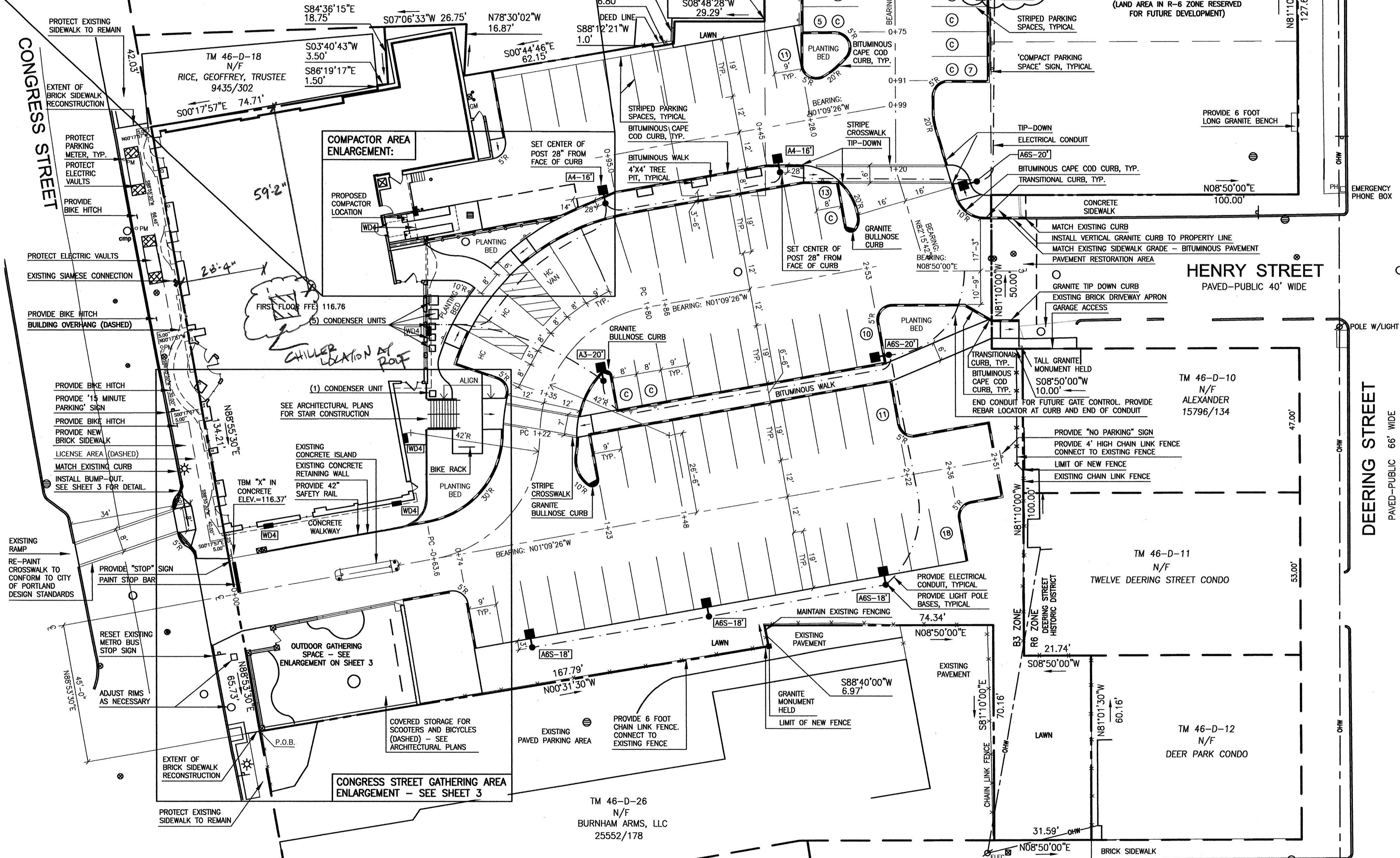
