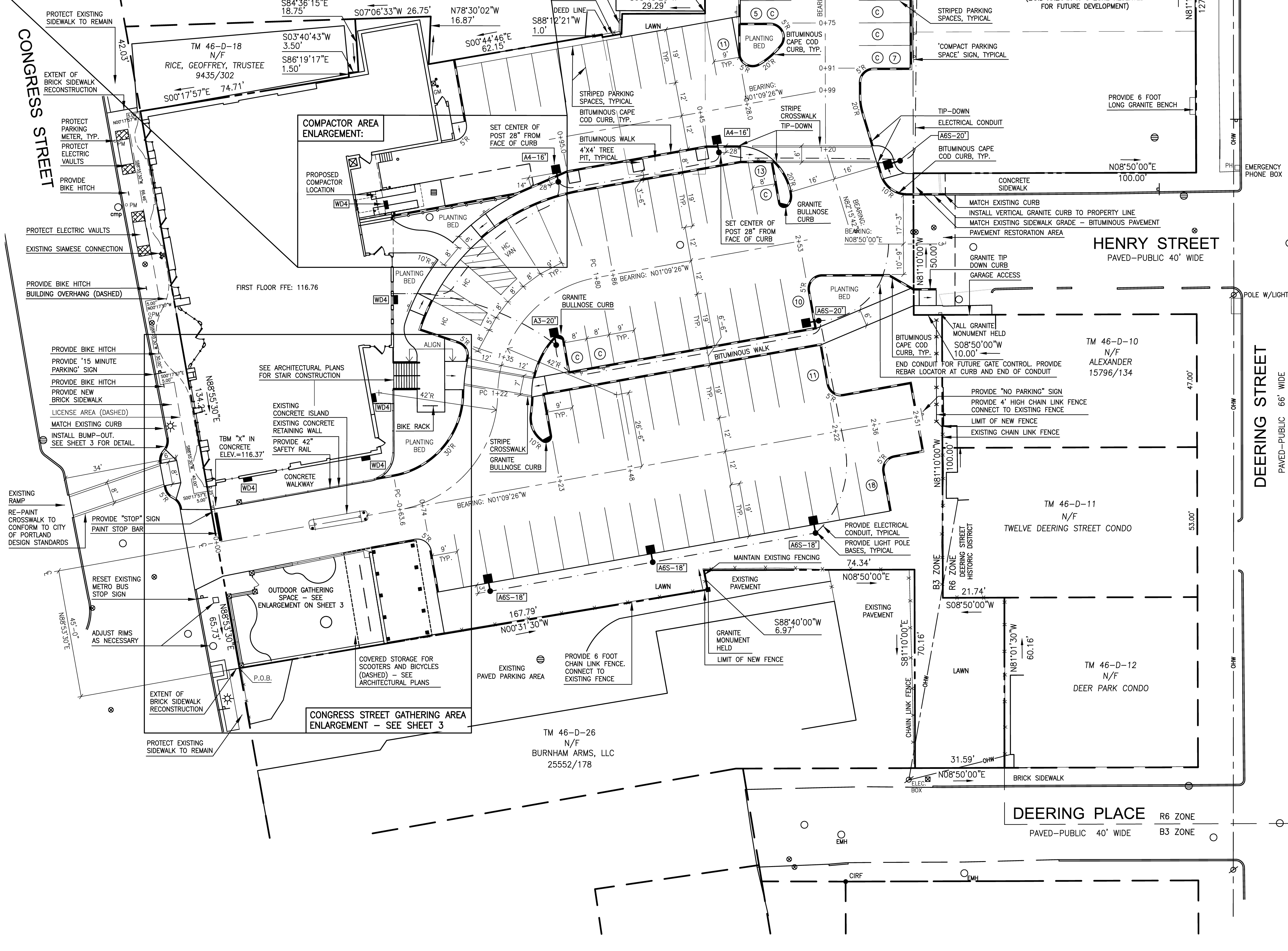
