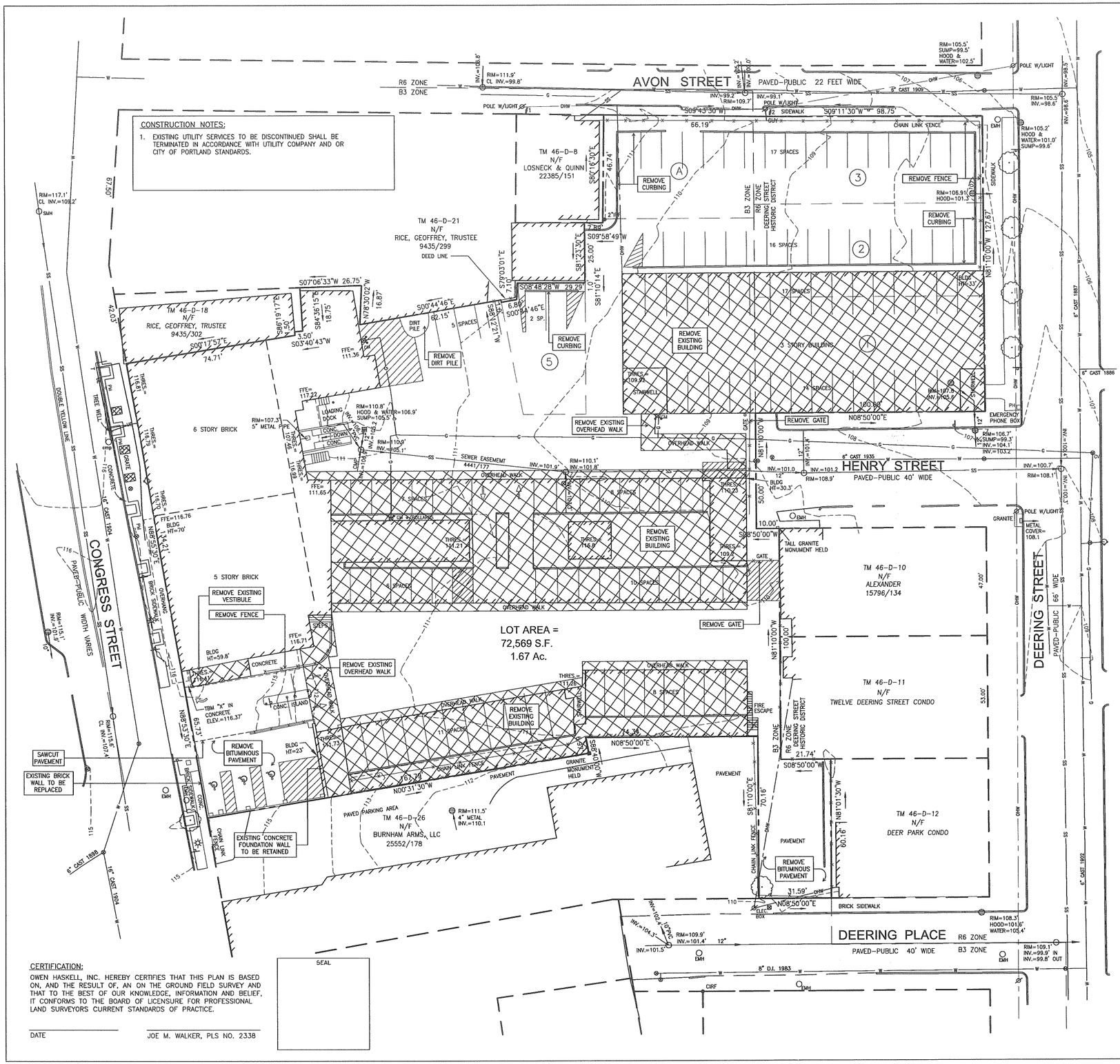
Project No 0849

Drawing Title
ELEVATION

Scale: AS NOTED
Date: 3-30-2009
Revisions

Drawing Number:
A3.3

A17 D



NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY OF 645 CONGRESS STREET MADE FOR BAYSIDE, MAINE LLC, C/O SHINBERG CONSULTING, LLC BY OWEN HASKELL, INC., 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774–0424. PRELIMINARY SURVEY DATED NOVEMBER 21, 2008.
2. OWNER OF RECORD IS BAYSIDE MAINE LLC, 26422/49, C.C.R.D.
3. BEARINGS ARE BASED ON PLAN REFERENCE 1, MAGNETIC IN THE YEAR 1928.
4. SUBJECT PROPERTY IS SHOWN AS LOT 22, BLOCK D ON MAP 46 OF THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
5. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE MAP (FIRM), FOR THE CITY OF PORTLAND, MAINE, IN CUMBERLAND COUNTY, MAP NUMBER 230051 0013 B, PANEL 13 OF 17, WITH AN EFFECTIVE DATE OF JULY 17, 1986, THIS PROPERTY LIES IN ZONE C, AN AREA OF MINIMAL FLOODING.
6. THE PROPERTY LIES IN ZONES B–3, DOWNTOWN BUSINESS WITH A DEOZ. DOWNTOWN ENTERTAINMENT ZONE OVERLAY, AND R–6, RESIDENTIAL. DETAILED DIMENSIONAL REQUIREMENTS CAN BE FOUND IN THE CITY OF PORTLAND'S CODE OF ORDINANCES.
7. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM, TAKEN FROM THE TOP OF A GRANITE "M" MONUMENT AT THE WESTERLY CORNER OF FOREST AND CUMBERLAND AVENUES. ELEVATION IS 80.57'.
8. ADDITIONAL EASEMENTS EXIST AND ARE IN THE PROCESS OF BEING RESEARCHED.

PLAN REFERENCES:

1. "PLAN OF PROPERTY IN PORTLAND, MAINE, MADE FOR PORTLANDER" DATED OCTOBER 31, 1962 BY H.I. & E.C. JORDAN.
2. "BOUNDARY AND TOPOGRAPHIC SURVEY ON CONGRESS STREET, PORTLAND, MAINE, MADE FOR ARCHETYPE, P.A." DATED SEPTEMBER 22, 2008 BY OWEN HASKELL, INC.
3. STREET LINE MAPS OF VARIOUS DATES OBTAINED FROM THE CITY OF PORTLAND AND THE RECORDS OF E.C. JORDAN.
4. "PLAN OF BEST WESTERN EXECUTIVE INN, CUMBERLAND COUNTY, PORTLAND, MAINE, FOR EXECUTIVE INN REALTY TRUST" DATED DECEMBER 4, 1986 BY STEVENS MORTON ROSE & THOMPSON (S.M.R.T.).
5. "A PLAN OF PART OF DEERING PASTURE," PLAN BOOK 2, PAGE 2 C.C.R.D.
6. CITY OF PORTLAND'S ASSESSOR'S MAPS.

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1–888–DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

LEGEND:

	EXISTING
IRON PIPE OR ROD FOUND	●
GAS VALVE	⊗
WATER VALVE	⊗
HYDRANT	◇
UTILITY POLE	⌀
LIGHT POLE	☼
MANHOLE	○
CATCH BASIN	▤
SIGN	⊸
GAS METER	⊠ GM
PARKING METER	⊙ PM
DECIDUOUS TREE	◯
FENCE	-x-x-
CURB	═══
OVERHEAD WIRES	——OHW——
UNDERGROUND ELECTRIC	——E——
WATER LINE	——W——
GAS LINE	——G——
SANITARY SEWER	——SS——
STORM DRAIN	——SD——
1' CONTOUR	112
CONCRETE	CONC.
NOW OR FORMERLY	N/F
PARCELS FROM 8703/42	①

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE

JOE M. WALKER, PLS NO. 2338

SEAL

Prepared for Owner:
BAYSIDE MAINE, LLC
477 Congress Street, Suite 1012
Portland, Maine 04101
Tel: (207) 772–7070
Contact: Greg Shinberg

Prepared By:

Mitchell & Associates
LANDSCAPE ARCHITECTS

CWS ARCHITECTS
434 CUMBERLAND AVENUE
PORTLAND, MAINE 04101-2225
TEL: (207) 774-4441
FAX: (207) 774-4476

shinberg CONSULTING, LLC

645 CONGRESS STREET

645 Congress Street Portland, Maine

Date:
DECEMBER 15, 2008

Issued For:
PLANNING BOARD REVIEW

Revisions:
February 2, 2009 – Per Planning Staff Comment.

Title:
EXISTING CONDITIONS AND DEMOLITION PLAN

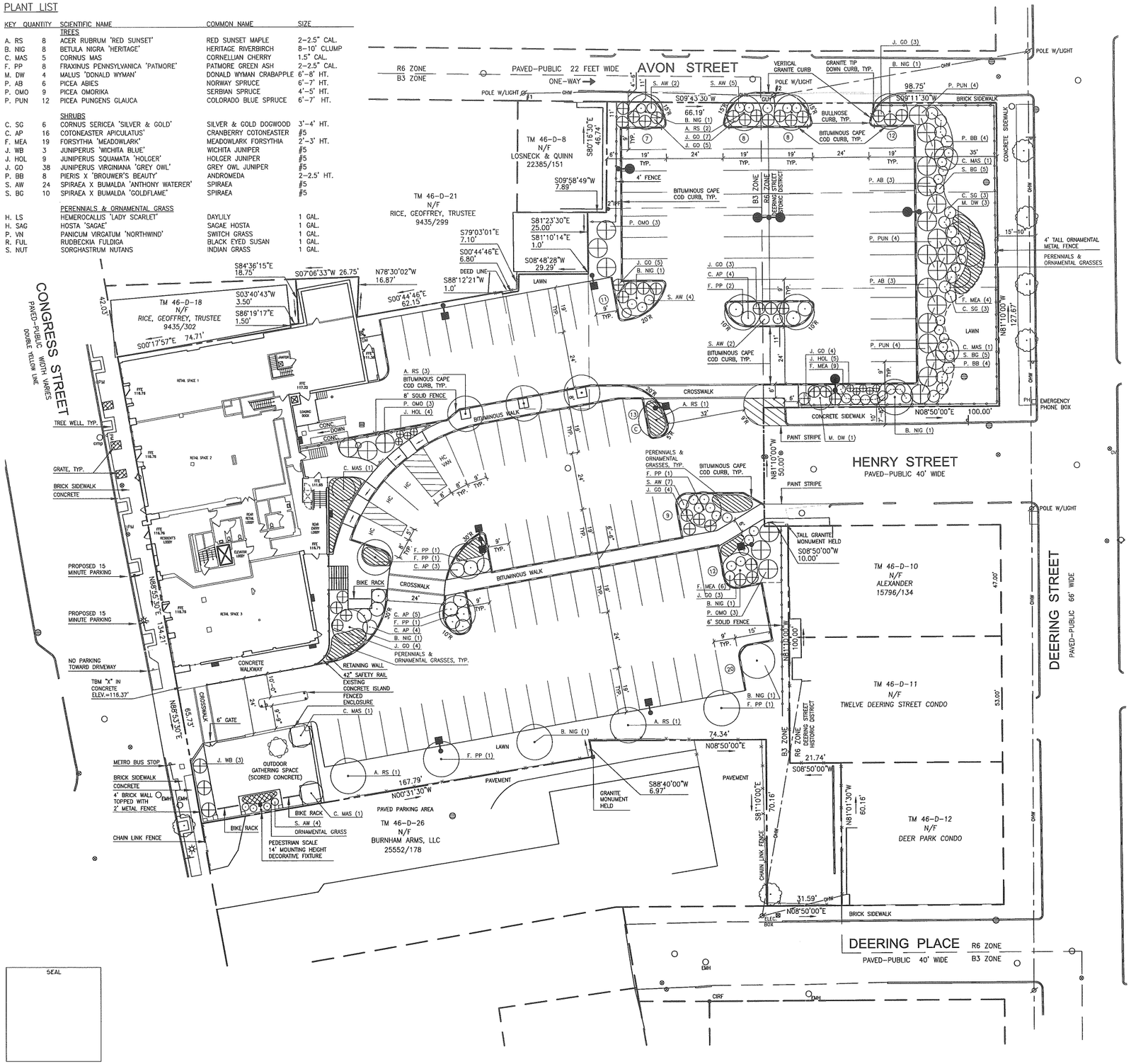
Scale: 1"=20'
0 10 20 40 ft.