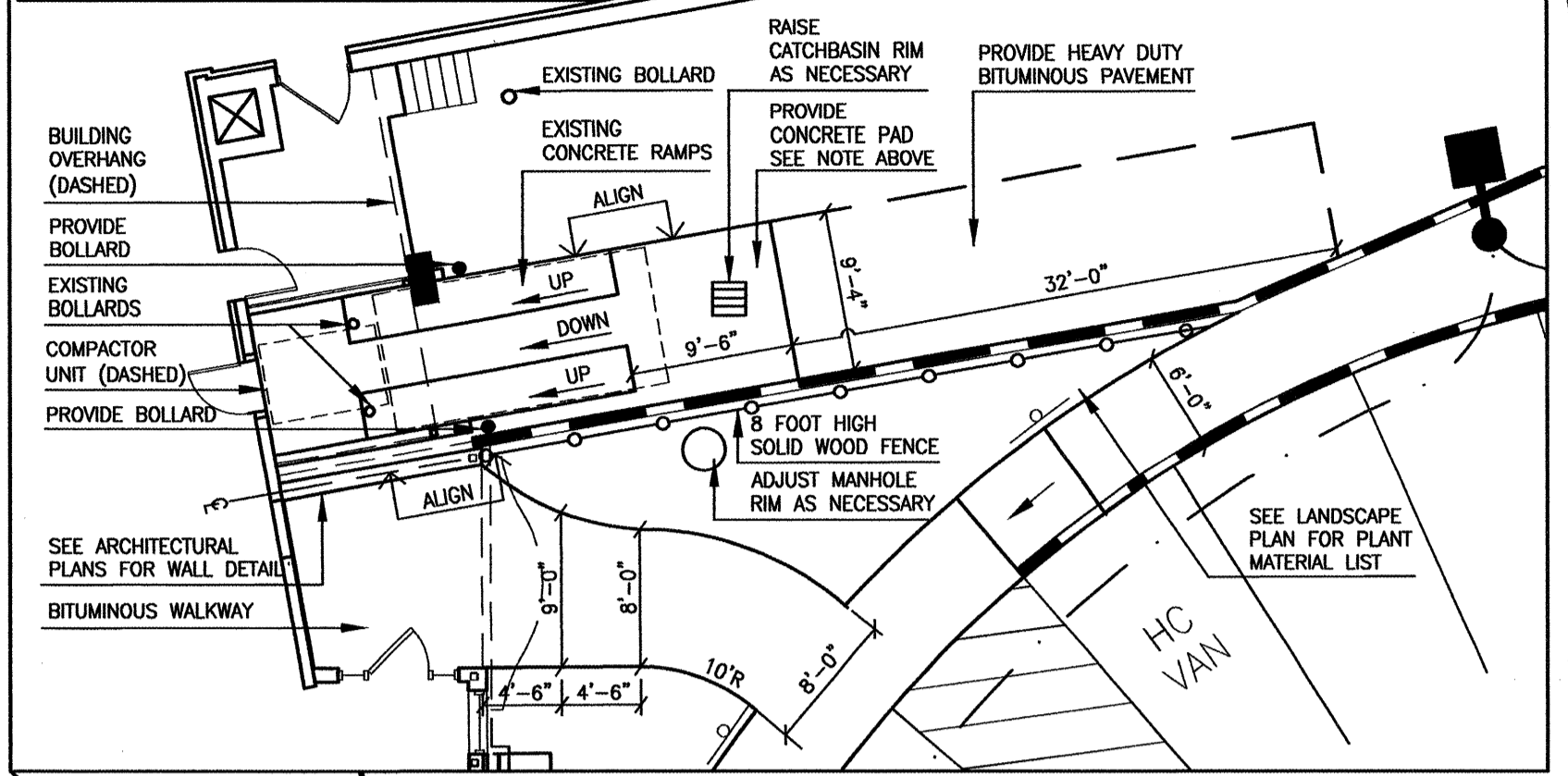


