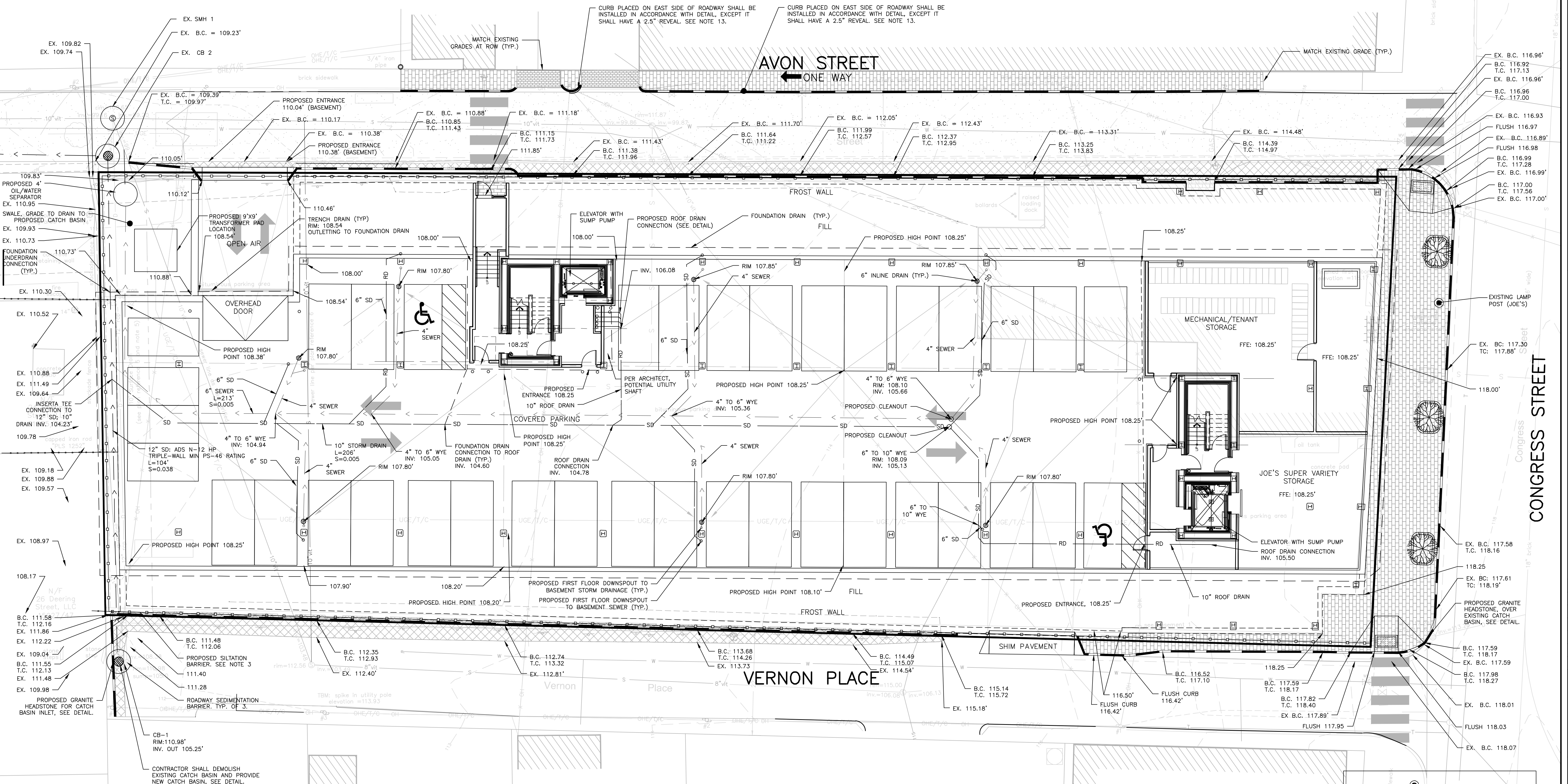
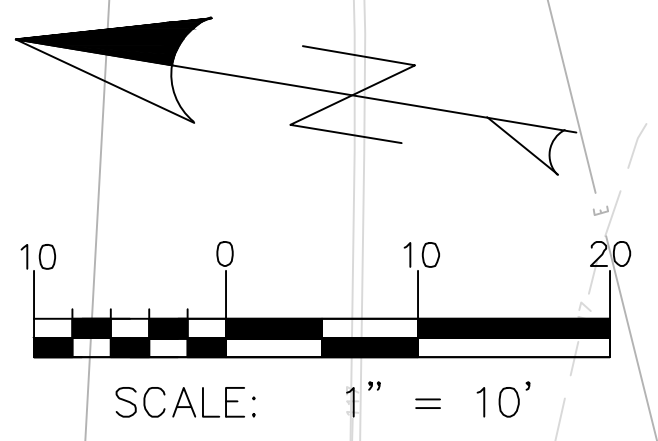