Magnetic North:

Sheet No.: 1

PLANT LIST

KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
		TREES		
A. RS	8	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2–2.5" CAL.
B. NIG	8	BETULA NIGRA 'HERITAGE'	HERITAGE RIVERBIRCH	8–10' CLUMP
C. MAS	5	CORNUS MAS	CORNELLIAN CHERRY	1.5" CAL.
F. PP	8	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE GREEN ASH	2–2.5" CAL.
M. DW	4	MALUS 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	6'–8' HT.
P. AB	6	PICEA ABIES	NORWAY SPRUCE	6'–7' HT.
P. OMO	9	PICEA OMORIKA	SERBIAN SPRUCE	4'–5' HT.
P. PUN	12	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	6'–7' HT.
		SHRUBS		
C. SG	6	CORNUS SERICEA 'SILVER & GOLD'	SILVER & GOLD DOGWOOD	3'–4' HT.
C. AP	16	COTONEASTER APICULATUS'	CRANBERRY COTONEASTER	#5
F. MEA	19	FORSYTHIA 'MEADOWLARK'	MEADOWLARK FORSYTHIA	2'–3' HT.
J. WB	3	JUNIPERUS 'WICHITA BLUE'	WICHITA JUNIPER	#5
J. HOL	9	JUNIPERUS SQUAMATA 'HOLGER'	HOLGER JUNIPER	#5
J. GO	38	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5
P. BB	8	PIERIS X 'BROUWER'S BEAUTY'	ANDROMEDA	2–2.5' HT.
S. AW	24	SPIRAEA X BUMALDA 'ANTHONY WATERER'	SPIRAEA	#5
S. BG	10	SPIRAEA X BUMALDA 'GOLDFLAME'	SPIRAEA	#5
		PERENNIALS & ORNAMENTAL GRASS		
H. LS		HEMEROCALLIS 'LADY SCARLET'	DAYLILY	1 GAL.
H. SAG		HOSTA 'SAGAE'	SAGAE HOSTA	1 GAL.
P. VN		PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	1 GAL.
R. FUL		RUDBECKIA FULDIGA	BLACK EYED SUSAN	1 GAL.
S. NUT		SORGHASTRUM NUTANS	INDIAN GRASS	1 GAL.



SEAL

GENERAL NOTES:

1. SITE AREA: 72,569 SF OR 1.67 ACRES
2. OWNER: BAYSIDE MAINE LLC
   477 CONGRESS STREET, SUITE 1012
   PORTLAND, MAINE 04101
3. ZONING DISTRICTS: ALONG CONGRESS STREET, "B3" – DOWNTOWN BUSINESS WITH "DEOZ" DOWNTOWN ENTERTAINMENT ZONE OVERLAY AND "PAD" PEDESTRIAN ACTIVITIES DISTRICT. ALONG DEERING STREET: "R6" – RESIDENTIAL.
4. SPACE AND BULK STANDARDS:

B3 – DOWNTOWN BUSINESS ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	59,770 SF
MINIMUM STREET FRONTAGE:	15 FEET	134 FEET
STREET WALL BUILT–TO LINE:	WITHIN 5 FEET	0 FEET
MINIMUM YARD DIMENSIONS:	NONE	NONE
MINIMUM LOT WIDTH:	NONE	134 FEET
MAXIMUM LENGTH UNDIFFERENTIATED WALL:	15 FEET	16 FEET *
MAXIMUM LOT COVERAGE:	100%	18%
MINIMUM BUILDING HEIGHT:	35 FEET	70 FEET
MAXIMUM HEIGHT OF STRUCTURES:	85 FEET	70 FEET

* UNDIFFERENTIATED WALL DUE TO EXISTING UTILITIES & WALL STRUCTURE

R6 – RESIDENTIAL ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE (RESIDENTIAL):	4,500 SF	12,799 SF
MINIMUM AREA PER DWELLING UNIT:	1,000 SF (1ST 3) 1,200 SF (OVER 4)	N/A
MINIMUM STREET FRONTAGE:	40 FEET	327 FEET
MINIMUM FRONT YARD SETBACK:	10 FEET	N/A
MINIMUM REAR YARD SETBACK:	20 FEET	N/A
MINIMUM SIDE YARD SETBACK:	10 FEET (3 STORIES)	N/A
MINIMUM SIDE YARD ON STREET SETBACK:	10 FEET	N/A
MAXIMUM LOT COVERAGE:	40% (20+ UNITS) 50% (LESS THAN 20 UNITS)	N/A
MINIMUM LOT WIDTH:	50 FEET	127 FEET
MAXIMUM STRUCTURE HEIGHT:	45 FEET	N/A
OPEN SPACE RATIO:	30% (20+ UNITS) 20% (LESS THAN 20 UNITS)	N/A

5. OFF–STREET PARKING REQUIREMENTS:
   REQUIRED: NO OFF–STREET PARKING REQUIRED FOR CHANGES IN USE. RESIDENTIAL–1 SPACE/DWELLING UNIT. RETAIL STORES–1 SPACE/200 SF OF FIRST FLOOR AREA IN EXCESS OF 2,000 SF NOT USED FOR BULK STORAGE.

   REQUIRED:
   DWELLING UNITS (58 DWELLING UNITS)
   30% PUBLIC TRANSPORTATION USERS (18 UNITS) = 0 SPACES
   70% HAVE VEHICLE (40 UNITS) = 40 SPACES
   RETAIL(7,919 SF–1,188 SF STORAGE–2,000 SF=4.731 SF) = 24 SPACES
   TOTAL = 64 SPACES

   PROPOSED: 100 SPACES (2 COMPACT, 4 ACCESSIBLE)
6. OFF–STREET LOADING:
   REQUIRED: 1 BAY (5,000–40,000 SF GROSS FLOOR AREA)
   PROPOSED: 1 BAY
7. BICYCLE PARKING:
   REQUIRED: RESIDENTIAL: 2 SPACES/5 DWELLING UNITS = 24 BICYCLE SPACES. RETAIL: 2 SPACES/10 VEHICLE SPACES UP TO 100 = 6 BICYCLE SPACES
   PROPOSED: 30 BICYCLE SPACES
8. SITE LIGHTING TO BE MANUFACTURED BY KIM LIGHTING. SQUARE FIXTURE SYMBOLS ARE SMALL ARCHETYPE (SAR) 150 WATT METAL HALIDE, 20 FOOT MOUNTING HEIGHT. ROUND FIXTURE SYMBOLS TO BE ERA BELL (BE) 100 WATT METAL HALIDE 16 FOOT MOUNTING HEIGHT. BUILDING MOUNTED FIXTURES TO BE WALL DIRECTOR (WD) 150 WATT METAL HALIDE.

SURVEY NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY OF 645 CONGRESS STREET MADE FOR BAYSIDE, MAINE LLC, C/O SHINBERG CONSULTING, LLC BY OWEN HASKELL, INC., 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774–0424. PRELIMINARY SURVEY DATED NOVEMBER 21, 2008.
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LEGEND:

	EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	●	
GAS VALVE	⊗	
WATER VALVE	⊗	
HYDRANT	◇	
UTILITY POLE	⌀	
LIGHT POLE	☼	■●
MANHOLE	○	
CATCH BASIN	▤	
SIGN	⊤	
GAS METER	⊠ GM	
PARKING METER	○ PM	
DECIDUOUS TREE/SHRUB	⌀	○
EVERGREEN TREE/SHRUB		⊕
FENCE	×–×–×	×–×–×
GUARDRAIL		
OVERHEAD WIRES	—OHW—	
CURB		

Prepared for Owner:
BAYSIDE MAINE, LLC
477 Congress Street, Suite 1012
Portland, Maine 04101
Tel: (207) 772–7070
Contact: Greg Shinberg

Prepared By:
Mitchell & Associates LANDSCAPE ARCHITECTS
CWS ARCHITECTS
434 CHARELAND AVENUE PORTLAND, MAINE 04102–2028 TEL: (207) 774–4441 FAX: (877)774–4410
shinberg CONSULTING, LLC

645 CONGRESS STREET

645 Congress Street Portland, Maine

Date: DECEMBER 15, 2008

Issued For: PLANNING BOARD REVIEW

Revisions:
January 20, 2009 – Per Planning Staff Comment.
February 2, 2009 – Per Planning Staff & Historic Preservation Board Comment.

Title: LAYOUT, LIGHTING AND LANDSCAPING PLAN

Scale: 1"=20'
0 10 20 40 ft.

Magnetic North:

Sheet No.: 2

GRAPHIC SCALE

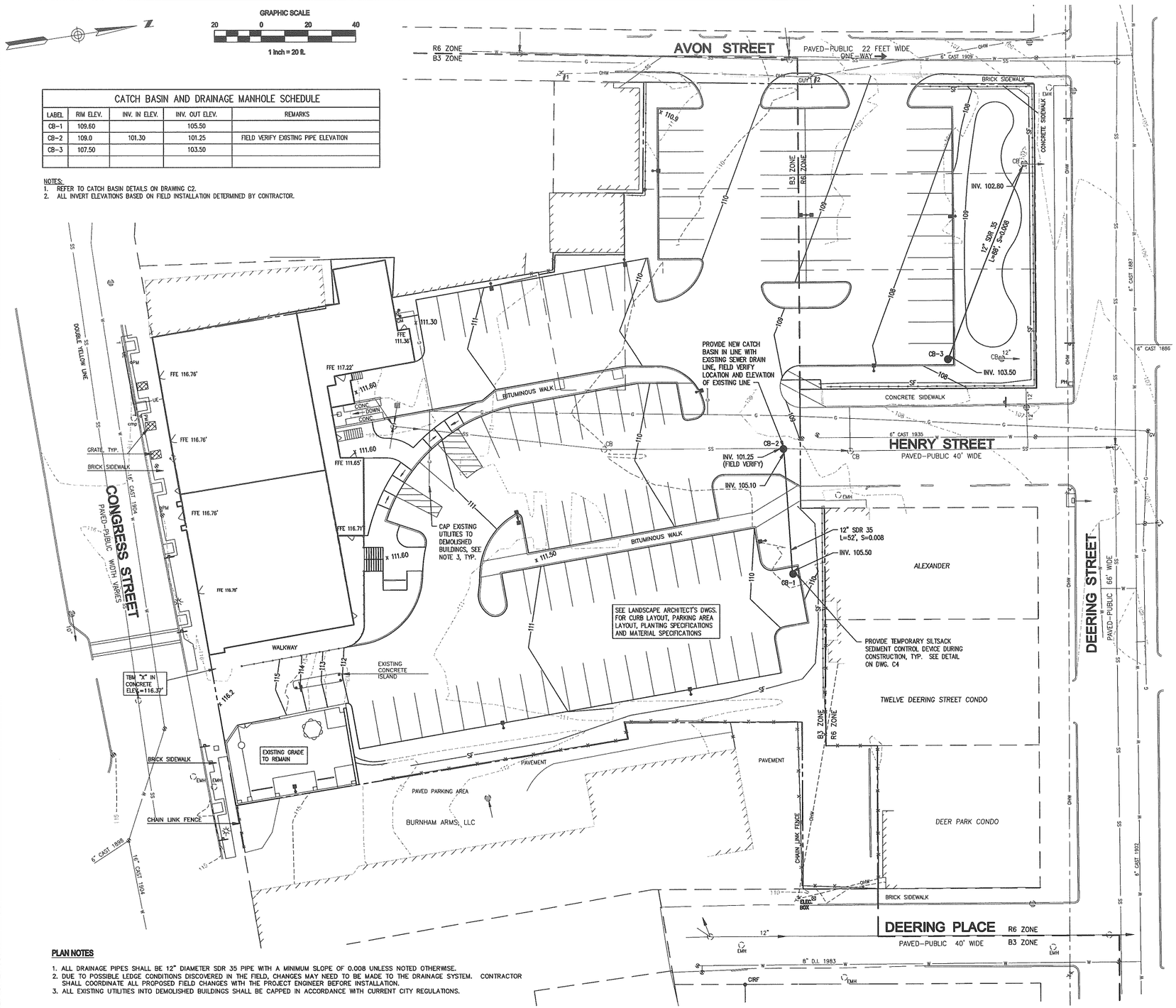
20 0 20 40

1 Inch = 20 ft.

CATCH BASIN AND DRAINAGE MANHOLE SCHEDULE

LABEL	RIM ELEV.	INV. IN ELEV.	INV. OUT ELEV.	REMARKS
CB-1	109.60		105.50	
CB-2	109.0	101.30	101.25	FIELD VERIFY EXISTING PIPE ELEVATION
CB-3	107.50		103.50	

NOTES:
1. REFER TO CATCH BASIN DETAILS ON DRAWING C2.
2. ALL INVERT ELEVATIONS BASED ON FIELD INSTALLATION DETERMINED BY CONTRACTOR.