**COMPACTOR AREA ENLARGEMENT NOTES:**  
 1. SCALE: 1"=10'  
 2. CONTRACTOR SHALL COORDINATE WITH OWNER AND WASTE MANAGEMENT CONTRACTOR FOR DETAIL REQUIREMENTS TO ADJUST SLOPE OF EXISTING CONCRETE RAMP TO ACCOMMODATE COMPACTOR UNIT.



**GENERAL NOTES:**

- SITE AREA: 72,569 SF OR 1.67 ACRES
- OWNER: BAYSIDE MAINE LLC  
477 CONGRESS STREET, SUITE 1012  
PORTLAND, MAINE 04101
- ZONING DISTRICTS: ALONG CONGRESS STREET, "B3" - DOWNTOWN BUSINESS WITH "DEQZ" DOWNTOWN ENTERTAINMENT ZONE OVERLAY AND "PAD" PEDESTRIAN ACTIVITIES DISTRICT. ALONG DEERING STREET: "R6" - RESIDENTIAL.
- SPACE AND BULK STANDARDS:
 

B3 - DOWNTOWN BUSINESS ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	59,770 SF
MINIMUM STREET FRONTAGE:	15 FEET	134 FEET
STREET WALL BUILT-TO LINE:	WITHIN 5 FEET	0 FEET
MINIMUM YARD DIMENSIONS:	NONE	NONE
MINIMUM LOT WIDTH:	NONE	134 FEET
MAXIMUM LENGTH UNDIFFERENTIATED WALL:	15 FEET	16 FEET
MAXIMUM LOT COVERAGE:	100%	18%
MINIMUM BUILDING HEIGHT:	35 FEET	70 FEET
MAXIMUM HEIGHT OF STRUCTURES:	85 FEET	70 FEET
* UNDIFFERENTIATED WALL DUE TO EXISTING UTILITIES & WALL STRUCTURE		

R6 - RESIDENTIAL ZONE	REQUIRED	PROPOSED
MINIMUM LOT SIZE (RESIDENTIAL):	4,500 SF	12,799 SF
MINIMUM AREA PER DWELLING UNIT:	1,000 SF (1ST 3)	N/A
	1,200 SF (OVER 4)	N/A
MINIMUM STREET FRONTAGE:	40 FEET	327 FEET
MINIMUM FRONT YARD SETBACK:	10 FEET	N/A
MINIMUM REAR YARD SETBACK:	20 FEET	N/A
MINIMUM SIDE YARD SETBACK:	10 FEET (3 STORIES)	N/A
MINIMUM SIDE YARD ON STREET SETBACK:	10 FEET	N/A
MAXIMUM LOT COVERAGE:	40% (20+ UNITS)	N/A
	50% (LESS THAN 20 UNITS)	N/A
MINIMUM LOT WIDTH:	50 FEET	127 FEET
MAXIMUM STRUCTURE HEIGHT:	45 FEET	N/A
OPEN SPACE RATIO:	30% (20+ UNITS)	N/A
	20% (LESS THAN 20 UNITS)	N/A
- OFF-STREET PARKING REQUIREMENTS:
 

REQUIRED: NO OFF-STREET PARKING REQUIRED FOR CHANGES IN USE.  
 RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT. RETAIL STORES-ONE (1) SPACE FOR EACH TWO HUNDRED (200) SF OF FIRST FLOOR AREA IN EXCESS OF TWO THOUSAND (2,000) SF NOT USED FOR BULK STORAGE.

REQUIRED:  
 DWELLING UNITS (56 DWELLING UNITS)  
 30% PUBLIC TRANSPORTATION USERS (16 UNITS) = 0 SPACES  
 70% HAVE VEHICLE (40 UNITS) = 40 SPACES  
 RETAIL (11,820 SF-2,820 SF STORAGE=9,000 SF)  
 (9,000 SF-2,000 SF=7,000 SF/200 SF) = 35 SPACES  
 TOTAL = 75 SPACES

PROPOSED: 75 SPACES (15 COMPACT, 3 ACCESSIBLE) & 8 SCOOTER
- OFF-STREET LOADING:
 

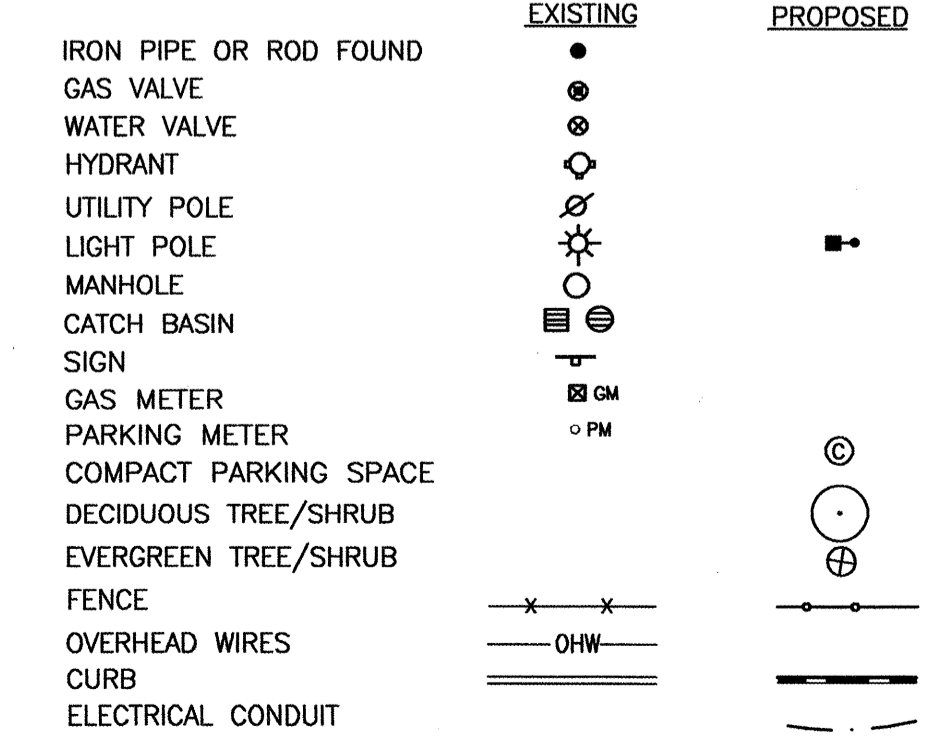
REQUIRED: 1 BAY (5,000-40,000 SF GROSS FLOOR AREA)  
 PROPOSED: 1 BAY
- BICYCLE PARKING:
 