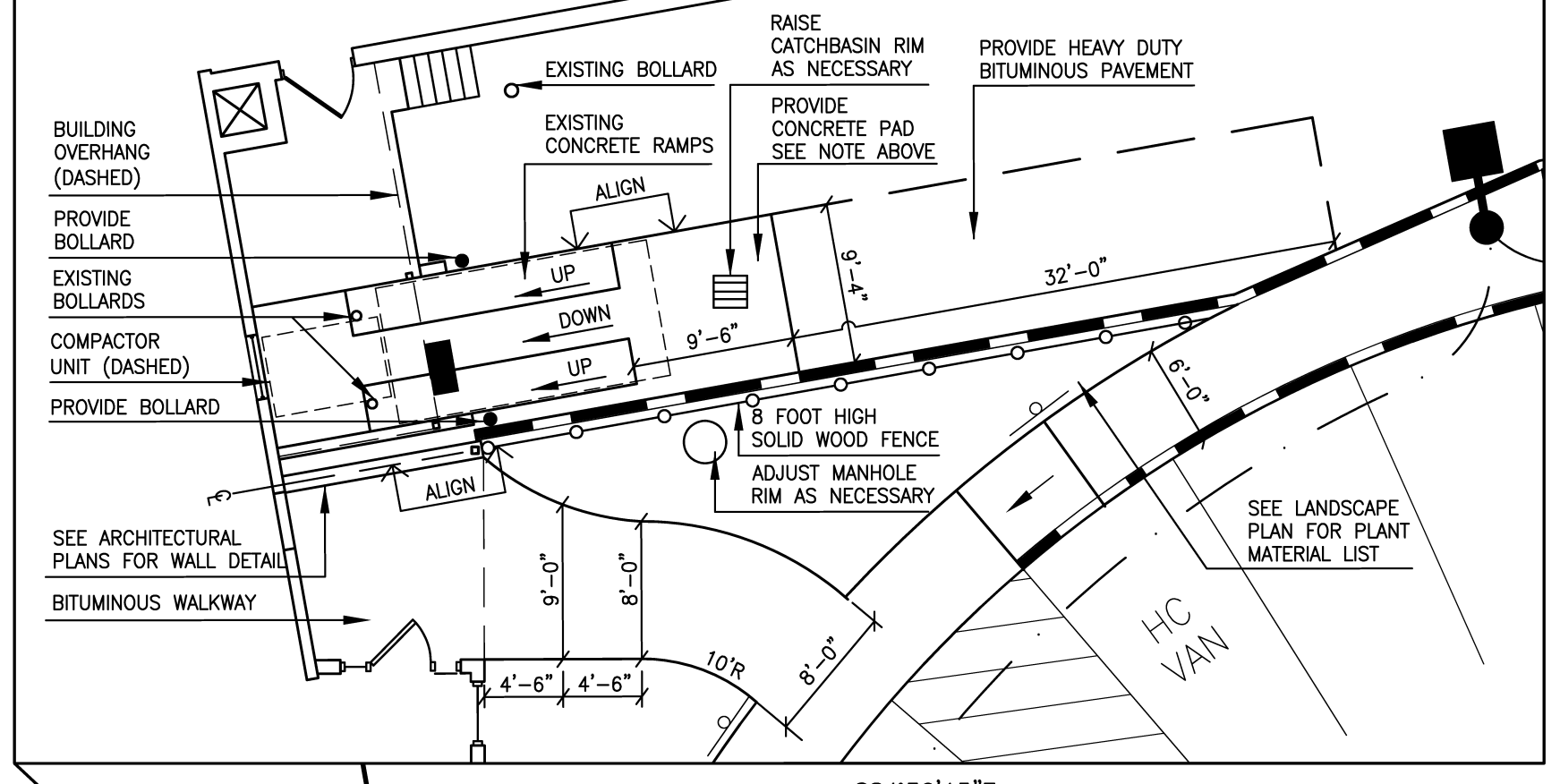