PLAN NOTES

1. ALL DRAINAGE PIPES SHALL BE 12" DIAMETER SDR 35 PIPE WITH A MINIMUM SLOPE OF 0.008 UNLESS NOTED OTHERWISE.
2. DUE TO POSSIBLE LEDGE CONDITIONS DISCOVERED IN THE FIELD, CHANGES MAY NEED TO BE MADE TO THE DRAINAGE SYSTEM. CONTRACTOR SHALL COORDINATE ALL PROPOSED FIELD CHANGES WITH THE PROJECT ENGINEER BEFORE INSTALLATION.
3. ALL EXISTING UTILITIES INTO DEMOLISHED BUILDINGS SHALL BE CAPPED IN ACCORDANCE WITH CURRENT CITY REGULATIONS.

GENERAL NOTES

1.) BOUNDARY AND TOPOGRAPHY INFORMATION TAKEN FROM OWEN HASKELL, PROJECT SURVEYOR.

2.) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.

3.) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.

4.) ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.

5.) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

6.) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-800-225-4977) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.

7.) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.

8.) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE . IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.

9.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.

10.) THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA. HOUSE AND DRIVEWAYS SHOWN ARE CONCEPTUAL. ALL SITE DIMENSIONS ARE REFERENCED TO PROPERTY LINES, THE FACE OF CURBS, OUTSIDE FACE OF WALLS, OR EDGE OF PAVING UNLESS OTHERWISE NOTED.

11.) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.

12.) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

13.) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.

14.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.

15.) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.

16.) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.

17.) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.

18.) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/ FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
□	GRANITE MONUMENT - 3' OFFSET	■
PF	IRON PIN FOUND/SET	IPS
RF	IRON ROD FOUND	
CIRF	CAPED IRON ROD FOUND	
DHF	DRILL HOLE FOUND	
MON	GRANITE MONUMENT FOUND	
	STREET LINE	
	LOT SETBACKS	
	PROPERTY LINE	
	ABUTTOR LINE	
	"NO CUT" BUFFER	
	WETLANDS	
	EDGE OF ROAD/TRAVELLED WAY	
	SOIL TEST PIT	
101	CONTOUR	101
x 327.6	SPOT GRADE	327x60 x 327.6
	GAS SHUT-OFF	
	UTILITY POLE	
OE	OVERHEAD ELECTRICAL	OE
UEA	UNDERGROUND ELECTRICAL	UEA
T	ELECTRICAL TRANSFORMER	T
	FIRE HYDRANT	
W	WATER LINE	8"-W 6" W
	WATER GATE	
S	SEWER LINE	12" S
SMH-1	SEWER MANHOLE	SMH-1
DMH-1	DRAINAGE MANHOLE	DMH-1
CB-1	CATCH BASIN	CB-1
UD/SD	UNDERDRAIN/STORMDRAIN	UD/SD
UD	UNDERDRAIN	UD
SF	SILT FENCE	SF
	TEMP. STONE CHECK DAM	
	GRADING AND FLOW DIRECTION	
	HAY BALES	
	EROSION CONTROL BLANKET	
	STORMWATER BOUNDARY	
	STORMWATER FLOW (Tc)	
	FACE OF LEDGE OUTCROP	
	BIRCH	
	MAPLE	
	TREE LINE	
	SITE LIGHTING (CAMBRIDGE MEDALLION SERIES)	
	STONE WALL	

GRADING, DRAINAGE AND UTILITY PLAN

SCALE: 1"=20'-0"

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645 CONGRESS STREET
PORTLAND MAINE
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REVISIONS

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DESIGNED:	ED
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PROJECT NUMBER:	8104

C1

*NOTES:

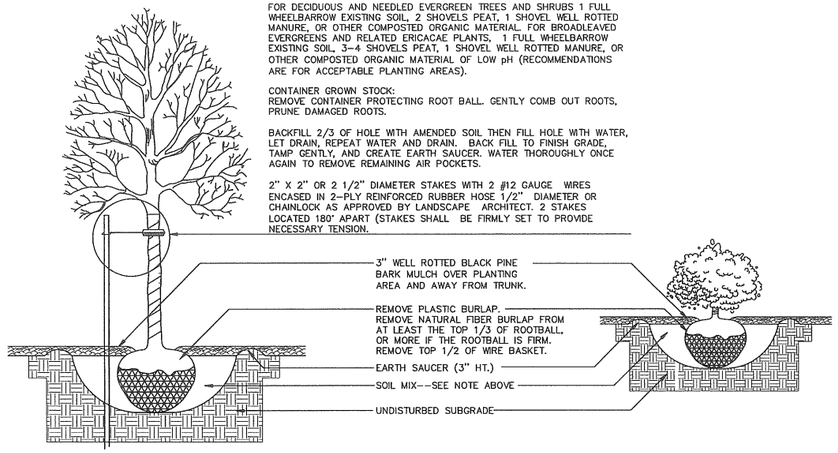
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROADLEAVED EVERGREENS AND RELATED ERICACAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3–4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

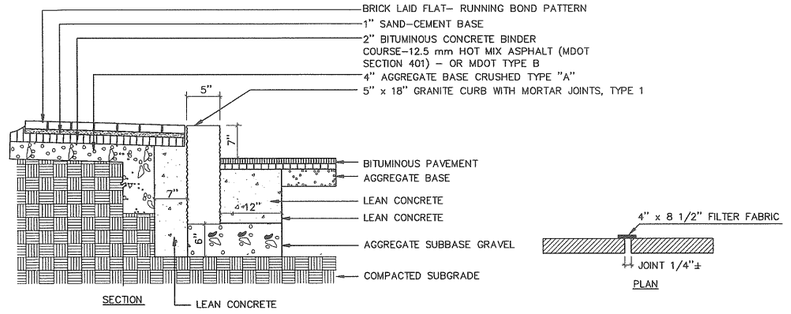
CONTAINER GROWN STOCK:
REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

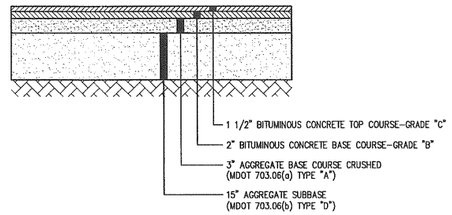
2" X 2" OR 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2–PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION.



TREE AND SHRUB INSTALLATION DETAIL NTS

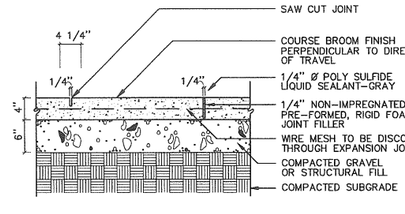


BRICK SIDEWALK WITH GREANITE CURB DETAIL NTS

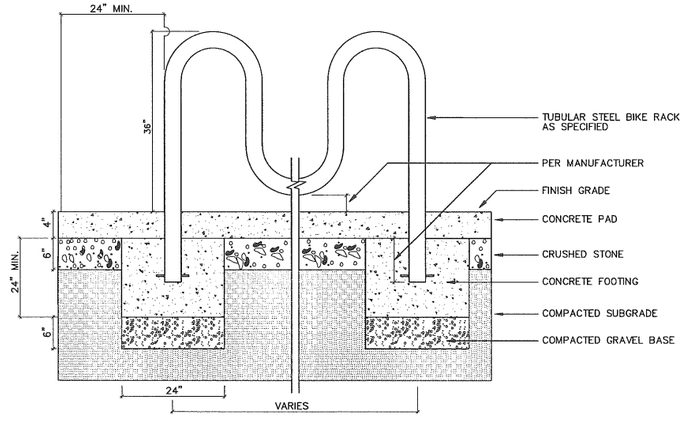


NOTE:
1. COMPACT GRAVEL SUB–BASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB–BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

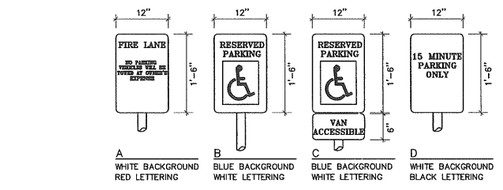
TYP. PAVED PARKING LOT SECTION NTS

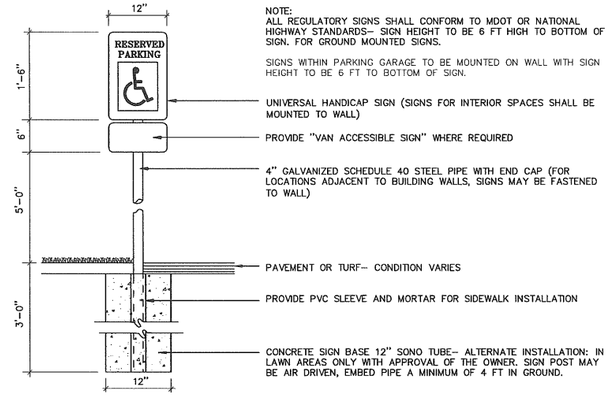


CONCRETE WALK DETAIL NTS



GROUND EMBEDDED BIKE RACK DETAIL NTS

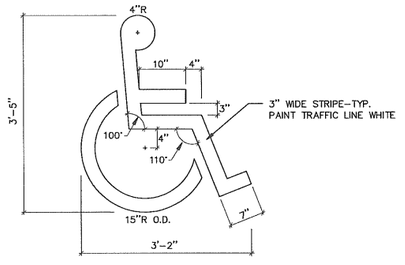


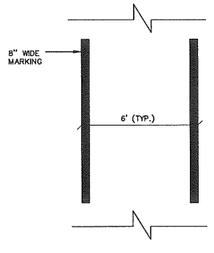


NOTE:
ALL REGULATORY SIGNS SHALL CONFORM TO MDOT OR NATIONAL HIGHWAY STANDARDS– SIGN HEIGHT TO BE 6 FT HIGH TO BOTTOM OF SIGN. FOR GROUND MOUNTED SIGNS.

SIGNS WITHIN PARKING GARAGE TO BE MOUNTED ON WALL WITH SIGN HEIGHT TO BE 6 FT TO BOTTOM OF SIGN.

TYP. SIGNAGE DETAIL NTS





PAINTED MARKINGS AND WALKWAY DETAIL NTS

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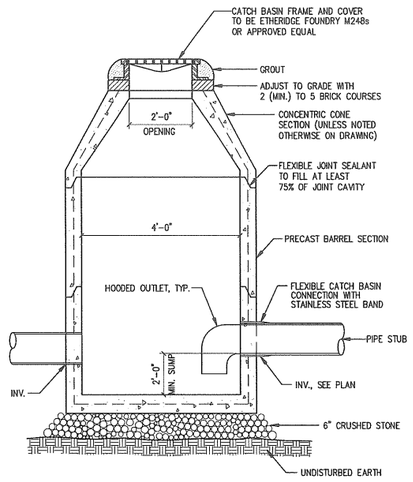
C2

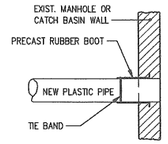


CATCH BASIN DETAIL NTS

1. ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 lbs. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-478-67
3. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED PICK HOLE.
9. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

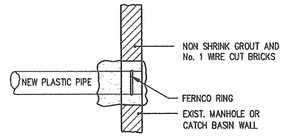
CATCH BASIN NOTES NTS

NOTE: REMOVE WATERPROOFING FROM STRUCTURE BEFORE APPLYING MORTAR. WATERPROOF AGAIN AFTER MORTAR HAS SET.



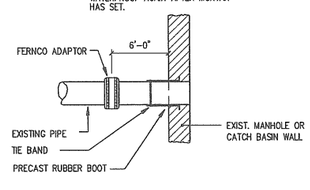
METHOD 2 – NEW CONSTRUCTION

NOTE: EXISTING MANHOLE OR CATCH BASIN SHALL BE CORE DRILLED FOR PIPE INSTALLATION. IF PIPE DIAMETER IS SO LARGE THAT CORE DRILLING IS PROHIBITED, THE CONTRACTOR MAY USE ANY COMBINATION OF JACK HAMMERING AND SAW CUTTING THE STRUCTURE TO CREATE PIPE OPENING. THE NEW OPENING MUST THEN BE SEALED AND WATERTIGHT BOTH INSIDE AND OUTSIDE THE STRUCTURE.