REQUIRED: RESIDENTIAL: 2 SPACES/5 DWELLING UNITS = 24 BICYCLE SPACES. RETAIL: 2 SPACES/10 VEHICLE SPACES UP TO 100 = 8 BICYCLE SPACES  
 PROPOSED: 30 SPACES (ON SITE), 8 SPACES (ON CONGRESS STREET)

**SITE LIGHTING**

QTY	SYMBOL	MANUFACTURER	PART
1	A5-20"	KIM FIXTURE	1SA/SAR3/150PMHXXX/DB-P
		SPALDING POLE	SSS20-40-1-1-DB (DRILLED FOR KIM 1SA)
2	A4-16"	KIM FIXTURE	1SA/SAR4/150PMHXXX/DB-P
		SPALDING POLE	SSS16-40-1-1-DB (DRILLED FOR KIM 1SA)
3	A6S-18"	KIM FIXTURE	1SA/SAR4/150PMHXXX/NFS/DB-P
		SPALDING POLE	SSS18-40-1-1-DB (DRILLED FOR KIM 1SA)
3	A6S-20"	KIM FIXTURE	1SA/SAR4/150PMHXXX/NFS/DB-P
		SPALDING POLE	SSS20-40-1-1-DB (DRILLED FOR KIM 1SA)
5	WD4	KIM	WD14D4/150PMHQUAD/DB

**LEGEND:**



Prepared for Owner:  
**BAYSIDE MAINE, LLC**  
 477 Congress Street, Suite 1012  
 Portland, Maine 04101  
 Tel: (207) 772-7070  
 Contact: Greg Shinberg

Prepared By:  
**Mitchell & Associates**  
 LANDSCAPE ARCHITECTS  
 THE STATES BUILDING, 70 CENTER STREET, PORTLAND, MAINE 04101  
 PHONE: 207.776.4427 FAX: 207.871.2560

**CUS**  
 ARCHITECTS

**shinberg**  
 CONSULTING, LLC

**CASCO BAY**  
 ENGINEERING

**645 CONGRESS STREET**  
**645 Congress Street** Portland, Maine

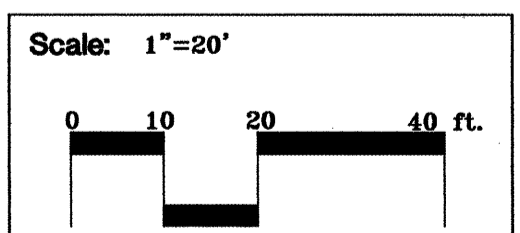
Date: **MAY 27, 2009**

Issued For: **BIDDING & PERMITTING**

Revisions:  
 May 27, 2009 - Bidding and Permitting  
 June 2, 2009 - Addendum #1.

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Title: **LAYOUT AND LIGHTING PLAN**



Magnetic North: Sheet No: **2**

*Chiller at roof*  
 3/17/2011  
 Sheet 1 of 5



CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4441  
Fax: (207)774-4016

www.CWSarch.com

Owner:  
**BAYSIDE  
MAINE LLC.**  
477 CONGRESS ST.  
SUITE 1012  
PORTLAND MAINE, 04101

Development Consultant.



