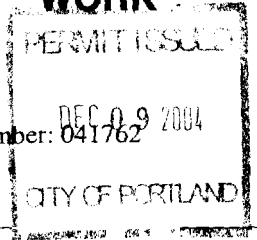


# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND



Please Read Application And Notes, If Any, Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 041762

This is to certify that Doukas Andrew J &/Home Ventures LLC  
has permission to Commercial Create 5'4" x 7' dining beverage bar create additional seating and enlarge rest room.  
AT 671 Congress St Portland, OR 97204 046 C013001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.  
FOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Approved  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
DepartmentName

*Chris Gump* 12/6/04  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1762	Issue Date: DEC 10 2004	CBL: 046 C013001
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Location of Construction: 671 Congress St	Owner Name: Doukas Andrew J &	Owner Address: Po Box 4185	Phone:
Business Name:	Contractor Name: Home View Builders LLC.	Contractor Address: 9 Pond View Scarborough	Phone: 2073323991
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: 53

Past Use: Commercial /Shoe Shop	Proposed Use: Commercial Create 5'4" x 7' opening bewtwee walls, create additional seating and enlarge rest room.	Permit Fee:	Cost of Work:	CEO District:
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A2 Type 53 12/16/04	

Proposed Project Description: Commercial Create 5'4" x 7' opening bewtwee walls, create additional seating and enlarge rest room.	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 11/30/2004	<b>Zoning Approval</b>	
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<b>Special Zone or Review:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 12/2/04	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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*separate permits are required for any new signage*

*Any exterior work requires a separate review*

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1762	<b>Date Applied For:</b> 1113012004	<b>CBL:</b> 046 C013001
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<b>Location of Construction:</b> 671 Congress St	<b>Owner Name:</b> Doukas Andrew J &	<b>Owner Address:</b> Po Box 4185	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Home View Builders LLC.	<b>Contractor Address:</b> 9 Pond View Scarborough	<b>Phone</b> (207) 332-3991
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial Create 5'4" x 7' opening bewtwee walls, create additional seating and enlarge rest room.	<b>Proposed Project Description:</b> Commercial Create 5'4" x 7' opening bewtwee walls, create additional seating and enlarge rest room.
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 1210212004  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved      **Reviewer:** Mike Nugent      **Approval Date:** 12/06/2004  
**Note:**      **Ok to Issue:**

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Lt. MacDougal      **Approval Date:** 1210612004  
**Note:**      **Ok to Issue:**

- 1) stairs shall have handrails that are graspable with a minimum of 1 1/2" in diameter to a maximum of 2" in diameter
- 2) stairs shall be 7" maximum riser & 11" minimum tread

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements **must be made** before permits of any kind are accepted.

Location/Address of Construction: <u>671 &amp; 673 Congress ST</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
46		
Lessee/Buyer's Name (If Applicable) <u>Bangkok Thai Restaurant (Natasak Wongsaichua)</u>	Applicant name, address & telephone: <u>Bangkok Thai Restaurant 671 Congress St. Portland ME 04101 879-4089</u>	Cost Of Work: <u>\$ 5,600.00</u> Fee: <u>\$ 7,500.00</u>
Current use: <u>673 currently Vacant</u>		
If the location is currently vacant, what was prior use: <u>Shoe Shop</u>		
Approximately how long has it been vacant: <u>1 months</u> <span style="float: right;">NOV 30</span>		
Proposed use: <u>Seating area for a restaurant at adjacent building.</u> Project description: <u>Create 5'4" opening between building 671 wall &amp; 673 wall which is attached</u>		
Contractor's name, address & telephone: <u>Home View Builders LLC 9 Pond View Drive, Scarborough ME 04074</u>		
Who should we contact when the permit is ready: <u>Rothana Chap</u>		
Mailing address: <u>9 Pond View Drive, Scarborough ME 04074</u>		
<p><b>We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 332-3991</b></p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent, I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Rothana Chap</u>	Date: <u>22 Nov 2004</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall



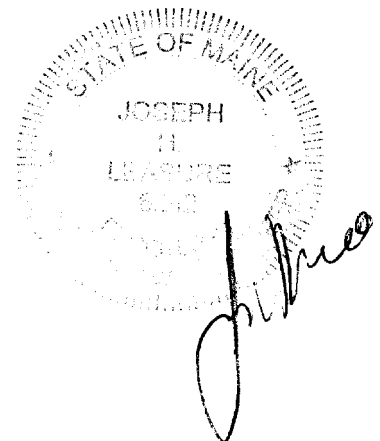
**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