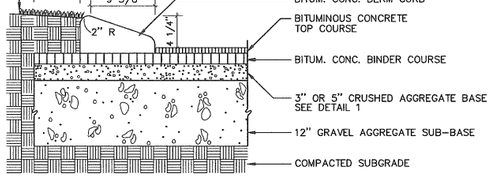
METHOD 3 – NEW PIPE INTO EXISTING STRUCTURE

NOTE: REMOVE WATERPROOFING FROM STRUCTURE BEFORE APPLYING MORTAR. WATERPROOF AGAIN AFTER MORTAR HAS SET.

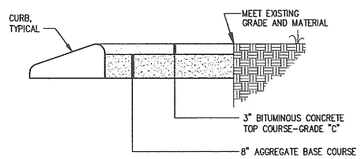


METHOD 1 – EXISTING PIPE INTO NEW STRUCTURE

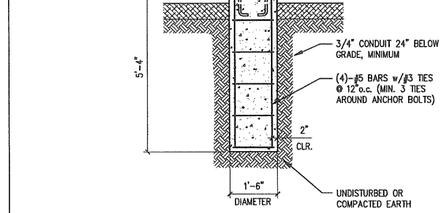
TYPICAL PIPE TO MANHOLE CONNECTION DETAILS NTS



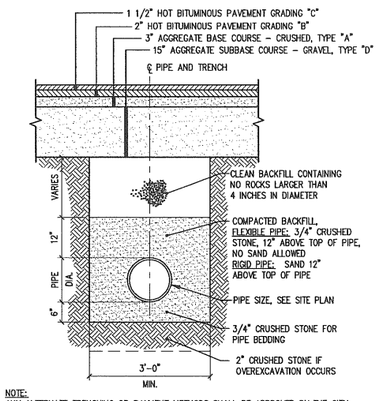
TYPICAL BOLLARD DETAIL NTS



BITUMINOUS WALKWAY DETAIL NTS

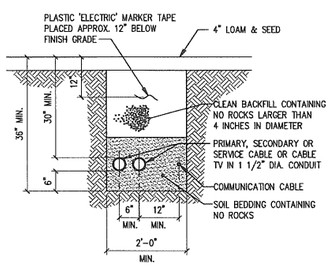


TYPICAL LIGHT BASE DETAIL NTS

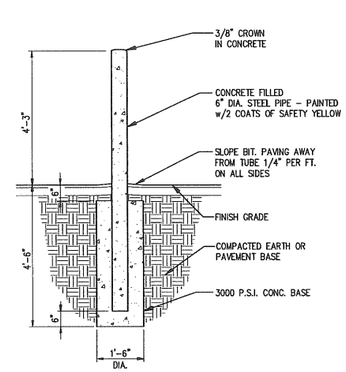


NOTE:
ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED BY THE CITY.

TYPICAL UNDERGROUND PIPE TRENCH SECTION NTS



TYPICAL UNDERGROUND WIRE TRENCH DETAIL NTS



TYPICAL BOLLARD DETAIL NTS

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SHEET TITLE:

SITE DETAILS, SHEET 2

DESIGNED:	ED
DRAWN:	ED
DATE:	1-29-09
CADD FILE:	8104-C1.DWG
PROJECT NUMBER:	8104

C3

EROSION AND SEDIMENTATION NOTES

1. THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR DEALING WITH SOIL EROSION AND SEDIMENTATION DURING AND AFTER PROJECT CONSTRUCTION. THIS PLAN IS BASED ON THE STANDARD AND SPECIFICATIONS FOR EROSION PREVENTION AS CONTAINED IN THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE MAINE DEP, LATEST EDITION.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

1. EROSION/SEDIMENT CONTROL DEVICES
THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

1.1 SILT FENCE: SILT FENCE WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SILT FENCE WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SILT FENCE AND TO PROVIDE ADDITIONAL TREATMENT.

1.2 HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.

1.3 RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.

1.4 LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.

1.5 STRAW AND HAY MULCH; USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. ALL OTHER SLOPES MUST BE COVERED WITH JUTE MESH OVER MULCH, OR CURLEX II OR EXCELSIOR MAY BE USED IN PLACE OF JUTE MESH AND MULCH OVER LOAM AND SEED.

1.6 MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.

2. TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

2.1 SILTATION FENCE ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SILTATION FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.

2.2 HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SILT FENCE.

2.3 PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:

A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
C. STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
D. SURROUND STOCKPILE SOIL WITH SILTATION FENCE AT BASE OF PILE.

2.4 ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 15 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.

2.5 IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.

2.6 TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

3. PERMANENT EROSION CONTROL MEASURES
THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

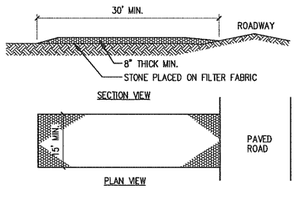
3.1 ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LINED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.

3.2 SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.

CONSTRUCTION PHASE

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 15 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THEN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SILTATION FENCE BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
   A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
   B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
   C. INSTALL SILT FENCE AROUND STOCKPILE AT BASE OF PILE.
   STOCKPILES TO HAVE SILT FENCE INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE EITHER:
   A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
   B. SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.



NOTES:
1. STONE SIZE: 2 1/2" TO 1 1/2" USE CRUSHED STONE.
2. THICKNESS: MINIMUM OF 8".
3. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC TRAVELLED WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE.

STABILIZED CONSTRUCTION ENTRANCE
NTS

POST-CONSTRUCTION REVEGETATION

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS	SWALES
KENTUCKY BLUEGRASS 0.46 LBS/1000 SF.	RED TOP 0.05 LBS/1000 SF.
CREEPING RED FESCUE 0.46 LBS/1000 SF.	TALL FESCUE 0.46 LBS/1000 SF.
PERENNIAL RYE GRASS 0.11 LB/1000 SF.	

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
   A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
      I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
      II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
      III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
   B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
   A. ONLY UNFROZEN LOAM SHALL BE USED.
   B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
   C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
   D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
   E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
   F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.
MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SILT FENCE, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SILT FENCE BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

EROSION CONTROL DURING WINTER CONSTRUCTION

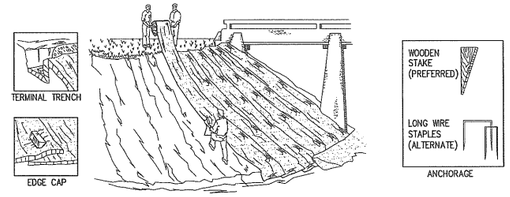
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SILT FENCE OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
8. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1 THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
9. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
10. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
   IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER TO THE CITY.

MAINTENANCE AFTER CONSTRUCTION

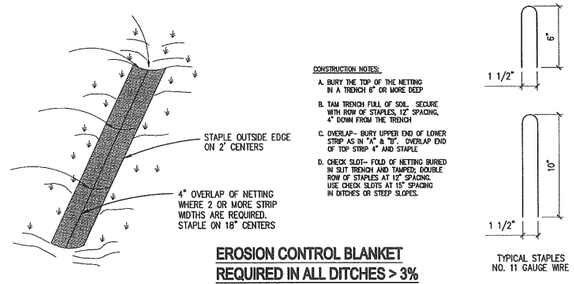
1. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THEIR DESIGNEE. SUCH RESPONSIBILITIES INCLUDE BUT ARE NOT LIMITED TO THOSE DETAILED AS FOLLOWS:
   A. PARKING LOT SHALL BE MECHANICALLY SWEPT TWICE PER YEAR. THE FIRST SHALL TAKE PLACE IN THE MID WINTER (JANUARY THAW) TO REMOVE ACCUMULATED SANDS FROM WINTER SANDING TO THIS POINT. THE SECOND SWEEPING SHALL TAKE PLACE AFTER WINTER SANDING OPERATIONS TERMINATE BUT PRIOR TO MAY 1.
   B. INSPECTION OF STORMWATER OUTLET STRUCTURE SHOULD BE CONDUCTED TWCE PER YEAR. ACCESS TO THE STRUCTURE IS THROUGH THE TOP. THE OIL/WATER SEPARATOR UNIT SHALL BE PUMPED DOWN AND THE SEDIMENT AND TRASH SHALL BE REMOVED AT THE TIME OF THE INSPECTION. THE REMOVAL OF ALL SEDIMENT AND TRASH WILL HELP MINIMIZE VOLUME LOSS.
2. THE OWNER SHALL FILE A YEARLY MAINTENANCE REPORT TO THE CITY DOCUMENTING THE REQUIRED MAINTENANCE FOR THE STORMWATER SYSTEM.



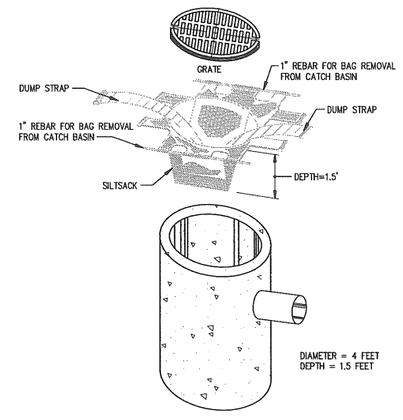
- UNROLL MAT ONTO GROUND IN DIRECTION OF WATER FLOW.
- MAT SHOULD LIE FLAT. DO NOT STRETCH MAT OVER GROUND. STRETCHING MAY CAUSE MAT TO BRIDGE DEPRESSIONS IN THE SURFACE AND ALLOW EROSION UNDERNEATH.
- BURY TRANSVERSE TERMINAL ENDS OF MAT TO SECURE AND PREVENT EROSIVE FLOW UNDERNEATH.
- SECURE MAT SNUGLY INTO ALL TRANSVERSE CHECK SLOTS.
- BACKFILL AND COMPACT TRENCHES AND CHECK SLOTS AFTER STAKING THE MAT IN BOTTOM OF TRENCH.
- OVERLAP ROLL ENDS BY THREE (3) FEET (MIN.) WITH UPSLOPE MAT ON TOP TO PREVENT UPLIFT OF MAT END BY WATER FLOW. IF INSTALLING IN THE DIRECTION OF A CONCENTRATED WATER FLOW, START NEW ROLLS IN A TRANSVERSE DITCH.
- OVERLAP ADJACENT EDGES OF MAT BY THREE (3) INCHES (MIN.) AND STAKE.
- WOOD STAKES ARE RECOMMENDED FOR PINNING MAT TO THE GROUND SURFACE. STAKES SHOULD BE 1" X 3" NOMINAL STOCK CUT IN A TRIANGULAR SHAPE. STAKES SHOULD BE 12" TO 18" LONG, DEPENDING ON SOIL DENSITY.
- DRIVE WOODEN STAKES TO WITHIN THREE (3) INCHES OF GROUND SURFACE. DO NOT DRIVE FLUSH TO SURFACE.
- IN ALL TRANSVERSE TERMINAL TRENCHES AND CHECK SLOTS, STAKE EACH MAT AT ITS CENTER AND OVERLAP EDGES BEFORE BACKFILLING AND COMPACTING.
- STAKE OVERLAPS LONGITUDINALLY AT THREE (3) TO FIVE (5) FOOT INTERVALS.
- FOLOW COLORED DOT PATTERNS BY MANUFACTURER

REQUIRED ON ALL SLOPES > 8% (WINTER CONSTRUCTION)
REQUIRED ON ALL SLOPES > 15% (SUMMER CONSTRUCTION)

EROSION CONTROL BLANKET
GENERAL INSTALLATION GUIDELINES ON SLOPES
NTS



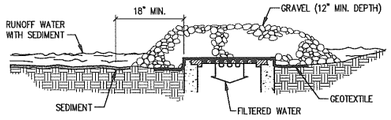
EROSION CONTROL BLANKET REQUIRED IN ALL DITCHES > 3%
NOTE: GRADING PLAN GOVERNS IN ALL LOCATIONS



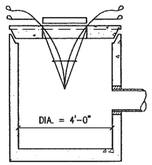
"SILTSACK" INSTALLATION INSTRUCTION

1. REMOVE THE CATCH BASIN GRATE AND PLACE THE SACK INTO THE OPENING. HOLD OUT APPROXIMATELY SIX (6) INCHES OF THE SACK BEYOND THE BASIN FRAME TO ALLOW ACCESS TO THE "SILTSACK" LIFTING STRAPS. REPLACING THE GRATE BACK INSIDE OF ITS FRAME WILL HOLD THE SACK IN PLACE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THIS SEDIMENT CONTROL DEVICE. THE SACK IS CONSIDERED FULL AND READY TO EMPTY WHEN THE THE "RESTRAINT CORD" IS NO LONGER VISIBLE.
3. THE "SILTSACK" IS REMOVED BY PLACING TWO (2) PIECES IF 1 INCH DIAMETER REBAR THROUGH THE LIFTING LOOPS LOCATED ON EACH SIDE OF THE SACK AND LIFTING WITH AN APPROPRIATE PIECE OF CONSTRUCTION EQUIPMENT. THE LIFTING STRAPS ARE CONNECTED TO THE BOTTOM OF THE SACK AND THE LIFTING ACTION WILL CAUSE THE SACK TO TURN INSIDE OUT, AND EMPTYING THE CONTENTS. THE SACK SHOULD THEN BE CLEANED, RINSED AND RETURNED TO ITS ORIGINAL SHAPE AND PLACED BACK IN THE BASIN.
4. THE "SILTSACK" IS REUSABLE, THEREFORE, ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SACK FROM THE BASIN, CLEAN AND STORE OUT OF DIRECT SUNLIGHT UNTIL ITS NEXT USE.
5. THE "SILTSACK" SEDIMENT CONTROL DEVICE IS MANUFACTURED BY: ACF ENVIRONMENTAL

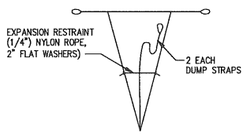
NOTE:
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.