**RENOVATIONS TO  
645 CONGRESS ST.**  
PORTLAND, ME 04101

Project No: 08.436

Drawing Title:

**SIXTH  
FLOOR PLAN**

Scale: AS NOTED

Date: 5-27-09

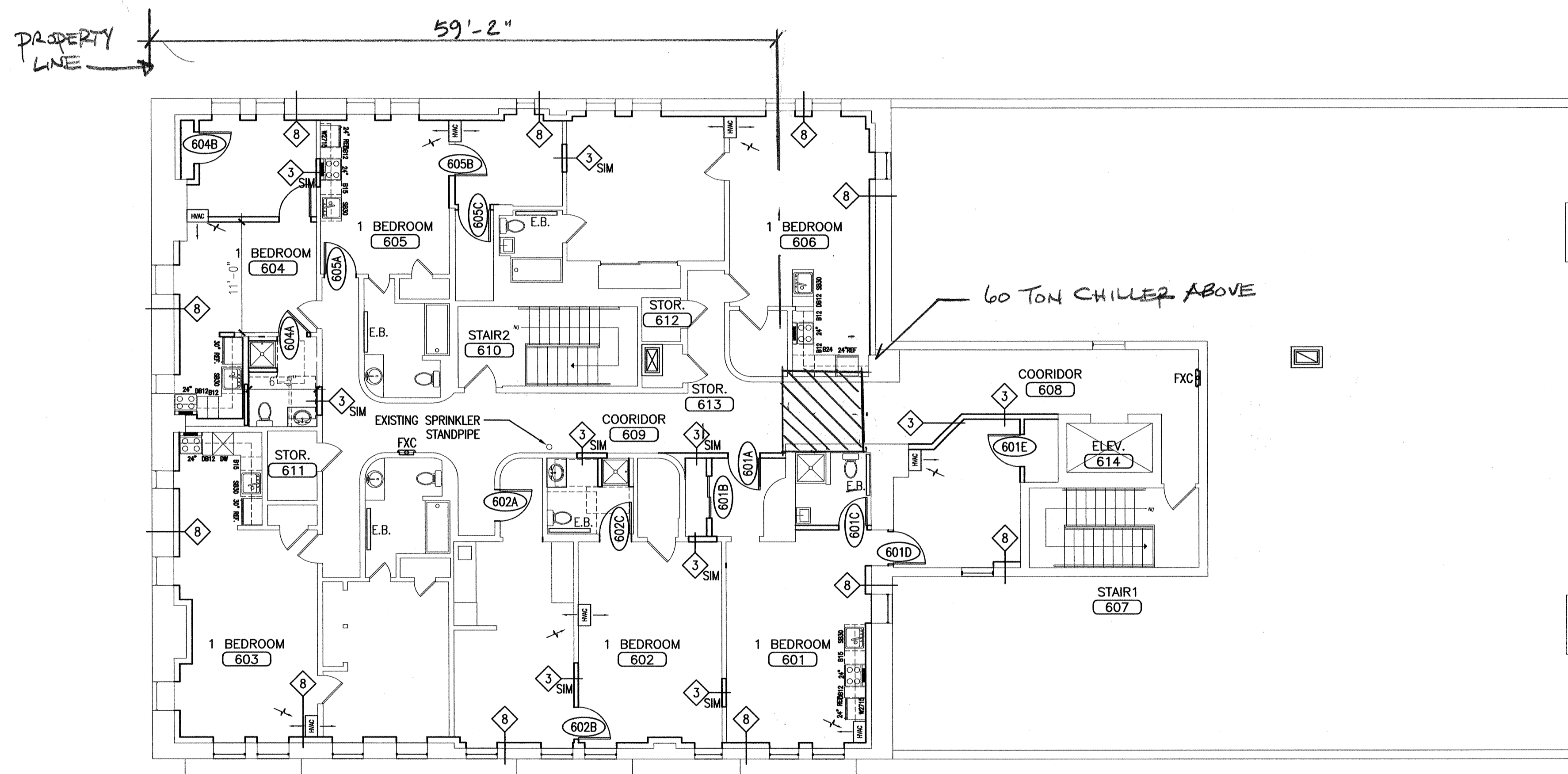
Revisions:

▲ REVISED FOR NEW  
INTERIOR DIMENSIONS  
8-17-09

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Drawing Number:

**A1.06**

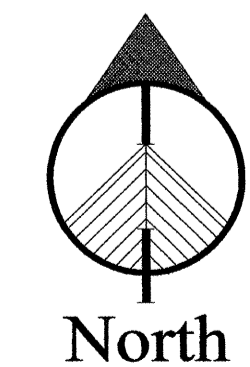


60 TON CHILLER ABOVE

CHILLER INSTALLATION AT ROOF

3/17/2011

SHEET 2 OF 5



North

1/8" = 1'-0"  
SCALE: 1/4" = 1'-0"