**COMPACTOR AREA ENLARGEMENT NOTES:**  
 1. SCALE: 1"=10'  
 2. CONTRACTOR SHALL COORDINATE WITH OWNER AND WASTE MANAGEMENT CONTRACTOR FOR DETAIL REQUIREMENTS TO ADJUST SLOPE OF EXISTING CONCRETE RAMP TO ACCOMMODATE COMPACTOR UNIT.



**GENERAL NOTES:**

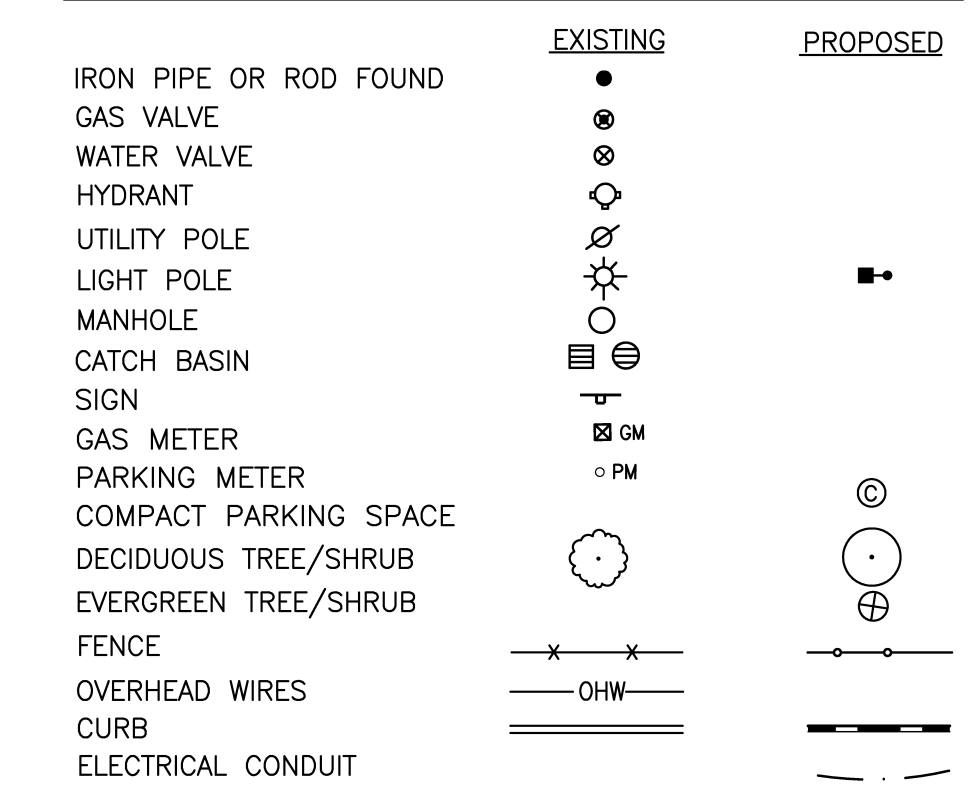
- SITE AREA: 72,569 SF OR 1.67 ACRES
- OWNER: BAYSIDE MAINE LLC  
477 CONGRESS STREET, SUITE 1012  
PORTLAND, MAINE 04101
- ZONING DISTRICTS: ALONG CONGRESS STREET, "B3" - DOWNTOWN BUSINESS WITH "DEOZ" DOWNTOWN ENTERTAINMENT ZONE OVERLAY AND "PAD" PEDESTRIAN ACTIVITIES DISTRICT. ALONG DEERING STREET: "R6" - RESIDENTIAL.
- SPACE AND BULK STANDARDS:
 