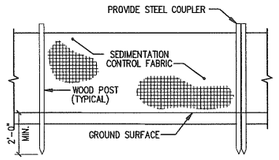
GRAVEL AND GEOTEXTILE DROP INLET SEDIMENT FILTER
NTS



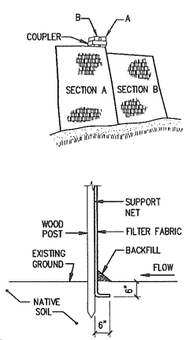
INSTALLATION DETAIL



BAG DETAIL



NOTE:
BOTTOM OF SILT FENCE MUST BE TOED INTO GROUND



SILTATION FENCE DETAIL
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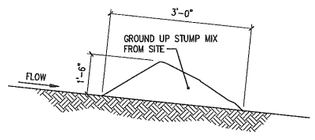


MAY BE USED IN LIEU OF SILT FENCE

EROSION CONTROL MIX DETAIL
N.T.S.

SILTATION FENCE INSTALLATION

1. EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPLISHED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

CASCO BAY ENGINEERING
426 Fore Street
Portland, ME 04101
Phone 207.842.2800
Fax 207.842.2828
www.cascobayengineering.com

Mitchell & Associates
LANDSCAPE ARCHITECTS

CWB ARCHITECTS

shinberg CONSULTING, LLC

CLIENT:
BAYSIDE MAINE, LLC
477 CONGRESS STREET
SUITE 1012
PORTLAND, ME 04101
TEL: (207) 772-7070
CONTACT: GREG SHINBERG

645 CONGRESS STREET
PORTLAND MAINE
BUILDING RENOVATION

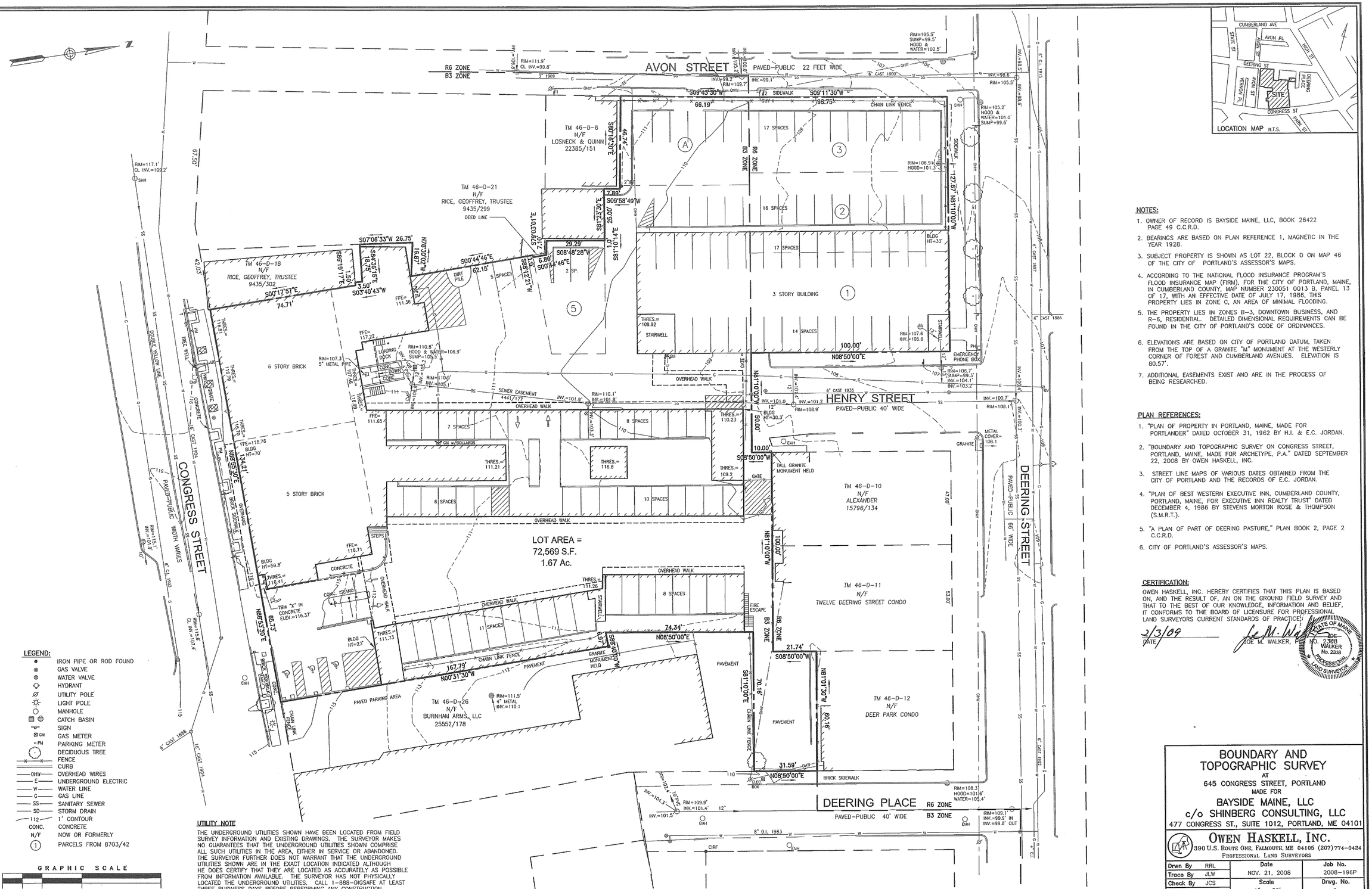
REVISIONS

No.	DATE	ISSUE
A	2-3-09	PLANNING REVIEW

SHEET TITLE:
EROSION CONTROL DETAILS

DESIGNED:	ED
DRAWN:	ED
DATE:	1-29-09
CADD FILE:	8104-C1.DWG
PROJECT NUMBER:	8104

C4



NOTES:

1. OWNER OF RECORD IS BAYSIDE MAINE, LLC, BOOK 26422 PAGE 49 C.C.R.D.
2. BEARINGS ARE BASED ON PLAN REFERENCE 1, MAGNETIC IN THE YEAR 1928.
3. SUBJECT PROPERTY IS SHOWN AS LOT 22, BLOCK D ON MAP 46 OF THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
4. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE MAP (FIRM), FOR THE CITY OF PORTLAND, MAINE, IN CUMBERLAND COUNTY, MAP NUMBER 230051 0013 B, PANEL 13 OF 17, WITH AN EFFECTIVE DATE OF JULY 17, 1986, THIS PROPERTY LIES IN ZONE C, AN AREA OF MINIMAL FLOODING.
5. THE PROPERTY LIES IN ZONES B–3, DOWNTOWN BUSINESS, AND R–6, RESIDENTIAL. DETAILED DIMENSIONAL REQUIREMENTS CAN BE FOUND IN THE CITY OF PORTLAND'S CODE OF ORDINANCES.
6. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM, TAKEN FROM THE TOP OF A GRANITE "M" MONUMENT AT THE WESTERLY CORNER OF FOREST AND CUMBERLAND AVENUES. ELEVATION IS 80.57'.
7. ADDITIONAL EASEMENTS EXIST AND ARE IN THE PROCESS OF BEING RESEARCHED.

PLAN REFERENCES:

1. "PLAN OF PROPERTY IN PORTLAND, MAINE, MADE FOR PORTLANDER" DATED OCTOBER 31, 1962 BY H.I. & E.C. JORDAN.
2. "BOUNDARY AND TOPOGRAPHIC SURVEY ON CONGRESS STREET, PORTLAND, MAINE, MADE FOR ARCHETYPE, P.A." DATED SEPTEMBER 22, 2008 BY OWEN HASKELL, INC.
3. STREET LINE MAPS OF VARIOUS DATES OBTAINED FROM THE CITY OF PORTLAND AND THE RECORDS OF E.C. JORDAN.
4. "PLAN OF BEST WESTERN EXECUTIVE INN, CUMBERLAND COUNTY, PORTLAND, MAINE, FOR EXECUTIVE INN REALTY TRUST" DATED DECEMBER 4, 1986 BY STEVENS MORTON ROSE & THOMPSON (S.M.R.T.).
5. "A PLAN OF PART OF DEERING PASTURE," PLAN BOOK 2, PAGE 2 C.C.R.D.
6. CITY OF PORTLAND'S ASSESSOR'S MAPS.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

2/3/09
DATE

JOE M. WALKER, PLS NO. 2338

STATE OF MAINE JOE M. WALKER No. 2338 PROFESSIONAL LAND SURVEYOR

LEGEND:

- IRON PIPE OR ROD FOUND
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- LIGHT POLE
- MANHOLE
- CATCH BASIN
- SIGN
- GAS METER
- PARKING METER
- DECIDUOUS TREE
- FENCE
- CURB
- OHW — OVERHEAD WIRES
- E — UNDERGROUND ELECTRIC
- W — WATER LINE
- G — GAS LINE
- SS — SANITARY SEWER
- SD — STORM DRAIN
- 112 — 1' CONTOUR
- CONC. CONCRETE
- N/F NOW OR FORMERLY
- (1) PARCELS FROM 8703/42

GRAPHIC SCALE
0 10' 20' 40' 80'

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1–888–DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

BOUNDARY AND TOPOGRAPHIC SURVEY

AT

645 CONGRESS STREET, PORTLAND

MADE FOR

BAYSIDE MAINE, LLC
c/o SHINBERG CONSULTING, LLC
477 CONGRESS ST., SUITE 1012, PORTLAND, ME 04101

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207)774–0424
PROFESSIONAL LAND SURVEYORS

Drwn By	RRL	Date	Job No.
Trace By	JLW	NOV. 21, 2008	2008–196P
Check By	JCS	Scale	Drwg. No.
Book No.	1081	1" = 20'	1

GRAPHIC SCALE

20 0 20 40

1 inch = 20 ft.

CATCH BASIN AND DRAINAGE MANHOLE SCHEDULE				
LABEL	RIM ELEV.	INV. IN ELEV.	INV. OUT ELEV.	REMARKS
CB-1	109.50		105.0	
CB-2	109.0	101.30	101.25	FIELD VERIFY EXISTING PIPE ELEVATION
CB-3	108.60		104.0	
SMH-1	109.20	104.75	103.0	FUTURE SEWER CONNECTION MANHOLE

NOTES:
1. REFER TO CATCH BASIN DETAILS ON DRAWING C2.
2. ALL INVERT ELEVATIONS BASED ON FIELD INSTALLATION DETERMINED BY CONTRACTOR.

AVON STREET
PAVED-PUBLIC 22 FEET WIDE
ONE-WAY

HENRY STREET
PAVED-PUBLIC 40' WIDE

DEERING PLACE
PAVED-PUBLIC 40' WIDE

CONGRESS STREET
PAVED-PUBLIC WIDTH VARIES

DEERING STREET
PAVED-PUBLIC 66' WIDE

R6 ZONE
B3 ZONE

BURNHAM ARMS, LLC

ALEXANDER

TWELVE DEERING STREET CONDO

DEER PARK CONDO

PROVIDE NEW CATCH BASIN IN LINE WITH EXISTING SEWER DRAIN LINE, FIELD VERIFY LOCATION AND ELEVATION OF EXISTING LINE

INSTALL NEW CASCO TRAPS AT ALL EXIST. CATCH BASINS, TYP.