ISSUED FOR MUNICIPAL REVIEW

UNIT TOTALS SIXTH FLOOR	
1 BEDROOM UNITS	6
SINGLE OCCUPANCY UNITS	0
TOTAL UNITS THIS FLOOR	6

UNIT TOTALS FIFTH FLOOR	
1 BEDROOM UNITS	8
SINGLE OCCUPANCY UNITS	4
TOTAL UNITS THIS FLOOR	12

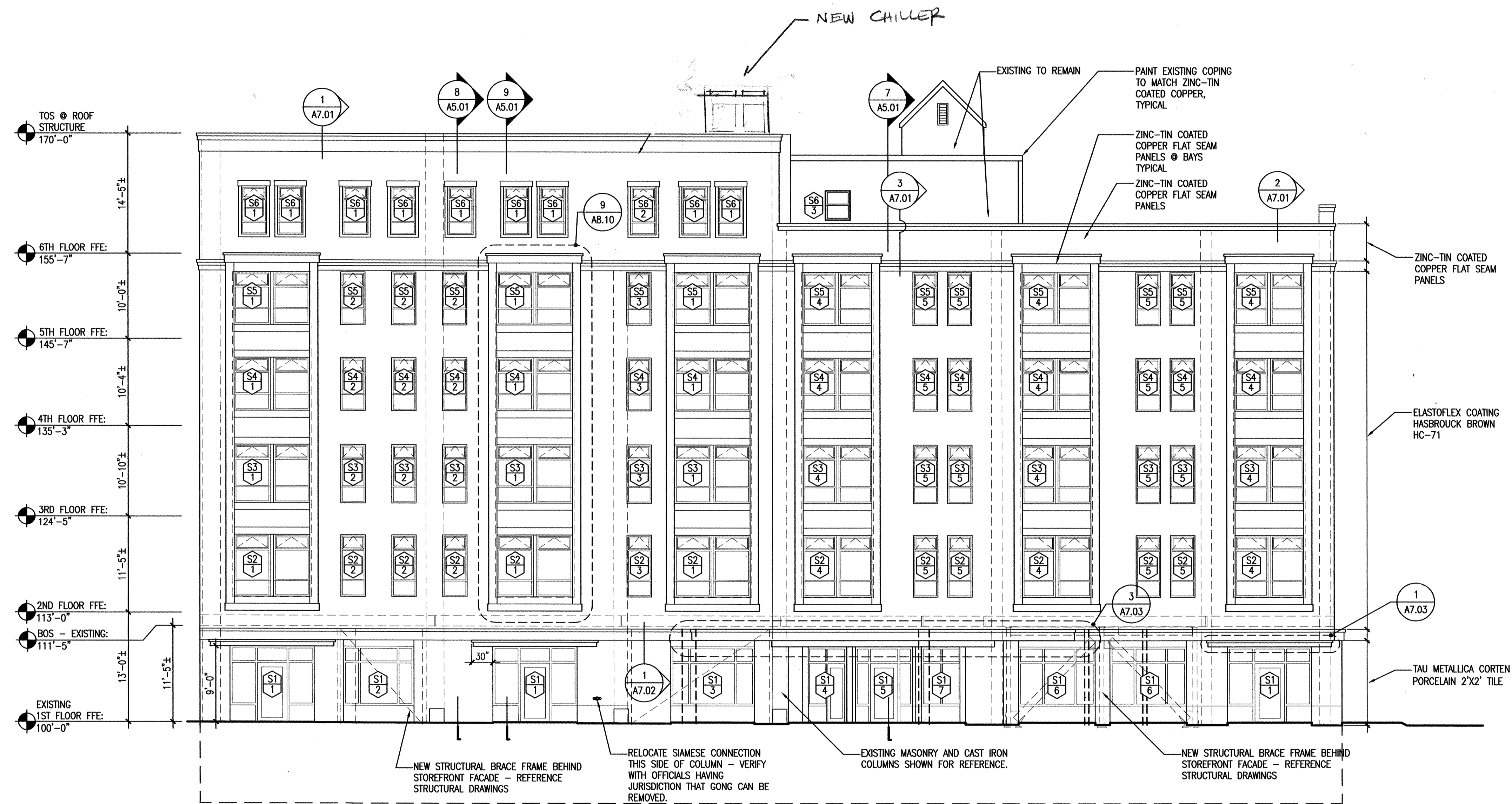
UNIT TOTALS FOURTH FLOOR	
1 BEDROOM UNITS	8
SINGLE OCCUPANCY UNITS	4
TOTAL UNITS THIS FLOOR	12