**BUILDING LOCATED AT:  
671 & 673 CONGRESS  
STREET  
PORTLAND, MAINE**

**5'-4" OPENING BETWEEN  
BUILDINGS  
HEADER DETAIL**

Prepared for: Rothana Chap  
Home View Builders, LLC  
9 Pond View Drive  
Scarborough, Maine 04074

Submission Date: November 16, 2004  
Drawings Submitted: S1 thru S3



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete or as indicated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x lumber blocking/bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide solid 2x vertical blocking within floor systems between columns above and below.
8. "LVL" indicates laminated veneer lumber Versolam manufactured by Boise Cascades Corp. or approved equal.
9. "VIF" indicates that the contractor shall "verify in the field" specific conditions, dimensions, elevations and details prior to proceeding with the effected portion of the work.  
All discrepecies shall be brought to the attention of the engineer.

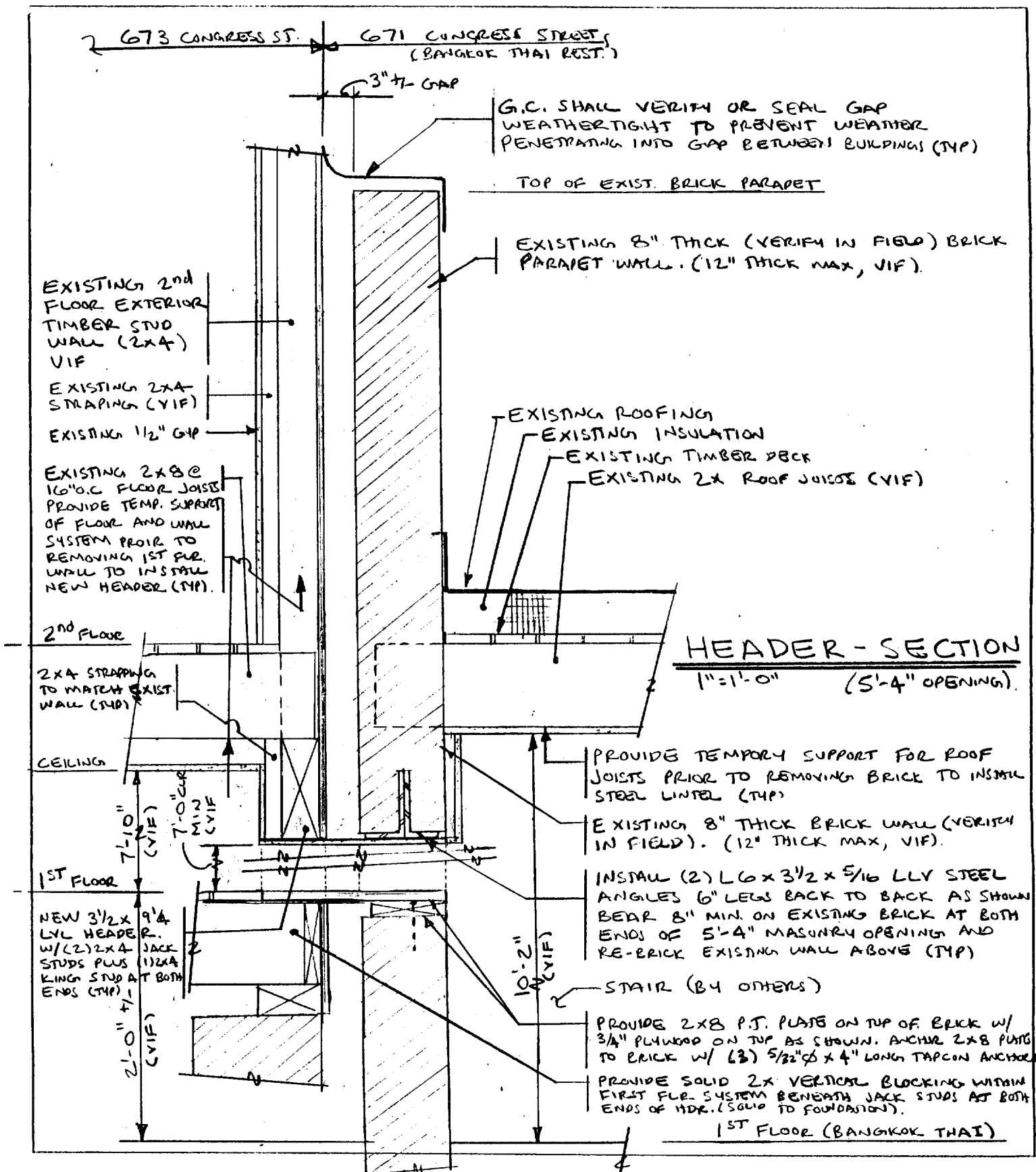
designed by	JHL	<b>BUILDINGS LOCATED AT:</b> 671 & 673 CONGRESS STREET <b>PORTLAND, MAINE</b> 5'-4" OPENING BETWEEN BLDGS GENERAL NOTES	<b>L &amp; L STRUCTURAL</b> ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106  PHONE: (207) 767-4850 FAX (207) 799-5432 EMAIL LLENCOAOL.COM
drawn by	JHL		
checked by	MFL		
scale:	NOTED		
date:	NOV. 16, 2004		
			S1