GREASE TRAP MANHOLE SEE DETAIL ON DWG. C3.2

SEE SHEET D1.00 FOR DEMOLITION REQUIREMENTS

(FUTURE SANITARY SEWER MAIN) IN CONTRACT TO BE CONSTRUCTED

8" SDR 35 L=190', S=0.005 INV. IN EL. 103.0 INV. OUT EL. 102.0 (FUTURE SEWER MAIN)

12" SDR 35 L=62', S=0.008 INV. IN EL. 104.0 INV. OUT EL. 103.50

8" SDR 35 L=7', S=0.014 INV. IN EL. 101.60 INV. OUT EL. 101.50 (LINE SHALL BE SEALED AT FUTURE SEWER AND DRAIN LINE SEPARATION AT HENRY STREET TO CB-4)

12" SDR 35 L=52', S=0.008 INV. IN EL. 105.0 INV. OUT EL. 104.60

CAP EXISTING UTILITIES TO DEMOLISHED BUILDINGS, SEE NOTE 3, TYP.

CAP EXISTING UTILITIES TO DEMOLISHED BUILDINGS SEE NOTE 3, TYP.

SEE LANDSCAPE ARCHITECT'S DWGS. FOR CURB LAYOUT, PARKING AREA LAYOUT, PLANTING SPECIFICATIONS AND MATERIAL SPECIFICATIONS

PROVIDE TEMPORARY SILTSACK SEDIMENT CONTROL DEVICE DURING CONSTRUCTION, TYP. SEE DETAIL ON DWG. C4

PROPOSED LAWN AREA, MATCH EXISTING GRADE

NEW PAVING

EXISTING CONCRETE ISLAND

WALKWAY

BRICK ENTRY 1%, SEE NOTES ON LANDSCAPE DWG FOR GRADING SIDEWALK

BRICK SIDEWALK

CONCRETE SIDEWALK

BITUMINOUS WALK

PAVED PARKING AREA

EXISTING CHAIN LINK FENCE

ADJUST RIMS AS NECESSARY

EXISTING GRATE, TYP.

TBM "X" IN CONCRETE ELEV.=116.39'

PLAN NOTES

1. ALL DRAINAGE PIPES SHALL BE 12" DIAMETER SDR 35 PIPE WITH A MINIMUM SLOPE OF 0.008 UNLESS NOTED OTHERWISE.
2. DUE TO POSSIBLE LEDGE CONDITIONS DISCOVERED IN THE FIELD, CHANGES MAY NEED TO BE MADE TO THE DRAINAGE SYSTEM. CONTRACTOR SHALL COORDINATE ALL PROPOSED FIELD CHANGES WITH THE PROJECT ENGINEER BEFORE INSTALLATION.
3. ALL EXISTING UTILITIES INTO DEMOLISHED BUILDINGS SHALL BE SEALED AT MAIN OR MANHOLE IN ACCORDANCE WITH CURRENT CITY REGULATIONS (BY OWNER).
4. THE "FUTURE" GREASE TRAP SHOWN ON THIS PLAN IS FOR REFERENCE ONLY AT THIS TIME. A GREASE TRAP WILL NEED TO BE SIZED ACCORDING TO THE CITY OF PORTLAND STANDARDS "IF AND WHEN" A RESTAURANT TENANT WILL OCCUPY SPACE ON THE SUBJECT PROPERTY. AT THE TIME OF SUCH OCCUPANCY, THE GREASE TRAP WILL NEED TO BE INSTALLED TO THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS. THE "FUTURE" GREASE TRAP WILL ALSO NEED A SEPARATE DRAINAGE LINE FROM THE FUTURE RESTAURANT KITCHEN.
5. REFERENCE SHEET 2 LAYOUT AND LIGHTING PLAN FOR SITE ELECTRICAL CONDUIT REQUIREMENTS.

GENERAL NOTES

1.) BOUNDARY AND TOPOGRAPHY INFORMATION TAKEN FROM OWEN HASKELL, PROJECT SURVEYOR.

2.) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.

3.) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.

4.) ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.

5.) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

6.) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-800-225-4977) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.

7.) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.

8.) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE . IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.

9.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.

10.) THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA. HOUSE AND DRIVEWAYS SHOWN ARE CONCEPTUAL. ALL SITE DIMENSIONS ARE REFERENCED TO PROPERTY LINES, THE FACE OF CURBS, OUTSIDE FACE OF WALLS, OR EDGE OF PAVING UNLESS OTHERWISE NOTED.

11.) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.

12.) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

13.) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.

14.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.

15.) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.

16.) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.

17.) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.

18.) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/ FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
□	GRANITE MONUMENT - 3' OFFSET	■
○IPF	IRON PIN FOUND/SET	○IPS
○IRF	IRON ROD FOUND	
☆CRF	CAPED IRON ROD FOUND	
◉DHF	DRILL HOLE FOUND	
□MON	GRANITE MONUMENT FOUND	
	STREET LINE	
	LOT SETBACKS	
	PROPERTY LINE	
	ABUTTOR LINE	
	"NO CUT" BUFFER	
	WETLANDS	
	EDGE OF ROAD/TRAVELLED WAY	
SP #3	SOIL TEST PIT	SP #3
-10-	CONTOUR	-10-
327x60 x 327.6	SPOT GRADE	327x60 x 327.6
GAS	GAS SHUT-OFF	
	UTILITY POLE	
OE	OVERHEAD ELECTRICAL	OE
UE&T	UNDERGROUND ELECTRICAL	UE&T
T	ELECTRICAL TRANSFORMER	T
	FIRE HYDRANT	
8"-W	WATER LINE	8"-W 8" W
WG	WATER GATE	
12" S	SEWER LINE	12" S
SMH	SEWER MANHOLE	SMH-1
DMH	DRAINAGE MANHOLE	DMH-1
CB	CATCH BASIN	CB-1
UD/SD	UNDERDRAIN/STORMDRAIN	UD/SD
UD	UNDERDRAIN	UD
	SILT FENCE	SF
	TEMP. STONE CHECK DAM	
	GRADING AND FLOW DIRECTION	
	HAY BALES	
	EROSION CONTROL BLANKET	
	STORMWATER BOUNDARY	
	STORMWATER FLOW (Tc)	
	FACE OF LEDGE OUTCROP	
	BIRCH	
	MAPLE	
	TREE LINE	
	SITE LIGHTING (CAMBRIDGE MEDALLION SERIES)	
	STONE WALL	

GRADING, DRAINAGE AND UTILITY PLAN

SCALE: 1"=20'-0"

CASCO BAY ENGINEERING
424 Fore Street
Portland, ME 04101
Phone 207.842.2800
Fax 207.842.2828
www.cascobayengineering.com

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CWS ARCHITECTS
424 CUMBERLAND AVENUE
PORTLAND, MAINE 04101-2326
TEL: (207) 774-4441
FAX: (207) 774-6355

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CLIENT:
BAYSIDE MAINE, LLC
477 CONGRESS STREET
SUITE 1012
PORTLAND, ME 04101
TEL: (207) 772-7070
CONTACT: GREG SHINBERG

STATE OF MAINE
STEPHEN J. ROBERTS
#4835
REGISTERED PROFESSIONAL ENGINEER

645 CONGRESS STREET
PORTLAND MAINE
BUILDING RENOVATION

REVISIONS

No.	DATE	ISSUE
A	2-3-09	PLANNING REVIEW
B	3-17-09	PLANNING REVIEW
C	4-7-09	PLANNING REVIEW
D	4-21-09	PLANNING REVIEW
E	5-4-09	FINAL PLANNING REVIEW
F	5-8-09	FINAL PLANNING REVIEW
G	5-27-09	ISSUED FOR BIDDING AND PERMITTING
H	10-2-09	ADDENDUM #1
I	10-5-09	ADDENDUM #3
K	8-16-10	FINAL AS-BUILTS

SHEET TITLE:

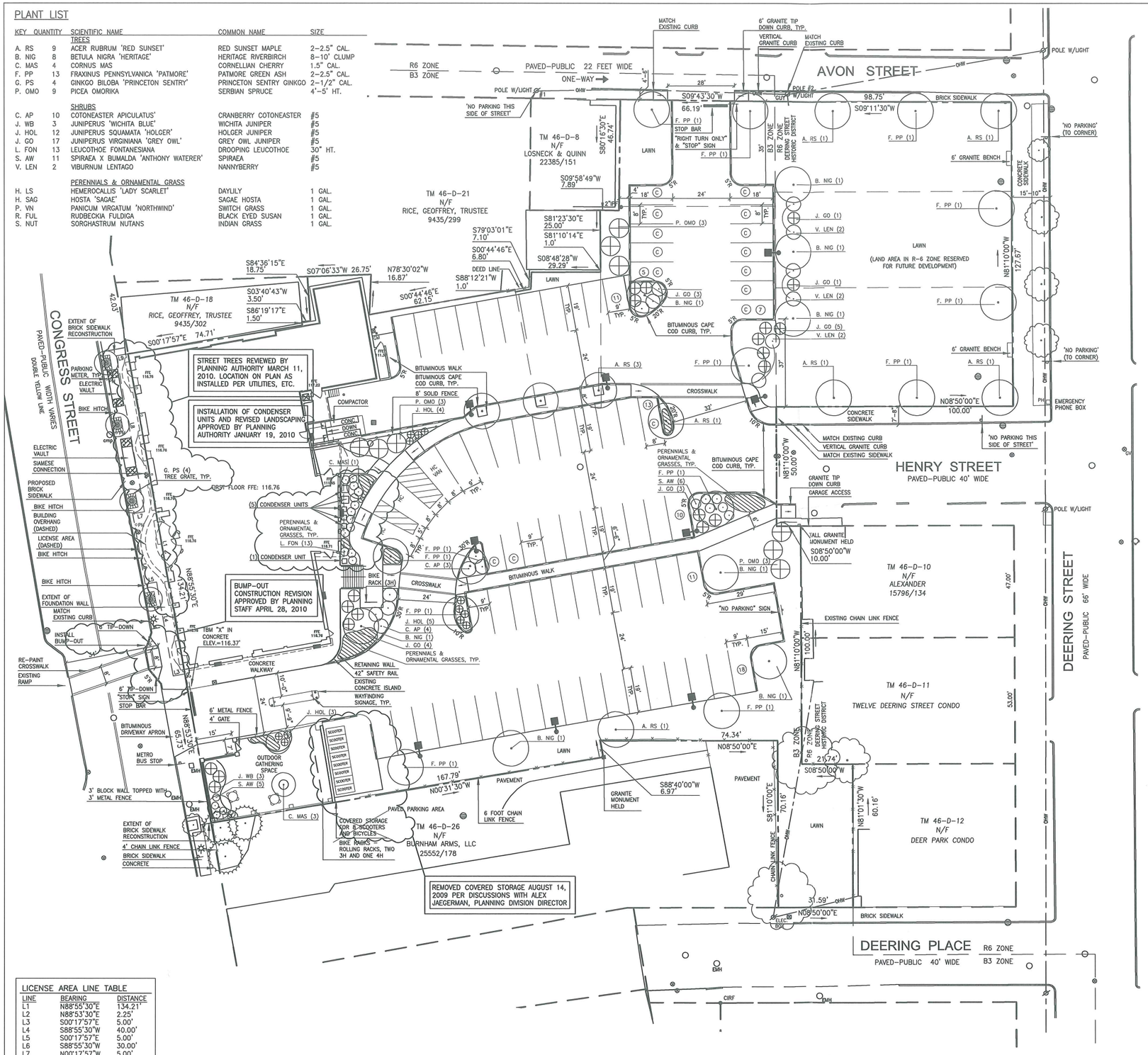
GRADING, DRAINAGE AND UTILITY PLAN

DESIGNED:	ED
DRAWN:	ED
DATE:	1-29-09
CADD FILE:	804-CIDWG
PROJECT NUMBER:	804

C1

PLANT LIST

KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
		TREES		
A. RS	9	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2–2.5" CAL.
B. NIG	8	BETULA NIGRA 'HERITAGE'	HERITAGE RIVERBIRCH	8–10' CLUMP
C. MAS	4	CORNUS MAS	CORNELLIAN CHERRY	1.5" CAL.
F. PP	13	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE GREEN ASH	2–2.5" CAL.
G. PS	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2–1/2" CAL.
P. OMO	9	PICEA OMORIKA	SERBIAN SPRUCE	4'–5' HT.
		SHRUBS		
C. AP	10	COTONEASTER APICULATUS'	CRANBERRY COTONEASTER	#5
J. WB	3	JUNIPERUS 'WICHITA BLUE'	WICHITA JUNIPER	#5
J. HOL	12	JUNIPERUS SQUAMATA 'HOLGER'	HOLGER JUNIPER	#5
J. GO	17	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5
L. FON	13	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	30" HT.
S. AW	11	SPIRAEA X BUMALDA 'ANTHONY WATERER'	SPIRAEA	#5
V. LEN	2	VIBURNUM LENTAGO	NANNYBERRY	#5
		PERENNIALS & ORNAMENTAL GRASS		
H. LS		HEMEROCALLIS 'LADY SCARLET'	DAYLILY	1 GAL.
H. SAG		HOSTA 'SAGAE'	SAGAE HOSTA	1 GAL.
P. VN		PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	1 GAL.
R. FUL		RUDBECKIA FULDIGA	BLACK EYED SUSAN	1 GAL.
S. NUT		SORGHASTRUM NUTANS	INDIAN GRASS	1 GAL.