UNIT TOTALS THIRD FLOOR	
1 BEDROOM UNITS	8
SINGLE OCCUPANCY UNITS	4
TOTAL UNITS THIS FLOOR	12

UNIT TOTALS SECOND FLOOR	
1 BEDROOM UNITS	3
SINGLE OCCUPANCY UNITS	11
TOTAL UNITS THIS FLOOR	14

**A** SIXTH FLOOR PLAN

- △
- △
- △
- △
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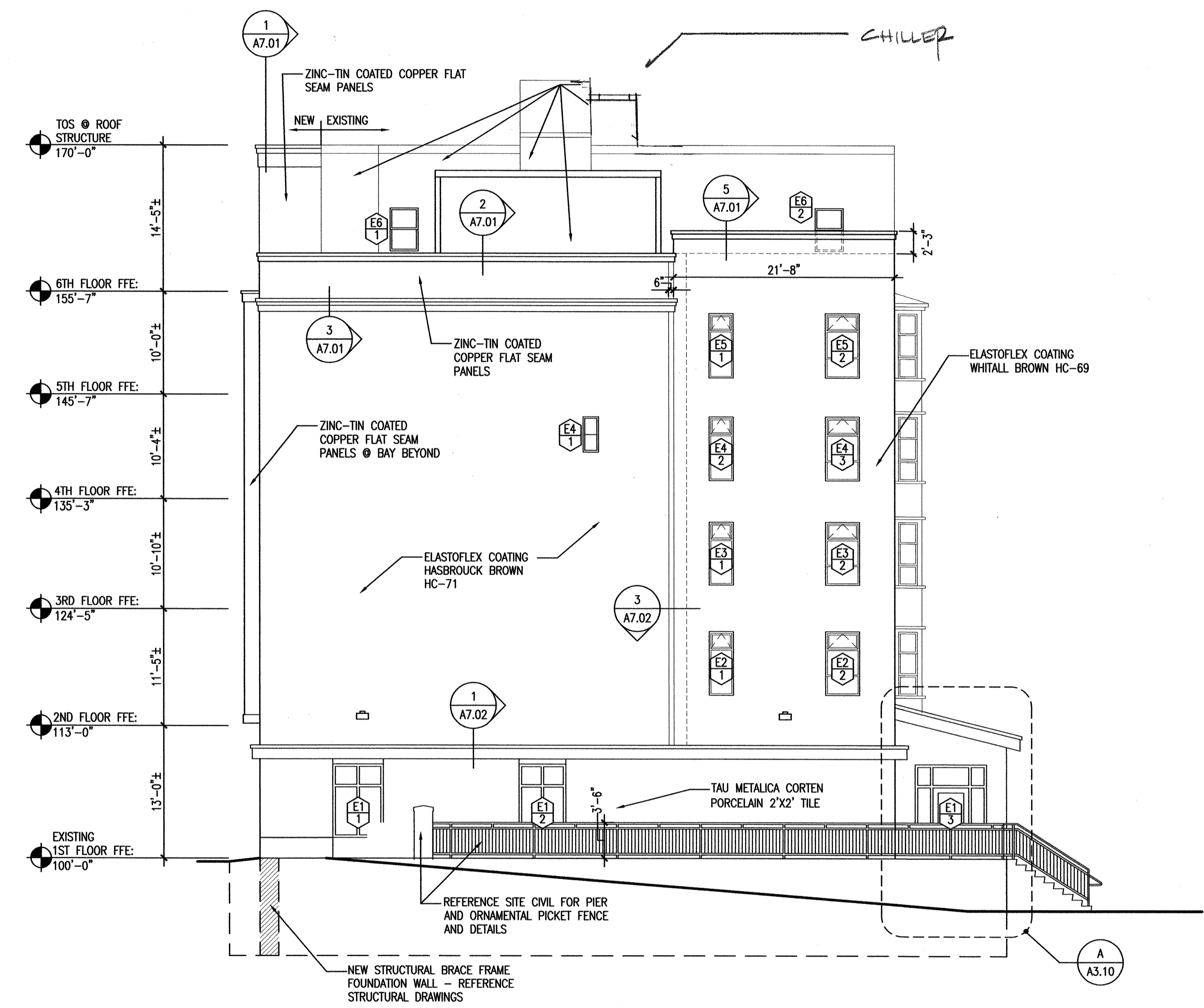
*CHILLER AT ROOF*  
*5/17/2011*