MASONRY NOTES:

1. All hollow load bearing concrete masonry units shall be ASTM C90 grade N, type I standard weight standard blocks including stretchers & corner blocks unless otherwise noted.
2. All load bearing concrete masonry units shall conform to **ASTM** C90 grade N, type I standard weight standard blocks including stretchers & corner blocks.
3. Masonry prism strength (fm) shall be 1,350 psi.
4. Mortar shall conform to ASTM Specification C270, type N or S.
5. Concrete masonry units shall be laid in running bond.
6. Wall penetrations shall be coordinated with the Architect and Owners vendors/designers and shall be field located.
7. Provide joint reinforcing per drawings & specifications in all concrete masonry unit construction.
8. **All** masonry reinforcement shall be spliced 48 bar diameters.
9. Reinforcing bars shall conform to **ASTM** A615 grade 60 deformed bars and shall be detailed, fabricated and placed in accordance with ACI 315- latest edition.

designed by: JHL	BUILDINGS LOCATED AT: 671 & 673 CONGRESS STREET PORTLAND, MAINE 5'-4" OPENING BETWEEN BLDGS GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENGOACC.COM
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: NOV. 16, 2004		
		S2





**HEADER - SECTION**  
 1" = 1'-0" (5'-4" OPENING)

designed by: JHL  
 drawn by: JHL  
 checked by: MFL  
 scale: NOTED  
 date: 11/16/04

BUILDINGS LOCATED AT:  
 671 & 673 CONGRESS STREET  
 PORTLAND, ME.  
 5'-4" OPENING BETWEEN BUILDINGS  
 HEADER - SECTION

L & L STRUCTURAL  
 ENGINEERING SERVICES, INC.  
 SIX O STREET  
 SOUTH PORTLAND, MAINE 04106  
 PHONE: (207) 787-1830  
 FAX: (207) 788-5432  
 EMAIL: LLL@GMAIL.COM