LICENSE AREA LINE TABLE

LINE	BEARING	DISTANCE
L1	N88°55'30"E	134.21'
L2	N88°53'30"E	2.25'
L3	S00°17'57"E	5.00'
L4	S88°55'30"W	40.00'
L5	S00°17'57"E	5.00'
L6	S88°55'30"W	30.00'
L7	N00°17'57"W	5.00'
L8	S88°55'30"W	66.46'
L9	N00°17'57"W	5.00'

GENERAL NOTES:

1. SITE AREA: 72,569 SF OR 1.67 ACRES
2. OWNER: BAYSIDE MAINE LLC
   477 CONGRESS STREET, SUITE 1012
   PORTLAND, MAINE 04101
3. ZONING DISTRICTS: ALONG CONGRESS STREET, "B3" – DOWNTOWN BUSINESS WITH "DEOZ" DOWNTOWN ENTERTAINMENT ZONE OVERLAY AND "PAD" PEDESTRIAN ACTIVITIES DISTRICT. ALONG DEERING STREET: "R6" – RESIDENTIAL.
4. SPACE AND BULK STANDARDS:

B3 – DOWNTOWN BUSINESS ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	59,770 SF
MINIMUM STREET FRONTAGE:	15 FEET	134 FEET
STREET WALL BUILT–TO LINE:	WITHIN 5 FEET	0 FEET
MINIMUM YARD DIMENSIONS:	NONE	NONE
MINIMUM LOT WIDTH:	NONE	134 FEET
MAXIMUM LENGTH UNDIFFERENTIATED WALL:	15 FEET	16 FEET *
MAXIMUM LOT COVERAGE:	100%	18%
MINIMUM BUILDING HEIGHT:	35 FEET	70 FEET
MAXIMUM HEIGHT OF STRUCTURES:	85 FEET	70 FEET

* UNDIFFERENTIATED WALL DUE TO EXISTING UTILITIES & WALL STRUCTURE

R6 – RESIDENTIAL ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE (RESIDENTIAL):	4,500 SF	12,799 SF
MINIMUM AREA PER DWELLING UNIT:	1,000 SF (1ST 3)	N/A
	1,200 SF (OVER 4)	
MINIMUM STREET FRONTAGE:	40 FEET	327 FEET
MINIMUM FRONT YARD SETBACK:	10 FEET	N/A
MINIMUM REAR YARD SETBACK:	20 FEET	N/A
MINIMUM SIDE YARD SETBACK:	10 FEET (3 STORIES)	N/A
MINIMUM SIDE YARD ON STREET SETBACK:	10 FEET	N/A
MAXIMUM LOT COVERAGE:	40% (20+ UNITS)	N/A
	50% (LESS THAN 20 UNITS)	
MINIMUM LOT WIDTH:	50 FEET	127 FEET
MAXIMUM STRUCTURE HEIGHT:	45 FEET	N/A
OPEN SPACE RATIO:	30% (20+ UNITS)	N/A
	20% (LESS THAN 20 UNITS)	

5. OFF–STREET PARKING REQUIREMENTS:
   REQUIRED: NO OFF–STREET PARKING REQUIRED FOR CHANGES IN USE. RESIDENTIAL–ONE (1) SPACE/DWELLING UNIT. RETAIL STORES–ONE (1) SPACE FOR EACH TWO HUNDRED (200) SF OF FIRST FLOOR AREA IN EXCESS OF TWO THOUSAND (2,000) SF NOT USED FOR BULK STORAGE.

   REQUIRED:
   DWELLING UNITS (56 DWELLING UNITS)
   30% PUBLIC TRANSPORTATION USERS (16 UNITS) = 0 SPACES
   70% HAVE VEHICLE (40 UNITS) = 40 SPACES
   RETAIL (11,820 SF–2,820 SF STORAGE=9,000 SF)
   (9,000 SF–2,000 SF=7,000 SF/200 SF) = 35 SPACES
   TOTAL = 75 SPACES
   PROPOSED: 75 SPACES (15 COMPACT, 3 ACCESSIBLE) & 8 SCOOTER
6. OFF–STREET LOADING:
   REQUIRED: 1 BAY (5,000–40,000 SF GROSS FLOOR AREA)
   PROPOSED: 1 BAY
7. BICYCLE PARKING:
   REQUIRED: RESIDENTIAL: 2 SPACES/5 DWELLING UNITS = 24 BICYCLE SPACES. RETAIL: 2 SPACES/10 VEHICLE SPACES UP TO 100 = 8 BICYCLE SPACES
   PROPOSED: 30 SPACES (ON SITE), 8 SPACES (ON CONGRESS STREET)
8. SITE LIGHTING TO BE MANUFACTURED BY KIM LIGHTING. SITE FIXTURES ARE SMALL ARCHETYPE (SAR) 150 WATT METAL HALIDE, 20 FOOT MOUNTING HEIGHT. BUILDING MOUNTED FIXTURES TO BE WALL DIRECTOR (WD) 150 WATT METAL HALIDE. COLOR TO BE DARK BRONZE (DB–P).
9. EXISTING IMPERVIOUS: 70,906 SF (98% OF SITE)
   PROPOSED IMPERVIOUS: 48,330 SF (67% OF SITE)

SURVEY NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY OF 645 CONGRESS STREET MADE FOR BAYSIDE, MAINE LLC, C/O SHINBERG CONSULTING, LLC BY OWEN HASKELL, INC., 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774–0424. PRELIMINARY SURVEY DATED NOVEMBER 21, 2008.
2. BEARINGS ARE BASED ON PLAN REFERENCE 1, MAGNETIC IN THE YEAR 1928.
3. SUBJECT PROPERTY IS SHOWN AS LOT 22, BLOCK D ON MAP 46 OF THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
4. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE MAP (FIRM), FOR THE CITY OF PORTLAND, MAINE, IN CUMBERLAND COUNTY, MAP NUMBER 230051 0013 B, PANEL 13 OF 17, WITH AN EFFECTIVE DATE OF JULY 17, 1986, THIS PROPERTY LIES IN ZONE C, AN AREA OF MINIMAL FLOODING.
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM, TAKEN FROM THE TOP OF A GRANITE "M" MONUMENT AT THE WESTERLY CORNER OF FOREST AND CUMBERLAND AVENUES. ELEVATION IS 80.57'.
6. ADDITIONAL EASEMENTS EXIST AND ARE IN THE PROCESS OF BEING RESEARCHED.

LEGEND:

	EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	●	
GAS VALVE	⊗	
WATER VALVE	⊗	
HYDRANT	◇	
UTILITY POLE		
LIGHT POLE	✳	■
MANHOLE	○	
CATCH BASIN	▤	
SIGN	⊸	
GAS METER	GM	
PARKING METER	PM	
DECIDUOUS TREE/SHRUB	◌	◌
EVERGREEN TREE/SHRUB		⊕
FENCE	–x–x–	–o–o–
OVERHEAD WIRES	—OHW—	
CURB		

Prepared for Owner:
BAYSIDE MAINE, LLC
477 Congress Street, Suite 1012
Portland, Maine 04101
Tel: (207) 772–7070
Contact: Greg Shinberg

Prepared By:
Mitchell & Associates LANDSCAPE ARCHITECTS
CWS ARCHITECTS
shinberg CONSULTING, LLC
CASCO BAY

645 CONGRESS STREET

645 Congress Street Portland, Maine

Date: DECEMBER 15, 2008

Issued For: PLANNING BOARD AND HISTORIC PRESERVATION BOARD REVIEW

Revisions:
January 20, 2009
February 2, 2009
March 17, 2009
March 24, 2009
April 7, 2009
April 21, 2009 – Building Overhangs and Granite Benches.
May 5, 2009 – Additional Plantings and License Area.
May 26, 2010 – As Built Plan.

Title: LAYOUT, LIGHTING AND LANDSCAPING PLAN

Scale: 1"=20'
0 10 20 40 ft.

Magnetic North:

Sheet No.: 1

PLANT LIST

KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
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F. PP	13	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE GREEN ASH	2-2.5" CAL.
G. PS	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2-1/2" CAL.
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		SHRUBS		
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J. WB	3	JUNIPERUS 'WICHITA BLUE'	WICHITA JUNIPER	#5
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J. GO	17	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5
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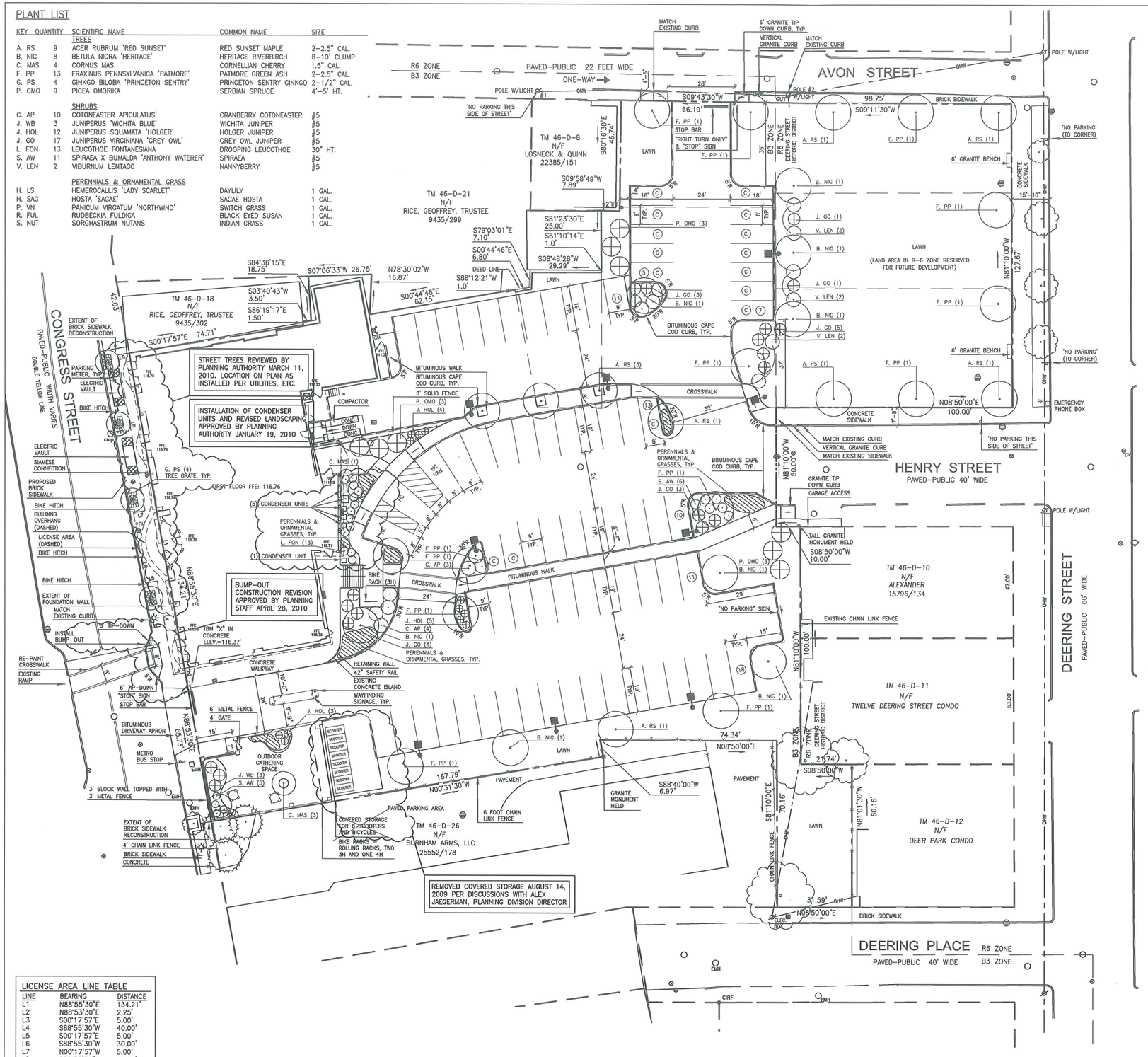
H. SAG		HOSTA 'SAGAE'	SAGAE HOSTA	1 GAL.
P. VN		PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	1 GAL.
R. FUL		RUDBECKIA FULDIGA	BLACK EYED SUSAN	1 GAL.
S. NUT		SORGHASTRUM NUTANS	INDIAN GRASS	1 GAL.