*SHEET 3 OF 5*



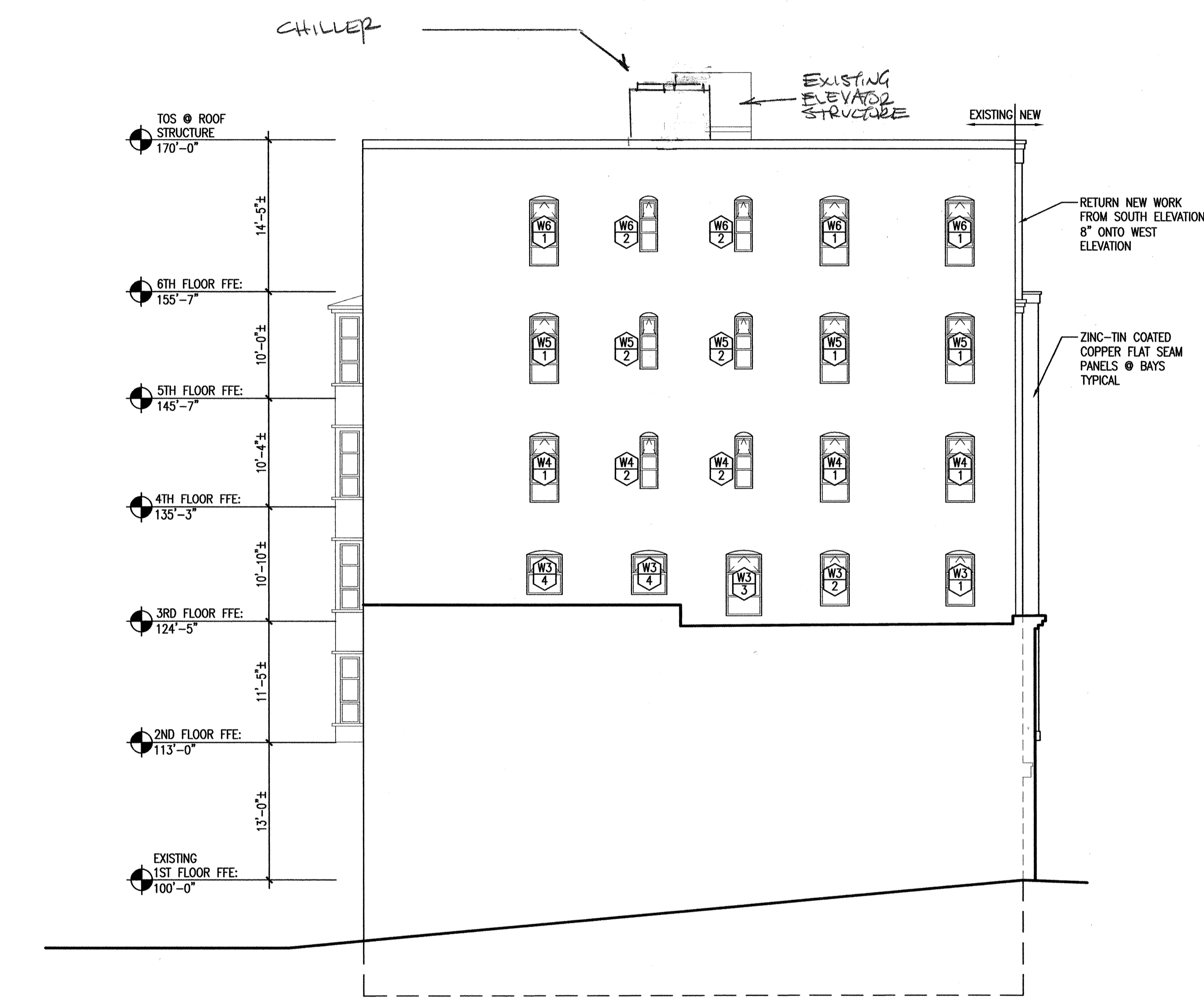
CHILLER AT ROOF  
3/17/2011

SHEET 4 OF 5



**E** EAST ELEVATION

SCALE: 1/8" = 1'-0"



**F** WEST ELEVATION

SCALE: 1/8" = 1'-0"

Chiller at roof  
3/17/2011  
SHEET 5 OF 5