SB

# Home View Builders LLC

*Additions, Remodeling, New Construction*

9 Pond View Drive  
Scarborough, Maine 04074  
Phone (207)332 3991  
Fax (207)883 4697  
e-mail: rothanachap@msn.com



**City of Portland  
Building Code Office  
389 Congress St.  
Portland, ME 04101**

**28 November 2004**

Dear Sir or Madame,

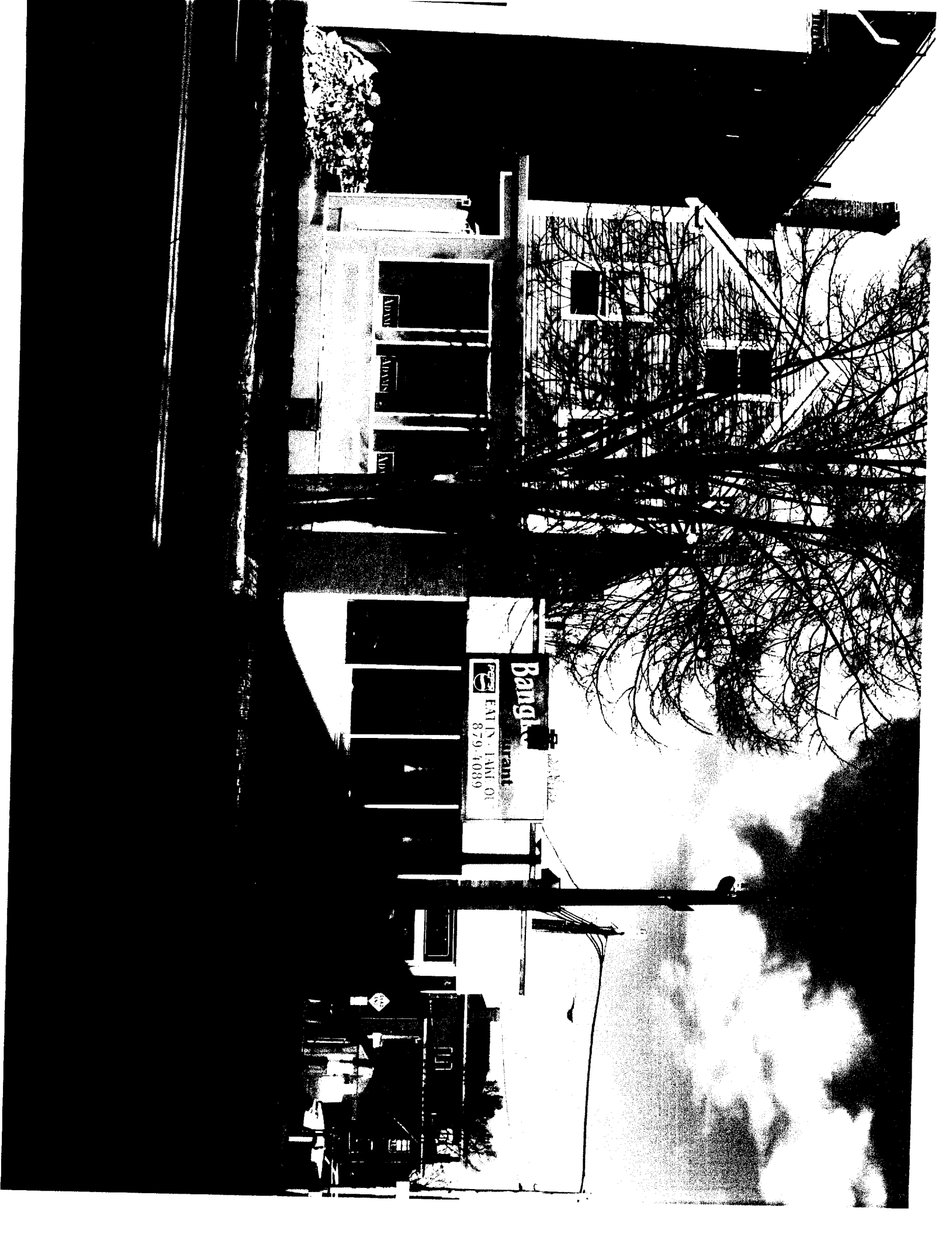
On behalf of Mr. Natasak Wongsachua, owner of Bangkok Thai restaurant on 671 Congress street, with the approval of buildings owner, Andrew Doukas, I **am** requesting permission to create a five feet four inches (5'4") wide and seven feet (7') high opening between the walls of building 671 and the adjacent building 673 to allow for access between the two buildings from the inside. The opening will be located about twenty (20') feet from the front of the building. The purpose for such connection enables the restaurant to expand its sitting area from the current building into the adjacent building.

671 is a single story, twenty-one (21) feet by sixty (60) feet brick building and 673 is a two story sixteen (16) feet by sixty (60) feet wood frame building. Currently the wall of the two buildings is connected by an eight inch (8") concrete block wall. Two to four steps will also be needed, because the two floors are not at the same level. The structural support and design of the opening is done by an engineering firm L & L Structural Engineering Services, Inc. Please see attached document for detail.

Please note that the proposed plans will not affect the outside appearance of the two buildings.

Sincerely,

Rothana Chap



**Bangkok**  
Restaurant  
FRENCH - JAPANESE  
879-4089

ADAMS  
ADAMS  
MID