|  | REQUIRED                 | PROPOSED  |
|--|--------------------------|-----------|
| B3 - DOWNTOWN BUSINESS ZONE  |                          |           |
| MINIMUM LOT SIZE:  | NONE                     | 59,770 SF |
| MINIMUM STREET FRONTAGE:   | 15 FEET                  | 134 FEET  |
| STREET WALL BUILT-TO-LINE:   | WITHIN 5 FEET            | 0 FEET    |
| MINIMUM YARD DIMENSIONS:   | NONE                     | NONE      |
| MINIMUM LOT WIDTH:   | NONE                     | 134 FEET  |
| MAXIMUM LENGTH UNDIFFERENTIATED WALL:                              | 15 FEET                  | 16 FEET * |
| MAXIMUM LOT COVERAGE:  | 100%                     | 18%       |
| MINIMUM BUILDING HEIGHT:   | 35 FEET                  | 70 FEET   |
| MAXIMUM HEIGHT OF STRUCTURES:                                      | 85 FEET                  | 70 FEET   |
| * UNDIFFERENTIATED WALL DUE TO EXISTING UTILITIES & WALL STRUCTURE |                          |           |
| R6 - RESIDENTIAL ZONE  |                          |           |
| MINIMUM LOT SIZE (RESIDENTIAL):                                    | 4,500 SF                 | 12,799 SF |
| MINIMUM AREA PER DWELLING UNIT:                                    | 1,000 SF (1ST 3)         | N/A       |
|  | 1,200 SF (OVER 4)        |           |
| MINIMUM STREET FRONTAGE:   | 40 FEET                  | 327 FEET  |
| MINIMUM FRONT YARD SETBACK:  | 10 FEET                  | N/A       |
| MINIMUM REAR YARD SETBACK:   | 20 FEET                  | N/A       |
| MINIMUM SIDE YARD SETBACK:   | 10 FEET (3 STORIES)      | N/A       |
| MINIMUM SIDE YARD ON STREET SETBACK:                               | 10 FEET                  | N/A       |
| MAXIMUM LOT COVERAGE:  | 40% (20+ UNITS)          | N/A       |
| MINIMUM LOT WIDTH:   | 50% (LESS THAN 20 UNITS) |           |
| MAXIMUM STRUCTURE HEIGHT:  | 50 FEET                  | 127 FEET  |
| OPEN SPACE RATIO:  | 45 FEET                  | N/A       |
|  | 30% (20+ UNITS)          |           |
|  | 20% (LESS THAN 20 UNITS) |           |
- OFF-STREET PARKING REQUIREMENTS:  
 REQUIRED: NO OFF-STREET PARKING REQUIRED FOR CHANGES IN USE.  
 RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT. RETAIL STORES-ONE (1) SPACE FOR EACH TWO HUNDRED (200) SF OF FIRST FLOOR AREA IN EXCESS OF TWO THOUSAND (2,000) SF NOT USED FOR BULK STORAGE.  
 REQUIRED:  
 DWELLING UNITS (56 DWELLING UNITS)  
 30% PUBLIC TRANSPORTATION USERS (16 UNITS) = 0 SPACES  
 70% HAVE VEHICLE (40 UNITS) = 40 SPACES  
 RETAIL (11,820 SF-2,820 SF STORAGE=9,000 SF)  
 (9,000 SF-2,000 SF=7,000 SF/200 SF) = 35 SPACES  
 TOTAL = 75 SPACES  
 PROPOSED: 75 SPACES (15 COMPACT, 3 ACCESSIBLE) & 8 SCOOTER
- OFF-STREET LOADING:  
 REQUIRED: 1 BAY (5,000-40,000 SF GROSS FLOOR AREA)  
 PROPOSED: 1 BAY
- BICYCLE PARKING:  
 REQUIRED: RESIDENTIAL: 2 SPACES/5 DWELLING UNITS = 24 BICYCLE SPACES. RETAIL: 2 SPACES/10 VEHICLE SPACES UP TO 100 = 8 BICYCLE SPACES  
 PROPOSED: 30 SPACES (ON SITE), 8 SPACES (ON CONGRESS STREET)

**SITE LIGHTING**

| QTY | SYMBOL  | MANUFACTURER   | PART                                  |
|-----|---------|----------------|---------------------------------------|
| 1   | A3-20'  | KIM FIXTURE    | 1SA/SAR3/150PMHXXX/DB-P               |
|     |         | SPAULDING POLE | SSS20-40-1-1-DB (DRILLED FOR KIM 1SA) |
| 2   | A4-16'  | KIM FIXTURE    | 1SA/SAR4/150PMHXXX/DB-P               |
|     |         | SPAULDING POLE | SSS16-40-1-1-DB (DRILLED FOR KIM 1SA) |
| 3   | A6S-18' | KIM FIXTURE    | 1SA/SAR4/150PMHXXX/NFS/DB-P           |
|     |         | SPAULDING POLE | SSS18-40-1-1-DB (DRILLED FOR KIM 1SA) |
| 3   | A6S-20' | KIM FIXTURE    | 1SA/SAR4/150PMHXXX/NFS/DB-P           |
|     |         | SPAULDING POLE | SSS20-40-1-1-DB (DRILLED FOR KIM 1SA) |
| 5   | WD4     | KIM            | WD14D4/150PMHQUAD/DB                  |

**LEGEND:**



Prepared for Owner:  
**BAYSIDE MAINE, LLC**  
 477 Congress Street, Suite 1012  
 Portland, Maine 04101  
 Tel: (207) 772-7070  
 Contact: Greg Shinberg

Prepared By:

**Mitchell & Associates**  
 LANDSCAPE ARCHITECTS  
 THE STABLES BUILDING, 70 CENTER STREET - PORTLAND, MAINE 04101  
 PHONE: 207-776-4427 FAX: 207-814-2500

**CWS**  
 CWS ARCHITECTS

**shinberg**  
 CONSULTING, LLC

**CASCO BAY**  
 ENGINEERING

**645 CONGRESS STREET**  
**645 Congress Street** Portland, Maine

Date: **MAY 27, 2009**

Issued For:  
**BIDDING & PERMITTING**

Revisions:  
 May 27, 2009 - Bidding and Permitting  
 June 2, 2009 - Addendum #1.

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:  
**LAYOUT AND LIGHTING PLAN**

Scale: 1"=20'

Magnetic North:

Sheet No:  
**2**