- GENERAL NOTES:
- REFER TO STRUCTURAL ENGINEER'S PLANS FOR WALL DESIGN. DESIGN OF TEMPORARY SOIL RESTRAINT MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IF NECESSARY FOR CONSTRUCTION.
 - CONTRACTOR SHALL PLACE CATCH BASIN INLET PROTECTION ON CATCH BASINS AND FIELD INLETS DOWN-GRADE OF ALL NON-STABILIZED SURFACES, PER DETAIL.
 - LOCATION OF PROPOSED SEDIMENTATION BARRIER IS INDICATED ON PLAN. CONTRACTOR TO ENSURE THAT SEDIMENTATION BARRIER IS INSTALLED ALONG THE DOWN-GRADE LOCATION OF DISTURBANCE, PER DETAIL.
 - CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE AT ALL LOCATIONS OF INGRESS AND EGRESS DURING CONSTRUCTION TO THE SITE. SEE DETAIL.
 - CURB TO BE REMOVED, STOCKPILED AND RESET IN ACCORDANCE WITH DETAIL. BROKEN CURB SHALL BE PROPERLY DISPOSED OF AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. IN INSTANCES WHERE CATCH BASIN HEADSTONES ARE TO BE REPLACED WITH TIPDOWNS, CONTRACTOR SHALL PROVIDE NEW GRANITE CURB TIPDOWN AND OTHER CURBING AS NECESSARY. CATCH BASIN HEADSTONES SHOULD ONLY BE REMOVED IF THEY ARE TO HINDER ADA ACCESS TO CURB RAMPS. EXISTING RADIAL BULLNOSE CURB ON AVON SHALL BE DELIVERED TO CITY OF PORTLAND DPS; CONTRACTOR TO COORDINATE.
 - CONTRACTOR SHALL INSTALL CATCH BASIN HOOD ON ALL CATCH BASINS PER DETAIL.
 - CONTRACTOR SHALL ENSURE THAT FOUNDATION DRAINS AND UNDERDRAINS ARE CONSTRUCTED WITH POSITIVE OUTLET TO PROPOSED CONNECTIONS.
 - REFER TO THE ARCHITECTURAL CROSS SECTION PLANS FOR VERTICAL CLEARANCE WITHIN THE PARKING GARAGE INCLUDING BASEMENT, FIRST FLOOR AND VEHICULAR ENTRANCE RAMPS.
 - ALL PROPOSED DRAINS FROM THE 1ST FLOOR ARE TO BE DUCTILE IRON AND DIRECTLY ATTACHED TO THE SUPPORT COLUMN; THE PIPE CAN BE ATTACHED USING ANY MEANS AND METHODS THAT LEAD THE PIPE ALONG THE COLUMN AVOIDS ANY OBSTACLE INCLUDING PARKING SPACES. REFER TO M.E.P. PLANS FOR LOCATIONS.