LICENSE AREA LINE TABLE

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L3	S00°17'57"E	5.00'
L4	S88°55'30"W	40.00'
L5	S00°17'57"E	5.00'
L6	S88°55'30"W	30.00'
L7	N00°17'57"W	5.00'
L8	S88°55'30"W	66.46'
L9	N00°17'57"W	5.00'

GENERAL NOTES:

1. SITE AREA: 72,569 SF OR 1.67 ACRES
2. OWNER: BAYSIDE MAINE LLC
   477 CONGRESS STREET, SUITE 1012
   PORTLAND, MAINE 04101
3. ZONING DISTRICTS: ALONG CONGRESS STREET, "B3" – DOWNTOWN BUSINESS WITH "DEOZ" DOWNTOWN ENTERTAINMENT ZONE OVERLAY AND "PAD" PEDESTRIAN ACTIVITIES DISTRICT. ALONG DEERING STREET: "R6" – RESIDENTIAL.
4. SPACE AND BULK STANDARDS:

B3 – DOWNTOWN BUSINESS ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	59,770 SF
MINIMUM STREET FRONTAGE:	15 FEET	134 FEET
STREET WALL BUILT-TO LINE:	WITHIN 5 FEET	0 FEET
MINIMUM YARD DIMENSIONS:	NONE	NONE
MINIMUM LOT WIDTH:	NONE	134 FEET
MAXIMUM LENGTH UNDIFFERENTIATED WALL:	15 FEET	16 FEET *
MAXIMUM LOT COVERAGE:	100%	18%
MINIMUM BUILDING HEIGHT:	35 FEET	70 FEET
MAXIMUM HEIGHT OF STRUCTURES:	85 FEET	70 FEET

* UNDIFFERENTIATED WALL DUE TO EXISTING UTILITIES & WALL STRUCTURE

R6 – RESIDENTIAL ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE (RESIDENTIAL):	4,500 SF	12,799 SF
MINIMUM AREA PER DWELLING UNIT:	1,000 SF (1ST 3) 1,200 SF (OVER 4)	N/A
MINIMUM STREET FRONTAGE:	40 FEET	327 FEET
MINIMUM FRONT YARD SETBACK:	10 FEET	N/A
MINIMUM REAR YARD SETBACK:	20 FEET	N/A
MINIMUM SIDE YARD SETBACK:	10 FEET (3 STORIES)	N/A
MINIMUM SIDE YARD ON STREET SETBACK:	10 FEET	N/A
MAXIMUM LOT COVERAGE:	40% (20+ UNITS) 50% (LESS THAN 20 UNITS)	N/A
MINIMUM LOT WIDTH:	50 FEET	127 FEET
MAXIMUM STRUCTURE HEIGHT:	45 FEET	N/A
OPEN SPACE RATIO:	30% (20+ UNITS) 20% (LESS THAN 20 UNITS)	N/A

5. OFF-STREET PARKING REQUIREMENTS:
   REQUIRED: NO OFF-STREET PARKING REQUIRED FOR CHANGES IN USE. RESIDENTIAL–ONE (1) SPACE/DWELLING UNIT. RETAIL STORES–ONE (1) SPACE FOR EACH TWO HUNDRED (200) SF OF FIRST FLOOR AREA IN EXCESS OF TWO THOUSAND (2,000) SF NOT USED FOR BULK STORAGE.

   REQUIRED:
   DWELLING UNITS (56 DWELLING UNITS)
   30% PUBLIC TRANSPORTATION USERS (16 UNITS) = 0 SPACES
   70% HAVE VEHICLE (40 UNITS) = 40 SPACES
   RETAIL (11,820 SF–2,820 SF STORAGE=9,000 SF)
   (9,000 SF–2,000 SF=7,000 SF/200 SF) = 35 SPACES
   TOTAL = 75 SPACES
   PROPOSED: 75 SPACES (15 COMPACT, 3 ACCESSIBLE) & 8 SCOOTER
6. OFF-STREET LOADING:
   REQUIRED: 1 BAY (5,000–40,000 SF GROSS FLOOR AREA)
   PROPOSED: 1 BAY
7. BICYCLE PARKING:
   REQUIRED: RESIDENTIAL: 2 SPACES/5 DWELLING UNITS = 24 BICYCLE SPACES. RETAIL: 2 SPACES/10 VEHICLE SPACES UP TO 100 = 8 BICYCLE SPACES
   PROPOSED: 30 SPACES (ON SITE), 8 SPACES (ON CONGRESS STREET)
8. SITE LIGHTING TO BE MANUFACTURED BY KIM LIGHTING. SITE FIXTURES ARE SMALL ARCHETYPE (SAR) 150 WATT METAL HALIDE, 20 FOOT MOUNTING HEIGHT. BUILDING MOUNTED FIXTURES TO BE WALL DIRECTOR (WD) 150 WATT METAL HALIDE. COLOR TO BE DARK BRONZE (DB–P).
9. EXISTING IMPERVIOUS: 70,906 SF (98% OF SITE)
   PROPOSED IMPERVIOUS: 48,330 SF (67% OF SITE)

SURVEY NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY OF 645 CONGRESS STREET MADE FOR BAYSIDE, MAINE LLC, C/O SHINBERG CONSULTING, LLC BY OWEN HASKELL, INC., 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774–0424. PRELIMINARY SURVEY DATED NOVEMBER 21, 2008.
2. BEARINGS ARE BASED ON PLAN REFERENCE 1, MAGNETIC IN THE YEAR 1928.
3. SUBJECT PROPERTY IS SHOWN AS LOT 22, BLOCK D ON MAP 46 OF THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
4. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE MAP (FIRM), FOR THE CITY OF PORTLAND, MAINE, IN CUMBERLAND COUNTY, MAP NUMBER 230051 0013 B, PANEL 13 OF 17, WITH AN EFFECTIVE DATE OF JULY 17, 1986, THIS PROPERTY LIES IN ZONE C, AN AREA OF MINIMAL FLOODING.
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM, TAKEN FROM THE TOP OF A GRANITE "M" MONUMENT AT THE WESTERLY CORNER OF FOREST AND CUMBERLAND AVENUES. ELEVATION IS 80.57'.
6. ADDITIONAL EASEMENTS EXIST AND ARE IN THE PROCESS OF BEING RESEARCHED.

LEGEND:

	EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	●	
GAS VALVE	⊛	
WATER VALVE	⊛	
HYDRANT	◇	
UTILITY POLE	⌀	
LIGHT POLE	☼	■→
MANHOLE	○	
CATCH BASIN	▤	
SIGN	⊸	
GAS METER	▣ GM	
PARKING METER	▫ PM	
DECIDUOUS TREE/SHRUB		
EVERGREEN TREE/SHRUB		
FENCE	–x–x–	
OVERHEAD WIRES	—OHW—	
CURB		

Prepared for Owner:
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Portland, Maine 04101
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Contact: Greg Shinberg

Prepared By:

Mitchell & Associates LANDSCAPE ARCHITECTS
THE DRISKILL BUILDING · 76 CENTER STREET · PORTLAND, MAINE 04101
PHONE (207) 774-1447 · FAX (207) 774-2088

CWS ARCHITECTS

shinberg CONSULTING, LLC

CASCO BAY

645 CONGRESS STREET

645 Congress Street Portland, Maine

Date:
DECEMBER 15, 2008

Issued For:
PLANNING BOARD AND HISTORIC PRESERVATION BOARD REVIEW

Revisions:
January 20, 2009
February 2, 2009
March 17, 2009
March 24, 2009
April 7, 2009
April 21, 2009 – Building Overhangs and Granite Benches.
May 5, 2009 – Additional Plantings and License Area.
May 26, 2010 – As Built Plan.

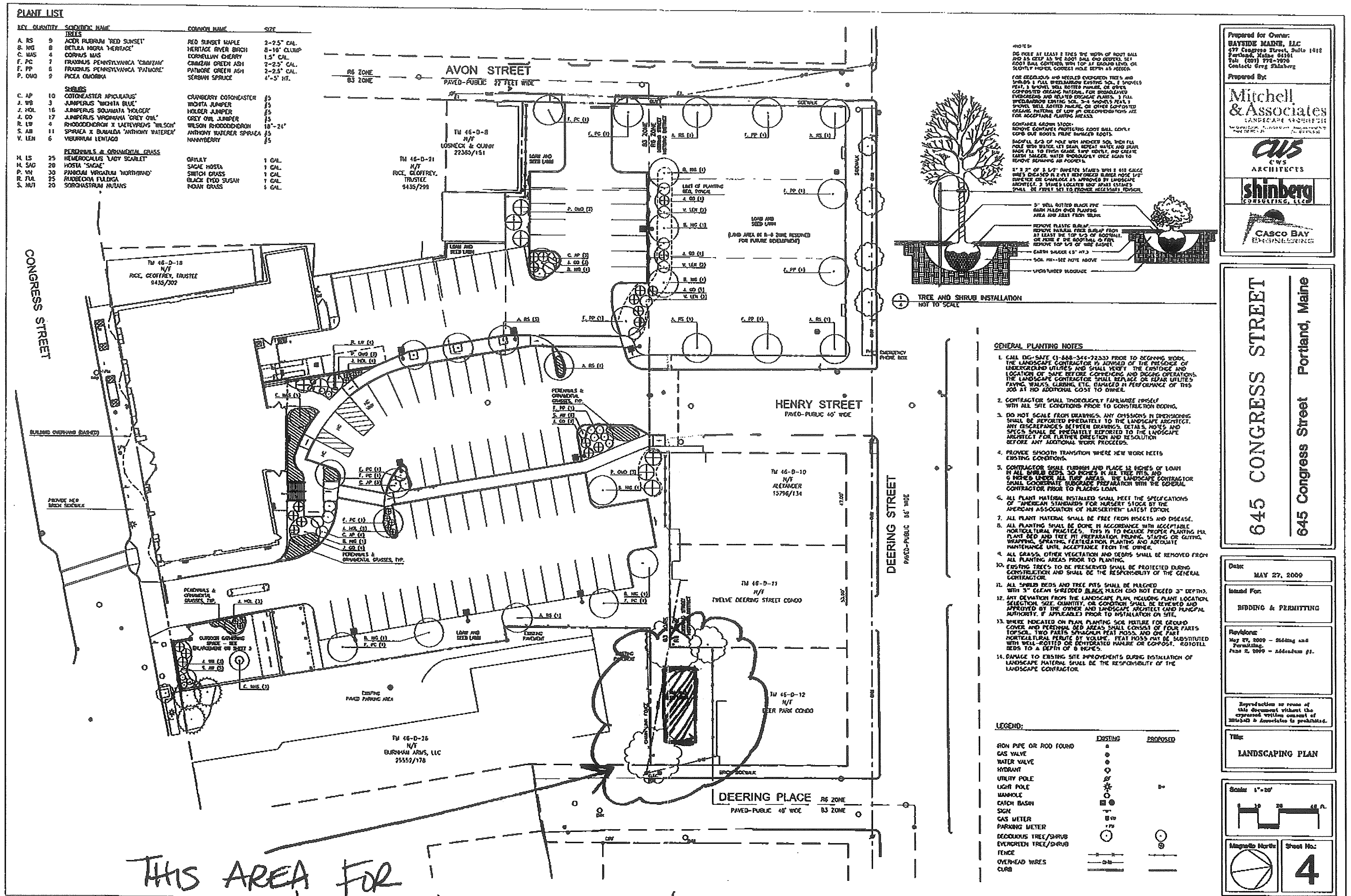
Title:
LAYOUT, LIGHTING AND LANDSCAPING PLAN

Scale: 1"=20'

0 10 20 40 ft.

Magnetic North:

Sheet No.: 1



THIS AREA FOR PRIVATE GARDEN

3/16/2010

FOR RESIDENTS OF 645 CONGRESS ONLY