- UNLESS SPECIFIED OTHERWISE EXISTING GRADES SHALL MATCH AT PROPOSED BUILDING FOUNDATION OR RETAINING WALL.
- UNDERDRAIN INSTALLATION SHALL NOT EXTEND BEYOND THE PROPERTY LINE AS DEPICTED FOR CLARITY. UNDERDRAIN SHALL CONNECT TO THE STORMDRAIN.
- EXTERIOR PERIMETER PARKING LOT WALL GRADES SHALL VARY UNLESS OTHERWISE NOTED. INTERIOR BASEMENT SLOPES TO MIRROR FIRST FLOOR SLOPES, WITH THE EXCEPTION OF RAMP LOCATIONS.
- T.C. TOP OF CURB ASSUMES ALL CURBS WILL BE RECONSTRUCTED OR CONSTRUCTED WITH A 7" REVEAL FROM NOTED EXISTING SPOT GRADES, WITH THE EXCEPTION OF EAST AVON STREET WHERE SHALL BE CONSTRUCTED OR RECONSTRUCTED WITH A 2.5" REVEAL FROM NOTED EXISTING SPOT GRADES. CURB ALONG EAST SIDE OF AVON STREET TO BE REPLACED SHALL BE PLACED WITH FRONT FACE OF GRANITE CURB AT LOCATION OF EXISTING CURB LINE.
- ALL WORK WITHIN THE CITY STREET RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- CONTRACTOR TO CONFIRM THAT THE FINAL MANHOLE AND CATCHBASIN ELEVATIONS MATCH THOSE SUPPLIED BY WOODARD & CURRAN'S PLANS BEFORE CONSTRUCTION.
- CONTRACTOR TO HAVE A MINIMUM OF 4 FOUNDATION UNDERDRAIN CONNECTIONS TO STORM DRAIN. DRAINAGE DEPENDS UPON ROCK ELEVATIONS AND MUST HAVE A POSITIVE OUTLET. CONTRACTOR TO FIELD LOCATE.
- PARKING FACILITY DRAINAGE:
 - DRAINAGE FROM COVERED PARKING (BENEATH RESIDENTIAL BUILDING) DRAINS AND ELEVATOR SUMP PUMP OUTLETS SHALL BE TRIBUTARY TO OIL/WATER SEPARATOR, AND THEN TO THE MUNICIPAL SEWER WITHIN AVON STREET.
 - DRAINAGE FROM OPEN AIR PARKING CONVEYS FLOW TO STORM DRAIN, ROOF DRAIN, AND UNDERDRAINS TO THE MUNICIPAL STORM DRAIN SYSTEM.

CATCH BASIN SCHEDULE				
STRUCTURE	INTERIOR DIAMETER	RIM	INV. IN	INV. OUT
EX. CB-1	4'	110.98'	-	108.38'
CB-1	4	110.98'	-	105.25'
EX. CB-2	4'	109.00'	101.39'	101.29'
OIL/WATER SEPARATOR	4'	110.00'	100.05'	99.80'

CONTRACTOR SHALL FIELD VERIFY CONNECTIONS TO EXISTING SYSTEMS PRIOR TO ORDERING STRUCTURES



ISSUED FOR	BY	DATE
PRELIM. APPLICATION	WHS	7/30/18
PC DD SET	WHS	8/7/18
PC PROGRESS SET	WHS	8/21/18
COMMENT/RESPONSE	WHS	7/15/18
FINAL APPLICATION	WHS	10/13/18
BIDDING	WHS	10/19/18
COA	WHS	10/23/18
FOR CONSTRUCTION	WHS	11/7/18
REVISION	REV.	DATE

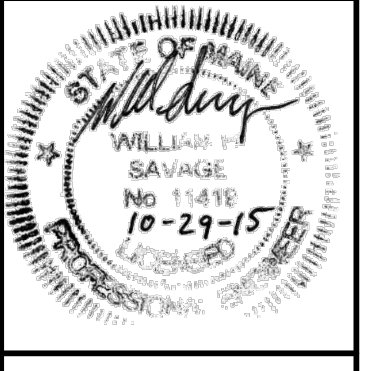
DRAWING NAME: **GRADING & DRAINAGE PLAN: BASEMENT**
 PROJECT NAME: **667 CONGRESS STREET REDEVELOPMENT**
 CLIENT: **REDFERN PROPERTIES, LLC.**
 P.O. BOX 8616 PORTLAND, MAINE, 04104

ACORN ENGINEERING, INC. MAINE 04102
 158 DANFORTH (207) 779-2665

A C O R N ENGINEERING, INC.

THIS PLAN SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE OF THIS PLAN WITHOUT WRITTEN PERMISSION OF ACORN ENGINEERING, INC. IS PROHIBITED. THE USER'S SOLE RESPONSIBILITY IS TO VERIFY ALL INFORMATION AND CONDITIONS PRIOR TO CONSTRUCTION.

FILE: 1060_CONGRESS
 DATE: 4/6/2015
 JUN: 1060
 SCALE: 1"=10'
 DESIGNED BY: MAG
 DRAWN BY: MAG
 CHECKED BY: WHS



DRAWING NO. **C-30**

ISSUED FOR CONSTRUCTION